



CITY OF WOOD DALE

NEXT ORDINANCE NUMBER: O-24- 018

NEXT RESOLUTION NUMBER: R-24- 38

PUBLIC NOTICE OF CITY COUNCIL MEETING

IN ACCORDANCE WITH THE APPLICABLE STATUTES OF THE STATE OF ILLINOIS AND THE ORDINANCES OF THE CITY OF WOOD DALE, THE NEXT REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF WOOD DALE IS SCHEDULED TO BE HELD AT THE HOUR OF 7:30 P.M. ON THURSDAY, JUNE 20, 2024 IN THE COUNCIL CHAMBERS OF THE CITY HALL, 404 N. WOOD DALE ROAD, WOOD DALE, ILLINOIS, DURING WHICH MEETING IT IS ANTICIPATED THAT THERE WILL BE DISCUSSION OF THE FOLLOWING:

AGENDA
CITY OF WOOD DALE, ILLINOIS
REGULAR CITY COUNCIL MEETING
JUNE 20, 2024

I. CALL TO ORDER

II. ROLL CALL

Mayor Pulice

Alderman Ames

Alderman Catalano

Alderman Curiale

Alderman Jakab

Alderman Messina

Alderman Susmarski

Alderman Art Woods

Alderman Artie Woods

III. PLEDGE OF ALLEGIANCE

IV. APPROVAL OF MINUTES

A. June 6, 2024 Regular City Council Meeting Minutes

V. COMMUNICATIONS AND PETITIONS

Citizens will be given the opportunity to address the City Council during the time set aside in the Meeting for Public Comment under Communications and Petitions. Please direct your comments to the Mayor, limit your remarks to three (3) minutes, and kindly refrain from making repetitive statements.

A. Citizens To Be Heard

B. Written Communiques of Citizens to Be Heard

VI. MAYOR'S REPORT

VII. CITY MANAGER'S REPORT

VIII. CONSENT AGENDA

A. Approval of Executive Session Minutes from May 16, 2024

B. Omnibus Vote

- i. A Resolution Approving an Intergovernmental Agreement between the City of Wood Dale and the Bensenville Park District for the Construction and Maintenance of a Sidewalk on the South Side of Arbor Park
- ii. A Resolution Approving an Agreement between the City of Wood Dale and Davis Concrete Construction Co. for the Spruce Avenue and Arbor Lane Sidewalk Installation Project in an Amount Not to Exceed \$39,900.00
- iii. A Resolution Authorizing the Purchase of Bulk Rock Salt for FY 2025 from Morton Salt, Inc. in an Amount Not to Exceed \$67,249.00
- iv. A Resolution Approving a Proposal from Dahme Mechanical Industries, Inc. for the North Plant Aspirator Pump Repair in an Amount Not to Exceed \$29,188.00
- v. An Ordinance Approving a Plat of Subdivision for Consolidation of Property Located at 140 Edgebrook Road, Wood Dale, Illinois
- vi. Approval of the Purchase of Additional Public Benches for Installation at Clock Tower and Metra Station
- vii. An Ordinance Annexing Certain Territory Commonly Known as 111 E. Foster Avenue to the City of Wood Dale, DuPage County, Illinois
- viii. An Ordinance Approving a Plat of Subdivision for Consolidation of Property Located at 111 E. Foster Ave., Wood Dale, Illinois
- ix. An Ordinance Approving the Grant of a Special Use for a Park and Variances Concerning Property Located at 111 E. Foster Avenue in the City of Wood Dale

IX. COMMITTEE CHAIRMAN REPORTS

A. Planning, Zoning And Building Committee

B. Public Health, Safety, Judiciary And Ethics Committee

C. Public Works Committee

- i. Approval of Final Payment to Cobra Concrete Cutting Services for the Public Works Garage Floor Diamond Grinding Project in the Amount of \$48,972.00
- ii. Approval of Final Payment to Chicagoland Paving Contractors, Inc. for the FY 2024 Pavement Patching Program in the Amount of \$12,900.00

D. Finance And Administration Committee

- i. An Ordinance Amending Chapter 3, Article VIII, Section 3.801 of the Municipal Code of the City of Wood Dale to Provide for the Addition of City Treasurer as an Authorized Special Events Committee Member

X. OTHER BUSINESS

A. Airport Noise Report

B. Stormwater Commission Report

XI. APPROVAL OF LIST OF BILLS

- i. List of Bills for June 20, 2024 - \$903,536.18

XII. EXECUTIVE SESSION

XIII. ITEMS TO BE REFERRED

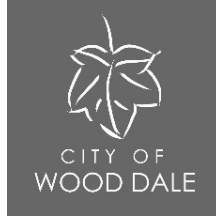
XIV. ITEMS FOR INFORMATION ONLY

XV. ADJOURNMENT

POSTED IN CITY HALL ON JUNE 14, 2024 AT 4:00 PM

LYNN CURIALE, CITY CLERK

BY: MAURA MONTALVO, DEPUTY CITY CLERK



CITY OF WOOD DALE

404 North Wood Dale Rd. • Wood Dale, Illinois • 60191

MINUTES OF THE REGULAR CITY COUNCIL MEETING
OF THE CITY OF WOOD DALE, DU PAGE COUNTY, ILLINOIS
IN THE CITY ADMINISTRATION BUILDING

June 6, 2024

I. CALL TO ORDER REGULAR CITY COUNCIL MEETING:

Mayor Nunzio Pulice called the Regular City Council Meeting to Order at 7:30 p.m.

II. ROLL CALL

Upon roll call, the following were:

Present: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods, and Mayor Pulice

Absent: Alderman Jakab and Alderman Susmarski

Also Present: City Clerk Curiale, Treasurer Porch, Legal Counsel Bond, City Manager Mermuys, Public Works Director Lange, Finance Director Wilson, Police Chief Zito, Community Development Director Springer, Director of Administrative Services Ibares, Director of Community Relations Silva, Sgt. Zlotnicki, Clark Environmental representative Emily Klugar

Whereupon the Mayor declared a quorum present.

III. PLEDGE OF ALLEGIANCE

IV. APPROVAL OF MINUTES

Alderman Curiale made a motion, seconded by Alderman Artie Woods, to approve the Regular City Council Minutes of June 6, 2024. When the question was put, a voice vote was taken with all Aldermen voting Aye. Whereupon the Mayor declared the motion carried.

V. COMMUNICATIONS AND PETITIONS:

i. *Citizens to be Heard*

Ms. Emilia Pyrdol, Mr. Peter Wang and Mariusz Szacilowski expressed their frustration and concern with the lack of notification of the Clark environmental spraying change from an early morning application to a later spraying time for the Spongy Moth Application, which was performed by a low-flying helicopter on May 31 and June 2.

Mayor Pulice stated the City is aware of the matter and working to prevent it from happening again. He then announced a Clark Environmental representative, Emily Kluger, was available to meet in the Lunchroom to answer questions from the audience.

Ms. Krystyna Halsper, Ms. Beata Bryk, and Ms. Bozena "Thea" Petrovich spoke of a rat problem in their area and asked for help from the City to eliminate the problem. Mayor Pulice informed them a Program is in place and the Public Works Department will be out on Friday laying traps in the alleys. The traps will not be put on Residential property. A Cost-share Program is available for the Residents. Information will be in the Wood Dale City Newsletter. Public Works can be contacted for additional information regarding the Cost-share Program for the Residents.

Director Lange stated there is a multi-tier approach to rat mitigation: by 1) setting traps along public alleyways along Irving Park Rd and Division St. by some of the restaurants; 2) increased enforcement of the Property Maintenance Program to make sure Businesses are adequately concealing their trash and have their own programs in place; and 3) a Cost-Share Program with the Residents similar to the Skunk Program. Information will be made available, advertised, and will be on the City website.

- ii. *Written Communiqués of Citizens to Be Heard*
None

VI. MAYOR'S REPORT
None

VII. CITY MANAGER'S REPORT

Manager Mermuys reported on three (3) Special Event items:

- i. The Concert/Car Show is Friday, June 7 from 5-9 p.m. It begins with the Car Show at 5 p.m. and the Concert starts at 7:30 p.m. Pack a picnic, bring some lawn chairs and join this free outdoor evening in Wood Dale.
- ii. The Public Works Open House will be held Thursday, June 13, 3:30-6:30 p.m. in the Public Works Facility at the 790 N. Central location. Discover some of the work that goes on behind the scenes while having fun with your family. There will be food, games, touch-a-truck, and more.
- iii. Mega Passes are returning to Prairie Fest 2024, held June 27-30. Mega Passes will be available for purchase starting June 10 at City Hall and at the Wood Dale Park District.

VIII. CONSENT AGENDA

A. Omnibus Vote

- i. *Approval of Executive Session Minutes from April 18, 2024*
- ii. *Approval of Executive Session Minutes from May 2, 2024*

The Mayor questioned if there were any objections to the Consent Agenda. Hearing none, a motion was made by Alderwoman Ames, seconded by Alderman Curiale, to approve the two (2) items on the Consent Agenda. When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

A motion was made by Alderman Messina, seconded by Alderwoman Ames, to *Approve the Executive Session Minutes from April 18, 2024 and to Approve the Executive Session Minutes from May 2, 2024* . When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

IX. COMMITTEE CHAIRMAN REPORTS

A. **Planning, Zoning and Building Committee**

None

B. **Public Health, Safety, Judiciary and Ethics Committee**

- i. *A Resolution Approving Change Orders #1, #2, and #3 to the Agreement between the City of Wood Dale and Pacific Construction Services, LLC for the Police Department/ City Hall Interior Renovation Project in an Amount Not to Exceed \$43,846*

A motion was made by Alderman Curiale, seconded by Alderman Messina, to *Approve A Resolution Approving Change Orders #1, #2, and #3 to the Agreement between the City of Wood Dale and Pacific Construction Services, LLC for the Police Department/ City Hall Interior Renovation Project in an Amount Not to Exceed \$43,846.*

Alderman Art Woods asked if these were going to be paid out of the Contingency. Chief Zito stated they are asking that it not be taken out of the Contingency, due to the fact it is outside the original scope of the Project. The City Hall Lobby was added as an option and all the items relate to the water and mold damage that was found. Alderman Art Woods stated he would like it taken out of Contingency. Chief Zito stated this would be about 20% of the Contingency.

Alderman Messina asked if the work was outside the Police Department and not part of the Project. Chief Zito replied that the first item is the interior windows from the Police Department with significant water damage and mold around them. Item

number 2 is the mold remediation that had to be done immediately outside the Police Department in the Lobby area where the wallpaper was removed.

Director Wilson stated the Lobby and Hallway were added as an Alternate Bid in the Police Department Contract, and although not part of the Police Department it is part of the scope of the work and it had been approved to do.

An amended motion was made by Alderman Curiale, seconded by Alderman Art Woods, to *Approve A Resolution Approving Change Orders #1, #2, and #3 to the Agreement between the City of Wood Dale and Pacific Construction Services, LLC for the Police Department/ City Hall Interior Renovation Project in an Amount Not to Exceed \$43,846 to be taken out of Contingency.*

When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

- ii. *A Resolution Approving an Agreement Between The City of Wood Dale and Bradford Systems for Storage Solutions and Installation as part of the Police Department/ City Hall Interior Renovation Project in an Amount Not to Exceed \$113,128.89*

A motion was made by Alderman Curiale, seconded by Alderwoman Ames, to *Approve A Resolution Approving An Agreement Between The City of Wood Dale and Bradford Systems for Storage Solutions and Installation as part of the Police Department/ City Hall Interior Renovation Project In An Amount Not to Exceed \$113,128.89.*

Alderman Art Woods asked if this was an additional scope to the Project. Chief Zito explained it was planned, part of the overall scope of the entire Project, and some of it was budgeted for and approved as part of the CIP. The initial cost planned for the products was about \$85,000, but the price went up due to inflation. They were presented with a Mobile Evidence Storage option which raised the price an additional \$16,000 that had not been budgeted. Alderman Art Woods asked for clarification if the \$85,000 was budgeted outside the Contract and budgeted as part of the CIP. Director Wilson confirmed yes.

When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

- iii. *A Resolution Approving Addendum #2 to the Existing Agreement with FGM Architects for Architectural Services for the Wood Dale Police Department/ City Hall Interior Renovation Project and the City of Wood Dale, in an Amount Not to Exceed \$84,900 Pending Final Attorney Review*

A motion was made by Alderman Curiale, seconded by Alderwoman Ames, to *Approve A Resolution Approving Addendum #2 to the Existing Agreement with FGM Architects for Architectural Services for the Wood Dale Police Department/ City Hall Interior Renovation Project and the City of Wood Dale, in an Amount Not to Exceed \$84,900 Pending Final Attorney Review.*

Mayor Pulice said he had said in the beginning that a second floor should be built and to spend the money to do things right as he anticipated the Project price was going to increase.

Alderman Art Woods agreed that this is probably not the end of issues with the building. It had been decided to not do the second floor because of the millions more it would cost, however this Project is already nearly up to \$750,000.

Chief Zito responded that this item is related to the Lobby options and doing a new vestibule. The plan is to present some different options and their costs. After running into some of the Lobby issues, the Architect was asked to begin the process of determining some options to correct the issues, and possibly take these fees from the Contingency. The Architect has completed three design options and is ready to get pricing for them.

Mr. Mike Elliot from FGM Architects spoke about removing the lobby doors, reinsulating the steel and correcting the cause of the condensation issue that is causing the mold. He offered three options. Option #1 - leave the Kalwall (the translucent panel that runs up the wall to the skylight and down); #2 - take out the skylight piece and replace it; #3 - remove all the Kalwall, seal in the lid, and then put into the wall panels a new storefront or window. Pacific Construction was given options to develop their bids and get pricing for each option.

Alderman Art Woods inquired what the \$84,900 covered. Mr. Elliot responded they developed and completed the scope drawings for all three options for the Bids to be created. This amount is for the work that has already been done.

When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

- iv. *A Resolution Approving Change Order #8 to the Agreement between the City of Wood Dale and Pacific Construction Services, LLC for the Police*

Department/ City Hall Interior Renovation Project in an Amount Not to Exceed \$78,193

A motion was made by Alderman Curiale, seconded by Alderwoman Ames, to *Approve A Resolution Approving Change Order #8 to the Agreement between the City of Wood Dale and Pacific Construction Services, LLC for the Police Department/ City Hall Interior Renovation Project in an Amount Not to Exceed \$78,193.*

Alderman Artie Woods asked Chief Zito if the 20 additional cameras are going to City Hall or are Police specific, and if they were new cameras that did not exist before.

Chief Zito explained this was only for the installation. The same data provider is being used to install the cameras. The purchase of the cameras is budgeted through CIP, and some through a separate CIP that was passed for cameras throughout the City. Some cameras would be at City Hall, the Police Department, and Public Works where video surveillance was needed. There are 20 new cameras being installed at City Hall. Many are replacing existing cameras that are past their useful life. They are not adding 20 additional new cameras to the existing cameras.

Mayor Pulice asked IT Director Stenson how many cameras are replacing existing cameras versus how many are in new positions.

Director Stenson replied it had been determined to add some new cameras: one was for the Finance counter, one for Community Development, one to the 2 corners that are covering the parking lot with the City Mailbox, and one to cover Wood Dale Road.

Manager Mermuys stated the decision made tonight was to exhaust the Contingency Fund. Staff will meet and review the calculations and possibly come forward with these after all the funds have been exhausted.

Alderman Art Woods stated if the Contingency Fund needs to be increased then to increase it. He just wants it to be a straight line to know if we are over budget.

When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

C. Public Works Committee

- i. A Resolution updating the City of Wood Dale's Rear Yard Drainage Assistance Program Policy*

A motion was made by Alderman Artie Woods, seconded by Alderman Catalano, to *Approve A Resolution updating the City of Wood Dale's Rear Yard Drainage Assistance Program Policy and the City will select the lowest qualified contractor.*

Mayor Pulice asked for clarification as to whether the City was going to become a Bill collector for those who did not have the money to do the work, or if the City was going to get the money first.

Director Lange replied there was concern at the Committee discussion that Residents could not come up with the full amount up front. To mitigate that, the City is proposing to solicit proposals and contractors, similar to what is done for the Grass Cutting and Snow Plowing Program. The Contractor will perform the work and invoice the City who will pay them in full, and then the City will invoice the Resident for any costs in excess of \$10,000. Legal has put together an Agreement between the City, Resident, and contractor detailing the payment process and enforcement. Residents may still elect to get quotes from other contractors, but the City shall have the sole discretion to select the Contractor to perform the work. There is a non-refundable Application fee of \$250. Some of the additional fees have been waived.

Attorney Bond explained the 3-party Agreement was designed to prevent non-payment by the Owner. By signing the Agreement, the Resident agrees to have a lien placed on their property for that amount and pay all costs incurred for the lien. There is a provision for the City to foreclose on the Property as a last resort. The language protects the City interests as public funds are being used on private property.

Manager Mermuys stated the reason Legal used the language they did regarding the City Contractors is because the Committee wanted to make this affordable & accessible to the Residents and without the language put in by the Attorney, the Resident would have to front the full \$10,000, and it protects the City's investment.

When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

ii. *Approval of Final Payment to Franzen Plumbing, Inc. for the Public Works Trench Drain Replacement Project in the Amount of \$35,817.62*

A motion was made by Alderman Artie Woods, seconded by Alderman Catalano, to *Approve Final Payment to Franzen Plumbing, Inc. for the Public Works Trench Drain Replacement Project in the Amount of \$35,817.62.*

When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

- iii. *A Resolution Approving Amendment No. 1 to the Agreement between the City of Wood Dale and RJN Group for the Addison Road Watermain Replacement Project Professional Services in an Amount Not to Exceed \$37,000*

A motion was made by Alderman Artie Woods, seconded by Alderwoman Ames, to Approve A Resolution Approving Amendment #1 to the Agreement between the City of Wood Dale and RJN Group for the Addison Road Watermain Replacement Project Professional Services in an Amount Not to Exceed \$37,000.

When the question was put, a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

D. Finance and Administration Committee

- i. *A Resolution Authorizing an Agreement Between the City of Wood Dale and Avemco Insurance Company for Weather Insurance in the Amount of \$7,750.60*

A motion was made by Alderwoman Ames, seconded by Alderman Curiale, to Approve A Resolution Authorizing an Agreement Between the City of Wood Dale and Avemco Insurance Company for Weather Insurance in the Amount of \$7,750.60.

Director Ibares responded to Mayor Pulice's inquiry, this Policy covers 4 days, just for the Carnival. The Application process bases the cost of the Premium on expected revenues per day so with the change in Revenue sources for Prairie Fest this year, only the revenues projected from the Carnival are counted.

Mayor Pulice questioned paying \$7,750 to protect \$12,000.

Director Wilson stated it would be around \$8,000 to protect around \$25-\$30,000.

Last year the City lost a day due to bad weather.

When the question was put, a roll call vote was taken with the following results:

Ayes: None

Nays: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Whereupon the Mayor declared the motion failed.

X. OTHER BUSINESS

A. Airport Noise Report

No Report

B. Stormwater Commission Report

No Report

XI. APPROVAL OF LIST OF BILLS: June 6, 2024 **\$1,146,980.27**

A motion was made by Alderwoman Ames, seconded by Alderman Artie Woods, to approve the June 6, 2024 payment of the List of Bills, for the total amount of **\$1,146,980.27** for the following:

| | | |
|-----------------------------|----|------------|
| • General Fund | \$ | 216,941.76 |
| • Road & Bridge Fund | \$ | 1,053.88 |
| • Motor Fuel Tax Fund | \$ | 8,263.38 |
| • Tourism Fund | \$ | 73,980.71 |
| • Narcotics Fund | \$ | 974.04 |
| • TIF District #1 | \$ | 216,927.00 |
| • TIF District #2 | \$ | 3,255.00 |
| • Capital Projects Fund | \$ | 409,384.46 |
| • Land Acquisition Fund | \$ | - |
| • Commuter Parking Lot Fund | \$ | 371.72 |
| • Sanitation Fund | \$ | 146.94 |
| • Water & Sewer Fund | \$ | 215,132.41 |
| • CERF | \$ | 548.97 |
| • Special Service Area Fund | \$ | - |

Total of all Funds: \$ 1,146,980.27

Total Number of Checks: 103

When the question was put a roll call vote was taken with the following results:

Ayes: Alderwoman Ames, Alderman Catalano, Alderman Curiale, Alderman Messina, Alderman Art Woods, Alderman Artie Woods

Nays: None

Whereupon the Mayor declared the motion carried.

XII. EXECUTIVE SESSION

Review of the Executive Session Official Minutes [Pursuant to 5 ILCS 120/2(c)(21)] and to discuss Land Acquisition [Pursuant to 5 ILCS 120/2(c)(5)].

XIII. ITEMS TO BE REFERRED

None

XIV. ITEMS FOR INFORMATION ONLY

None

XV. ADJOURNMENT

A motion was made by Alderwoman Ames, seconded by Alderman Artie Woods, to adjourn the Regular Meeting of June 6, 2024 to go to Executive Session to Review Executive Session Official Minutes [Pursuant to 5 ILCS 120/2(c)(21)] and to discuss Land Acquisition [Pursuant to 5 ILCS 120/2(c)(5)].

When the question was put, all Aldermen voted in the affirmative. Whereupon the Mayor declared the City Council Meeting adjourned at 9:11 p.m.

Minutes taken by City Clerk Lynn Curiale

Reviewed by Legal Counsel Patrick Bond



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Bensenville Park District IGA for Arbor Ln Sidewalk
Staff Contact: Alan Lange, Public Works Director
Department: Public Works

TITLE: A Resolution Approving an Intergovernmental Agreement between the City of Wood Dale and the Bensenville Park District for the Construction and Maintenance of a Sidewalk on the South Side of Arbor Park

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote: Passed 8-0

Committee Meeting Date: June 13, 2024

Requested information from Committee: None

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ IGA

STRATEGIC PLAN ITEM

- Yes
- No

RESOLUTION NO. R-24-38

**A RESOLUTION APPROVING AN INTERGOVERNMENTAL AGREEMENT
BETWEEN THE CITY OF WOOD DALE AND THE BENSENVILLE PARK DISTRICT
FOR THE CONSTRUCTION AND MAINTENANCE OF A SIDEWALK ON THE SOUTH
SIDE OF ARBOR PARK**

WHEREAS, the CITY is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*; and

WHEREAS, the PARK DISTRICT is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Park District Code, 70 ILCS 1205/1-1, *et seq.*; and

WHEREAS, the CITY and the PARK DISTRICT are public agencies within the meaning of the Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1, *et seq.*, and are authorized by Article VII, Section 10 of the Constitution of the State of Illinois to cooperate for public purposes; and

WHEREAS, the purpose of the Intergovernmental Cooperation Act and Article VII, Section 10 of the Constitution of the State of Illinois includes fostering cooperation among governmental bodies; and

WHEREAS, Article VII, Section 10, of the Illinois Constitution of 1970 and the Intergovernmental Cooperation Act, 5 ILCS 220/1, *et seq.*, authorize units of local government to contract or otherwise associate among themselves to obtain or share services, to exercise, combine or transfer any power or function, in any manner not prohibited by law, to use their credit, revenues and other reserves to pay costs and to service debt related to intergovernmental activities; and

WHEREAS, the CITY and the PARK DISTRICT are “units of local government,” as defined in Article VII, Section 1, of the Illinois Constitution of 1970, and, therefore, pursuant to Section 10 of Article VII, have the power to contract among themselves to obtain or share services and to exercise, combine or transfer any power or function in any manner not prohibited by law or ordinance; and

WHEREAS, the CITY, pursuant to its authority under the Sections 65 ILCS 11-80-13 and 11-84-1 of the Illinois Municipal Code, 65 ILCS 11-80-13 and 11-84-1, *et seq.*, is authorized to construct and regulate the use of sidewalks; and

WHEREAS, the CITY owns the public right of way that includes both Arbor Lane and Spruce Avenue; and,

WHEREAS, as a condition of their permit for the construction of Arbor Park, and in order to close the pedestrian loop and provide access to their facility the PARK DISTRICT is required to complete the sidewalk along the north side of Arbor Lane from its existing termini to the west of the park to the existing sidewalk at the northwest

intersection of Arbor Lane and Spruce Avenue in addition to a carriage walk and ADA access ramp from the proposed sidewalk to their facility (see Exhibit A); and

WHEREAS, the CITY is installing sidewalk improvements along the west side of Spruce Avenue adjacent to Arbor Park; and

WHEREAS, the CITY is willing to construct and maintain PARK DISTRICT'S portion of the sidewalk along Arbor Lane, as long as it is compensated for such and the PARK DISTRICT is willing to compensate the CITY for such, as provided herein; and

WHEREAS, the CITY is willing to construct the carriage walk and ADA access ramp on the PARK DISTRICT'S property, as long as it is compensated for such and the PARK DISTRICT is willing to compensate the CITY for such, as provided herein; and

WHEREAS, the PARK DISTRICT shall accept all future maintenance responsibility for the carriage walk and ADA access ramp located on their property; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF WOOD DALE, DUPAGE COUNTY, AN ILLINOIS CORPORATION, as follows:

SECTION 1: The recitals set forth above are incorporated herein and made a part hereof.

SECTION 2: The Mayor is authorized to execute said Agreement on behalf of the City of Wood Dale, which signature shall be attested to by the City Clerk.

SECTION 3: The City Manager, staff and/or the City Attorney shall take the steps necessary to put the terms and conditions of the Agreement into effect.

SECTION 4: That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 5: That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this **20th day of June, 2024**.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this **20th day of June, 2024.**

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Lynn Curiale, City Clerk

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY
OF WOOD DALE AND THE BENSENVILLE PARK DISTRICT FOR
THE CONSTRUCTION AND MAINTENANCE OF A SIDEWALK ON
THE SOUTH SIDE OF ARBOR PARK**

THIS AGREEMENT is entered into this 20th day of June, 2024, by and between the CITY OF WOOD DALE, a municipal corporation (hereinafter referred to as the “CITY”), and the BENSENVILLE PARK DISTRICT, a municipal corporation (hereinafter referred to as the “PARK DISTRICT”). The CITY and the PARK DISTRICT are sometimes collectively referred to herein as the “PARTIES.”

RECITALS

WHEREAS, the CITY is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*; and

WHEREAS, the PARK DISTRICT is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Park District Code, 70 ILCS 1205/1-1, *et seq.*; and

WHEREAS, the CITY and the PARK DISTRICT are public agencies within the meaning of the Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1, *et seq.*, and are authorized by Article VII, Section 10 of the Constitution of the State of Illinois to cooperate for public purposes; and

WHEREAS, the purpose of the Intergovernmental Cooperation Act and Article VII, Section 10 of the Constitution of the State of Illinois includes fostering cooperation among governmental bodies; and

WHEREAS, Article VII, Section 10, of the Illinois Constitution of 1970 and the Intergovernmental Cooperation Act, 5 ILCS 220/1, *et seq.*, authorize units of local government to contract or otherwise associate among themselves to obtain or share services, to exercise, combine or transfer any power or function, in any manner not prohibited by law, to use their credit, revenues and other reserves to pay costs and to service debt related to intergovernmental activities; and

WHEREAS, the CITY and the PARK DISTRICT are “units of local government,” as defined in Article VII, Section 1, of the Illinois Constitution of 1970, and, therefore, pursuant to Section 10 of Article VII, have the power to contract among themselves to obtain or share services and to exercise, combine or transfer any power or function in any manner not prohibited by law or ordinance; and

WHEREAS, the CITY, pursuant to its authority under the Sections 65 ILCS 11-80-13 and 11-84-1 of the Illinois Municipal Code, 65 ILCS 11-80-13 and 11-84-1, *et seq.*, is authorized to construct and regulate the use of sidewalks; and

WHEREAS, the CITY owns the public right of way that includes both Arbor Lane and Spruce Avenue; and,

WHEREAS, as a condition of their permit for the construction of Arbor Park, and in order to close the pedestrian loop and provide access to their facility the PARK DISTRICT is required to complete the sidewalk along the north side of Arbor Lane from its existing termini to the west of the park to the existing sidewalk at the northwest intersection of Arbor Lane and Spruce Avenue in addition to a carriage walk and ADA access ramp from the proposed sidewalk to their facility (see Exhibit A); and

WHEREAS, the CITY is installing sidewalk improvements along the west side of Spruce Avenue adjacent to Arbor Park; and

WHEREAS, the CITY is willing to construct and maintain PARK DISTRICT'S portion of the sidewalk along Arbor Lane, as long as it is compensated for such and the PARK DISTRICT is willing to compensate the CITY for such, as provided herein; and

WHEREAS, the CITY is willing to construct the carriage walk and ADA access ramp on the PARK DISTRICT'S property, as long as it is compensated for such and the PARK DISTRICT is willing to compensate the CITY for such, as provided herein; and

WHEREAS, the PARK DISTRICT shall accept all future maintenance responsibility for the carriage walk and ADA access ramp located on their property; and

NOW, THEREFORE, in consideration of the promises and covenants contained herein, the PARTIES agree that:

SECTION 1. RECITALS. The foregoing recitals are hereby incorporated by reference as though fully set forth herein.

SECTION 2. TERMS. For purposes of this Agreement, the term "CITY" shall mean and include the CITY and its present and future officers, employees, agents, servants, contractors and their subcontractors, volunteers, assigns and successors; and the term "PARK DISTRICT" shall mean and include its present and future officers, employees, agents, servants, contractors and their subcontractors, volunteers, assigns and successors.

SECTION 3. CITY'S OBLIGATIONS. The CITY shall construct and maintain in good repair the sidewalk improvements (hereinafter referred to as the "Sidewalk" or "Sidewalk Improvements") located on the west side of the Parking Area as follows:

- a. The CITY shall be responsible for the design, construction, and installation of the Sidewalk Improvements, as set forth in the Plans, attached hereto as Exhibit A and incorporated herein by this reference. The PARK DISTRICT shall share in the cost of the Sidewalk Improvements as set forth in Section 4 herein. Sidewalk shall be constructed so that it is connected to and is a continuation of the existing public sidewalk along Arbor Lane. In addition to the public sidewalk, an accessibility ramp shall be constructed from

the proposed sidewalk northward to the facility entrance. The CITY shall not be obligated to maintain this ramp. All work performed by or for the CITY under this Agreement shall be constructed in a workmanlike manner without the attachment of any liens on property or public funds and shall be completed in compliance with all applicable statutes, laws, ordinances, rules and regulations.

b. The CITY, at its sole cost and expense, shall maintain the public sidewalks along Arbor Lane and Spruce Avenue unless this Agreement is terminated as provided in Section 5 herein. "Maintenance" and "maintain" shall mean any activity necessary to cause the Sidewalk to function safely in accordance with CITY specifications in effect for public sidewalk improvements at the time of the Sidewalk's original installation.

c. The CITY'S obligation to maintain the Sidewalk shall continue for so long as it shall maintain a connecting sidewalk to the north or south of the Sidewalk along the west side of North Hemlock Avenue. The CITY shall have no obligation to remove the Sidewalk if and when its obligation to maintain them shall cease.

d. The CITY agrees that, before beginning any work, it shall maintain (if the CITY is performing any work), or it shall cause each of its contractors who will be performing any work, to maintain general comprehensive liability, automobile liability, and employer's liability insurance policies and deliver to the PARK DISTRICT a certificate(s) of insurance from insurers meeting the minimum requirements for insurance typically required by the CITY on such projects, naming the PARK DISTRICT as an "additional insured." This insurance shall be primary insurance with respect to any other insurance or self-insurance afforded to the PARK DISTRICT. Any insurance or self-insurance maintained by the PARK DISTRICT shall be excess of the contractor's insurance and shall not contribute with it.

e. The CITY shall restore to its original condition any property near, around or adjacent to the Sidewalk disturbed by the construction, installation, or maintenance of the Sidewalk.

f. To the extent authorized by law, the CITY shall indemnify, hold harmless, and defend the PARK DISTRICT or any of its commissioners, officers, employees, or agents from and against any and all liability, suits, claims, demands, causes of action, judgments, and damages, including attorney's fees and costs, arising out of or in any way related to any loss, damage, injury, death, or loss or damage to property resulting from any negligent, willful and wanton or intentional acts or omissions in connection with the design, construction, installation, maintenance, repair and/or replacement of the Sidewalk Improvements, including but not limited to the City's performance of its obligations under this Agreement.

SECTION 4. PARK DISTRICT'S OBLIGATIONS: In connection with the construction and maintenance of the Sidewalk Improvements:

a. The PARK DISTRICT shall reimburse the CITY for the portion of sidewalk

along Arbor Lane, as well as the carriage walk and ADA access ramp on their property. The actual quantities and costs will be tracked by the contractor but are understood not to exceed \$26,000 for the PARK DISTRICT'S share. Upon completion, the CITY shall submit an invoice to the PARK DISTRICT for their share of the work. Said invoice shall be full, complete, and only payment required of the PARK DISTRICT in connection with this Agreement.

b. The PARK DISTRICT agrees that, except as provided herein, the design, materials, installation, construction, and the maintenance of the Sidewalk shall be within the sole discretion, supervision, control and direction of the CITY.

c. The PARK DISTRICT shall accept all future maintenance responsibility for the carriage walk and ADA access ramp to their facility, and agree to keep it in good working order and in compliance with all Federal, State, and Local laws and provisions.

d. The PARK DISTRICT shall indemnify, hold harmless, and defend the CITY or any of its City Council members, officers, employees, or agents from and against any and all liability, suits, claims, demands, causes of action, judgments, and damages, including attorney's fees and costs arising out of or related to any loss, damage, injury, death, or loss or damage to property resulting from any negligent, willful and wanton or intentional acts or omissions in connection with the PARK DISTRICT'S performance of this Agreement to the fullest extent the PARK DISTRICT is so authorized under the law.

SECTION 5. TERMINATION. This Agreement shall terminate upon the mutual agreement of PARTIES in writing. The indemnification provisions set forth herein shall survive termination of the Agreement.

SECTION 6. MISCELLANEOUS.

a. Amendment. This Agreement may be amended or modified only by written instrument signed by both the CITY and the PARK DISTRICT, with any appropriate or acquired corporate action or authorization.

b. Construction. Agreement shall be construed according to the laws of the State of Illinois and any litigation arising out of this Agreement shall be brought in the Eighteenth Judicial Circuit, DuPage County, Illinois. The PARTIES agree that the successful party in any litigation to enforce the terms and provisions of this Agreement shall be entitled to its reasonable costs and attorney fees to enforce the terms and provisions of the Agreement.

c. Severability. It is agreed between the CITY and PARK DISTRICT that the provisions of this Agreement are severable. If any provision, paragraph, section, subdivision, clause, phrase, or word of this Agreement is for any reason held to be contrary to law, or contrary to any rule or regulation having the force and effect of law, such decision shall not affect the remaining portions of this Agreement.

d. Notice. Any notice required by the provisions of this Agreement shall be mailed to:

City of Wood Dale:

Jeffrey Mermuys, City Manager
404 N. Wood Dale Road
Wood Dale, IL 60191

With copy to:

Patrick K. Bond
Bond, Dickson & Conway
400 S. Knoll Street, Unit C
Wheaton, IL 60187

Bensenville Park District:

Joe Vallez, Executive Director
1000 W Wood Ave
Bensenville, IL 60106

With copy to:

Mary Dickson
Bond, Dickson & Conway
400 S. Knoll Street, Unit C
Wheaton, IL 60187

e. Entire Agreement. This Agreement, together with Exhibits A and B, represents the entire Agreement between the CITY and the PARK DISTRICT and supersedes all prior negotiations, representations or agreements either written or oral.

[This space left intentionally blank.]

IN WITNESS WHEREOF, the PARTIES to this Agreement have entered their hands and seals on the date above and by the same acknowledge that they have read and understand this Agreement and intend to be bound by its terms.

CITY OF WOOD DALE

BENSENVILLE PARK DISTRICT

Annunziato Pulice
Mayor, City of Wood Dale

Rich Johnson
President

Attest:

By: _____
Lynn Curiale
City Clerk

By: _____
Nancy Gibbs
Secretary

F:\PKB\Wood Dale\Agreements\Bensenville Park Dist IGA for Arbor Lane Sidewalk.docx



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Spruce Avenue/Arbor Lane Sidewalk Installation
Staff Contact: Alan Lange, Public Works Director
Department: Public Works

TITLE: A Resolution Approving an Agreement between the City of Wood Dale and Davis Concrete Construction Co. for the Spruce Avenue and Arbor Lane Sidewalk Installation Project in an Amount Not to Exceed \$39,900.00

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote: Passed 8-0

Committee Meeting Date: June 13, 2024

Requested information from Committee: None

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ Agreement

STRATEGIC PLAN ITEM

- Yes
- No

RESOLUTION NO. R-24-39

A RESOLUTION APPROVING AN AGREEMENT BETWEEN THE CITY OF WOOD DALE AND DAVIS CONCRETE CONSTRUCTION CO. FOR THE SPRUCE AVENUE AND ARBOR LANE SIDEWALK INSTALLATION PROJECT IN AN AMOUNT NOT TO EXCEED \$39,900.00

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*, and its own duly adopted Municipal Code; and

WHEREAS, the City is authorized and empowered under the Illinois Municipal Code, and its Ordinances adopted pursuant thereto, to enter into agreements and to contract for goods and services; and

WHEREAS, the Mayor and the City Council of the City seek to ensure that the City is run effectively and efficiently; and

WHEREAS, the Mayor and the City Council of the City, seeks the **DAVIS CONCRETE CONSTRUCTION CO.** for the **SPRUCE AVENUE AND ARBOR LANE SIDEWALK INSTALLATION PROJECT**; and

WHEREAS, these services are necessary to maintain and promote an effective and efficient City Government; and

WHEREAS, after diligent review of the qualifications and services of **DAVIS CONCRETE CONSTRUCTION CO.** the Mayor and the City Council find **DAVIS CONCRETE CONSTRUCTION CO.** is the most qualified firm to perform the duties sought by the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF WOOD DALE, DUPAGE COUNTY, AN ILLINOIS CORPORATION, as follows:

SECTION 1: The recitals set forth above are incorporated herein and made a part hereof.

SECTION 2: The Mayor is authorized to execute said Agreement on behalf of the City of Wood Dale, which signature shall be attested to by the City Clerk.

SECTION 3: The City Manager, staff and/or the City Attorney shall take the steps necessary to put the terms and conditions of the Agreement into effect.

SECTION 4: That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 5: That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this **20th day of June, 2024.**

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this **20th day of June, 2024.**

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Lynn Curiale, City Clerk

**CITY OF WOOD DALE
SPRUCE AVENUE AND
ARBOR LANE SIDEWALK
INSTALLATION PROJECT**

CONTRACT

This CONTRACT, made and entered into this 20th day of June, 2024, by and between the CITY OF WOOD DALE, an Illinois municipal corporation (hereinafter “City”), and Davis Concrete Construction Company, an Illinois corporation (hereinafter “Contractor”);

RECITALS

WHEREAS, the City desires to engage the Contractor to provide (hereinafter “Work”), located within the corporate limits of the City of Wood Dale; and

WHEREAS, the Contractor represents itself to be in compliance with Illinois Statutes relating to all matters affecting its status as a corporation operating as a general contractor within the State of Illinois and to have the necessary expertise and experience to furnish such services for the Work upon the terms and conditions set forth herein below:

NOW, THEREFORE, in consideration of the mutual promises herein contained, it is hereby agreed by and between the City and the Contractor that:

I. SCOPE OF SERVICES

The Scope of Services shall be as set forth in the “Notice to Bidders”, “Instructions to Bidders”, “Special Instructions”, “Technical Specifications”, “General Requirements”, “Specifications”, and “Special Provisions” prepared by the City. Should there be a conflict in terms between this Contract and the other documents, which are a component part hereof, this Document shall control.

II. PERFORMANCE OF WORK

The Contractor shall perform all work, furnishing all materials and labor, and shall abide by the terms of this Contract and the requirements of the City. Contractor must complete, in its entirety, the project within **30 working days**, weather permitting, from the date the City provides Contractor with notice to proceed.

III. SITE ABANDONMENT

The Contractor shall prioritize this Project in accordance with the timeliness set forth in the Bid Specifications and the Contract. In no event shall the Contractor cease to

perform work on this Project for a period of more than five (5) consecutive business days.

In the event that circumstances arise which require or warrant the Contractor ceasing work on the Project for a period in excess of five (5) business days, the Contractor shall provide Notice to the City, with Notice to the Public Works Director and the Project Engineer. Said Notice shall provide the basis for the Contractor being unable to perform work on the Project for said period of time.

In the event that the basis for the delay is not acceptable to the City, the City shall so notify the Contractor immediately. In such case, the Contractor shall arrange to return to the Project immediately following any five (5) day absence.

Nothing herein is intended to or shall alter the Substantial Completion or Final Completion requirements set forth in the Contract. In addition, nothing herein is intended to or shall alter the Liquidated Damages provisions of the Contract.

IV. PAYMENT TO THE CONTRACTOR

For the Work, the Contractor shall be paid in accordance with the Proposal. The City shall make payments to the Contractor within 30 days after completion of the Work and upon receipt of an invoice in a format approved by the City.

This contract calls for the construction of a "public work," within the meaning of the Illinois Prevailing Wage Act, 820 ILCS 130/.01 et seq. ("the Act"). The Act requires contractors and subcontractors to pay laborers, workers and mechanics performing services on public works projects no less than the current "prevailing rate of wages" (hourly cash wages plus amount for fringe benefits) in the county where the work is performed. The Department publishes the prevailing wage rates on its website at <http://labor.illinois.gov/>. The Department revises the prevailing wage rates and the contractor/subcontractor has an obligation to check the Department's web site for revisions to prevailing wage rates. For information regarding current prevailing wage rates, please refer to the Illinois Department of Labor's website. All contractors and subcontractors rendering services under this contract must comply with all requirements of the Act, including but not limited to, all wage requirements and notice and record keeping duties.

V. NO CO-PARTNERSHIP OR AGENCY

It is understood that nothing herein contained is intended or shall be construed to, in any respect, create or establish the relationship of co-partners between the City and the Contractor, or as constituting the Contractor as the general representative or general agent for the City for any purpose whatsoever.

VI. CONTRACT DOCUMENTS

It is further understood that this Contract consists of the following documents which are hereby made a part hereof: the Notice to Bidders, Instructions to Bidders, Specifications, Special Instructions, Special Provisions, Proposal, Performance Bond, Maintenance Bond, Anti-Collusion Affidavit of Compliance, Americans with Disabilities Act of 1990 Certificate, Policy Against Sexual Harassment Certificate, Hold Harmless Agreement, Anti-bid Rigging Certificate, and Drug-free Workplace Certificate.

VII. MATERIALS AND LABOR/WORKMANSHIP WARRANTY

Upon completion of the Work, and satisfactory acceptance by the City, the Contractor will provide a written one (1) year warranty covering both parts and labor/workmanship. Warranty shall include, but is not limited by this provision, that any defective material(s) and/or defective installation or workmanship will be repaired and/or replaced by Contractor at no cost to the City. The City's preferred warranty template is attached to this document.

VIII. SEVERABILITY

The parties intend and agree that, if any paragraph, subparagraph, phrase, clause, or other provision of this Contract, or any portion thereof, shall be held to be void or otherwise unenforceable, all other portions of this Contract shall remain in full force and effect.

IX. HEADINGS

The headings of the several paragraphs of this Contract are inserted only as a matter of convenience and for reference and in no way are they intended to define, limit, or describe the scope or intent of any provision of this Contract, nor shall they be construed to affect in any manner the terms and provisions hereof or the interpretation or construction thereof.

X. MODIFICATION OR AMENDMENT

This Contract constitutes the entire contract of the parties on the subject matter hereof and may not be changed, modified, discharged, or extended except by written amendment duly executed by the parties. Each party agrees that no representations or warranties shall be binding upon the other party unless expressed in writing herein or in a duly executed amendment hereof, or Change Order as herein provided.

XX. APPLICABLE LAW

This Contract shall be deemed to have been made in, and shall be construed in accordance with the laws of the 18th Judicial Circuit Court of DuPage County, State

of Illinois.

XXI. NEWS RELEASES

The Contractor may not issue any news releases without prior approval from the City Manager nor will the Contractor make public proposals developed under this Contract without prior written approval from the City Manager prior to said documentation becoming a matter of public record.

XXII. COOPERATION WITH OTHER CONTRACTORS

The Contractor shall cooperate with any other Contractors in the City's employ or any matter associated with the Work.

XXIII. NOTICES

All notices, reports and documents required under this Contract shall be in writing and shall be mailed by first class mail, postage prepaid, addressed as follows:

If to City:

Jeffrey Mermuys
City Manager
404 N. Wood Dale Road
Wood Dale, Illinois 60191

With a copy to:

Lynn Curiale
City Clerk
404 N. Wood Dale Road
Wood Dale, Illinois 60191

If to Contractor:

Christopher P. Davis
Corporate Secretary
11244 W. Manhattan-Monee Rd
Monee, IL 60449

IN WITNESS WHEREOF, the undersigned have placed their hands and seals hereto on the date first above written.

CITY OF WOOD DALE:

ATTEST:

Annunziato Pulice, Mayor

Lynn Curiale, City Clerk

CONTRACTOR:

ATTEST:

By Christopher P. Davis
Its Corporate Secretary

By [Signature]
Treasurer



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: FY 25 Salt Purchase
Staff Contact: Alan Lange, Public Works Director
Department: Public Works

TITLE: A Resolution Authorizing the Purchase of Bulk Rock Salt for FY 2025 from Morton Salt, Inc. in an Amount Not to Exceed \$67,249.00

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote: Passed 8-0

Committee Meeting Date: June 13, 2024

Requested information from Committee: None

DOCUMENTS ATTACHED

✓ Resolution

STRATEGIC PLAN ITEM

Yes
 No

RESOLUTION NO. R-24-40

A RESOLUTION AUTHORIZING THE PURCHASE OF BULK ROCK SALT FOR FY 2025 FROM MORTON SALT, INC. IN AN AMOUNT NOT TO EXCEED \$67,249.00

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*, and its own duly adopted Municipal Code; and

WHEREAS, the City is authorized and empowered under the Illinois Municipal Code, and its Ordinances adopted pursuant thereto, to enter into agreements and to contract for goods and services; and

WHEREAS, the Mayor and the City Council of the City seek to ensure that the City is run effectively and efficiently; and

WHEREAS, the Mayor and the City Council of the City, seeks the **MORTON SALT, INC.** for the **FY 2025 BULK ROCK SALT PURCHASE**; and

WHEREAS, these services are necessary to maintain and promote an effective and efficient City Government; and

WHEREAS, after diligent review of the qualifications and services of **MORTON SALT, INC.**, the Mayor and the City Council find **MORTON SALT, INC.** is the most qualified firm to perform the duties sought by the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF WOOD DALE, DUPAGE COUNTY, AN ILLINOIS CORPORATION, as follows:

SECTION 1: The recitals set forth above are incorporated herein and made a part hereof.

SECTION 2: The Mayor is authorized to execute said Agreement on behalf of the City of Wood Dale, which signature shall be attested to by the City Clerk.

SECTION 3: The City Manager, staff and/or the City Attorney shall take the steps necessary to put the terms and conditions of the Agreement into effect.

SECTION 4: That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 5: That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this **20th day of June, 2024.**

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this **20th day of June, 2024.**

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Lynn Curiale, City Clerk



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: North Plant Aspirator Pump Repair
Staff Contact: Alan Lange, Public Works Director
Department: Public Works

TITLE: A Resolution Approving a Proposal from Dahme Mechanical Industries, Inc. for the North Plant Aspirator Pump Repair in an Amount Not to Exceed \$29,188.00

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote: Passed 8-0

Committee Meeting Date: June 13, 2024

Requested information from Committee: None

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ Dahme Proposal

STRATEGIC PLAN ITEM

- Yes
- No

RESOLUTION NO. R-24-41

A RESOLUTION APPROVING A PROPOSAL FROM DAHME MECHANICAL INDUSTRIES, INC. FOR THE NORTH PLANT ASPIRATOR PUMP REPAIR IN AN AMOUNT NOT TO EXCEED \$29,188.00

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*, and its own duly adopted Municipal Code; and

WHEREAS, the City is authorized and empowered under the Illinois Municipal Code, and its Ordinances adopted pursuant thereto, to enter into agreements and to contract for goods and services; and

WHEREAS, the Mayor and the City Council of the City seek to ensure that the City is run effectively and efficiently; and

WHEREAS, the Mayor and the City Council of the City, seeks the **DAHME MECHANICAL INDUSTRIES, INC.** for the **NORTH PLANT ASPIRATOR PUMP REPAIR**; and

WHEREAS, these services are necessary to maintain and promote an effective and efficient City Government; and

WHEREAS, after diligent review of the qualifications and services of **DAHME MECHANICAL INDUSTRIES, INC.**, the Mayor and the City Council find **DAHME MECHANICAL INDUSTRIES, INC.** is the most qualified firm to perform the duties sought by the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF WOOD DALE, DUPAGE COUNTY, AN ILLINOIS CORPORATION, as follows:

SECTION 1: The recitals set forth above are incorporated herein and made a part hereof.

SECTION 2: The Mayor is authorized to execute said Agreement on behalf of the City of Wood Dale, which signature shall be attested to by the City Clerk.

SECTION 3: The City Manager, staff and/or the City Attorney shall take the steps necessary to put the terms and conditions of the Agreement into effect.

SECTION 4: That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 5: That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this **20th day of June, 2024.**

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this **20th day of June, 2024.**

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Lynn Curiale, City Clerk



DAHME MECHANICAL INDUSTRIES, INC.
610 S. ARTHUR AVE.
ARLINGTON HEIGHTS, IL 60005
847-253-0341
info@dami-inc.net www.dami-inc.net

April 30, 2024

City of Wood Dale
404 N. Wood Dale Rd.
Wood Dale, IL 60191

Attn: Brett Garelli

Re: North WWTF
Aspirator Pump Motor – Furnish and Install

Brett:

Dahme Mechanical Industries is pleased to submit the following narrative as a proposed sequence and method(s) to provide the discussed improvements at the project site referenced above:

- preconstruction meeting between contractor and CoWD personnel to discuss outages, access, schedule, expectations for completion
- remove, replace, align and place into service (1) 30HP motor
- one-year parts and labor warranty and CoWD insurance requirements are included

EXCLUSIONS:

1. **Dahme Mechanical Industries, Inc. shall not be held liable for any job site safety or job site maintenance of any type upon completion of our work.**
2. All agreements contingent upon strikes, accidents or delays beyond our control.
3. All work not included or described above.
4. All work not included in our trade agreements or reasonably assumed to be our responsibility

All material is guaranteed as listed above and specified above. Any additional items not included in our trade agreements or clearly stated above are expressly excluded. Payment terms are net 100%, due upon completion.

Total price as described above ...\$29,188.00

Dahme Mechanical Industries, Inc. standard insurance is included. Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. This proposal may be withdrawn by us if not accepted within 30 days.

Thank you-

Kris Komorn
Dahme Mechanical Industries, Inc.
kkomorn@dami-inc.net



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Lot Consolidation for 140 Edgebrook Road
Staff Contact: Staci Springer, Community Development Director
Department: Community Development

TITLE: AN ORDINANCE APPROVING A PLAT OF SUBDIVISION FOR CONSOLIDATION OF PROPERTY LOCATED AT 140 EDGEBROOK ROAD, WOOD DALE, ILLINOIS

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote: 8-0

Committee Meeting Date: June 13, 2024

Requested information from Committee: None

DOCUMENTS ATTACHED

✓ Ordinance with an Exhibit

STRATEGIC PLAN ITEM

Yes
 No

ORDINANCE NO. O-24-018

AN ORDINANCE APPROVING A PLAT OF SUBDIVISION FOR CONSOLIDATION OF PROPERTY LOCATED AT 140 EDGEBROOK ROAD, WOOD DALE, ILLINOIS

WHEREAS, the City of Wood Dale (the City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City is authorized and empowered, under the Illinois Municipal Code and the Code of Ordinances of the City of Wood Dale (“City Code”), to regulate properties located within the municipal boundaries of the City; and

WHEREAS, in furtherance of this authorization, the City has adopted the Unified Development Ordinance, codified in Chapter 17 of the City Code, which sets forth provisions regarding lot subdivision and consolidation in the City; and

WHEREAS, the Property located at 140 Edgebrook Road currently consists of two parcels with PINs 03-16-203-033 & 03-16-203-032, owned by Douglas Dahlberg (the “Property”); and

WHEREAS, the City Council of the City of Wood Dale has determined that a consolidation of the aforesaid parcels as indicated in the Plat of Subdivision attached hereto and incorporated herein by reference as Exhibit A is in the best interests of the health, safety and welfare of the citizens of the City of Wood Dale because such consolidation is advantageous to the future development of the Property.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That the Plat of Subdivision in connection with the Property attached hereto as Exhibit A is hereby approved.

SECTION THREE: That the Mayor, City Clerk and City Staff are authorized and directed to take all necessary action to effect the consolidation as indicated in the Plat of Subdivision in connection with the Property attached as Exhibit A.

SECTION FOUR: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2024

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2024

Annunziato Pulice, Mayor

ATTEST:

Lynn Curiale, City Clerk

Published in pamphlet form _____, 2024

EXHIBIT A
Plat of Subdivision/Consolidation 140 Edgebrook Road

PRELIMINARY PLAT OF
DAHLBERG SUBDIVISION
 BEING A RESUBDIVISION OF

LOTS 42 AND 43 IN BRANGAR'S FIFTH WOODDALE ACRES, BEING A SUBDIVISION IN SECTIONS 9 AND 16,
 TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DU PAGE COUNTY, ILLINOIS.



BASIS OF BEARINGS ARE
 ILLINOIS COORDINATES
 SYSTEM OF 1983(NAD83)

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT _____ AND _____ ARE THE OWNERS OF THE LAND DESCRIBED IN THE FOREGOING SURVEYORS CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN ON THE ANNEXED PLAT FOR THE USES AND PURPOSES THEREIN SET FORTH ALLOWED AND PROVIDED BY STATUTE, THE SUBDIVISION TO BE KNOWN AS DAHLBERG RESUBDIVISION, CITY OF WOOD DALE, DU PAGE COUNTY, ILLINOIS AND DOES HEREBY ACKNOWLEDGE AND ADOPT SAME UNDER THE AFORESAID STYLE AND TITLE.

DATED THIS ___ DAY OF _____, 20__

BY: _____ OWNER(S)

BY: _____ OWNER(S)

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

I, _____ A NOTARY PUBLIC IN AND FOR THE AFORESAID STATE AND COUNTY DO HEREBY CERTIFY THAT _____ AND _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S), WHOSE NAME(S) (S) ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THE ANNEXED PLAT AND ACCOMPANYING INSTRUMENTS FOR THE USES AND PURPOSES THEREIN SET FORTH AS HIS(HER) OWN FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ___ DAY OF _____, 20__

NOTARY PUBLIC _____

DUPAGE COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

I, _____ COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES OR SPECIAL ASSESSMENTS, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY STATUTORY FEES IN CONNECTION WITH THE PLAT.

GIVEN UNDER MY NAME AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS ___ DAY OF _____, 20__

COUNTY CLERK _____

DUPAGE COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF DU PAGE COUNTY, ILLINOIS, ON THE ___ DAY OF _____, 20__ AM/PM

COUNTY RECORDER _____

COMMUNITY DEVELOPMENT COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

PLAT APPROVED BY THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF WOOD DALE THIS ___ DAY OF _____, 20__

BY: _____ COMMUNITY DEVELOPMENT COMMISSION CHAIRMAN

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

PLAT APPROVED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE THIS ___ DAY OF _____, 20__

BY: _____ MAYOR

ATTEST: _____ CITY CLERK

CITY TREASURER CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

I, _____ TREASURER FOR THE CITY OF WOOD DALE, DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED ON THIS PLAT.

DATED THIS ___ DAY OF _____, 20__

BY: _____ CITY TREASURER

SCHOOL DISTRICT BOUNDARY STATEMENT

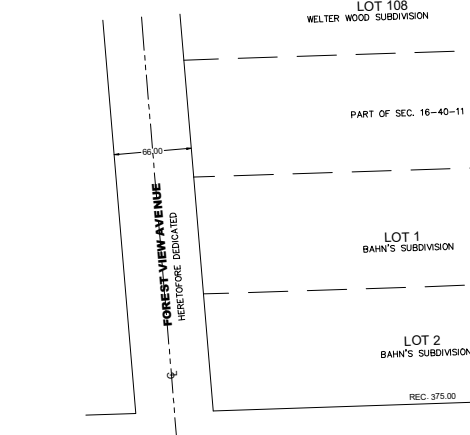
STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THIS SURVEYOR'S CERTIFICATE, AND KNOWN AS _____ AND _____ TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF THE WOOD DALE SCHOOL DISTRICT 7 FENTON COMMUNITY HIGH SCHOOL DISTRICT 100 IN DU PAGE COUNTY, ILLINOIS.

DATED THIS ___ DAY OF _____, 20__

BY: _____

BY: _____



PROJECT No. 389-23

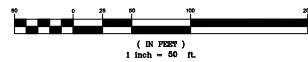
ORDERED BY: DOUGLAS J. DAHLBERG
 COMPANY OR ORGANIZATION: OWNER
 SURVEYED BY: SJ
 DRAWN BY: AFS
 CHECK BY: AFS
 PREPARED FOR OR OWNER:
 DOUGLAS J. DAHLBERG AND SANDRA K. DAHLBERG

SHEET 1 OF 1

LEGEND

| | | | |
|---------------------------|-------|----------|-----------------|
| SUBDIVISION BOUNDARY LINE | — | REC. | RECORD |
| LOT LINE | — | MEAS.- | MEASURED |
| EASEMENT LINE | - - - | R= | RADIUS |
| SETBACK LINE | - - - | L= | ARC LENGTH |
| CENTER LINE | - - - | N= | NORTH |
| RIGHT OF WAY LINE | - - - | S= | SOUTH |
| IRON PIPE SET (IPS) | ○ | E= | EAST |
| IRON PIPE FOUND (IPF) | ● | W= | WEST |
| IRON ROD FOUND (IRF) | ● | IPS- | IRON PIPE SET |
| | | IPF- | IRON PIPE FOUND |
| | | SQ. FT.- | SQUARE FEET |
| | | FT.- | FOOT |

GRAPHIC SCALE



OWNER (S):
 DOUGLAS J. DAHLBERG AND SANDRA K. DAHLBERG
 140 EDGERBROOK RD.
 WOOD DALE, IL 60191
 PHONE: (630) 334-0509

PARCEL IDENTIFICATION

EXISTING ADDRESS:
 140 EDGERBROOK RD., WOOD DALE, IL 60191
 PROPERTY TAX IDENTIFICATION NUMBERS: 03-16-203-032 (LOT 42),
 AND 03-16-203-033 (LOT 43)

BASIS OF BEARING

HORIZONTAL DATUM NAD 1983

SITE DATA

GROSS AREA LOT 1 = 23,182 SQUARE FEET OR 0.5322 ACRES

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT I, ANDRZEJ F. SPIEWAK, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED, SUBDIVIDED AND PLATTED FOR THE OWNERS THEREOF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 42 AND 43 IN BRANGAR'S FIFTH WOODDALE ACRES, BEING A SUBDIVISION IN SECTIONS 9 AND 16, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 24, 1937 AS DOCUMENT 388224, IN DU PAGE COUNTY, ILLINOIS,
 CONTAINING 0.5322 ACRES MORE OR LESS

I FURTHER CERTIFY THAT IRON STAKES HAVE BEEN SET AT ALL LOT CORNERS, POINTS OF CURVATURE AND TANGENCY, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED, AND THAT THIS PLAT HEREON DRAWN CORRECTLY REPRESENTS SAID SURVEY AND SUBDIVISION.

I FURTHER CERTIFY THAT THE FOREGOING PROPERTY FALLS WITHIN THE CORPORATE LIMITS OF THE CITY OF WOOD DALE, AND I FURTHER CERTIFY THAT PART OF SAID PROPERTY IS SITUATED WITHIN A FLOOD HAZARD SPECIAL FLOOD HAZARD AREA, REGULATORY FLOODWAY, ZONE AE WITH BASE FLOOD ELEVATION (BFE), AND OTHER AREAS OF FLOOD HAZARD, AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, ZONE X, AS PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MAP NUMBER 17043C2075J, COMMUNITY PANEL NUMBER 170224 EFFECTIVE DATE AUGUST 1, 2019.

DATED AT PARK RIDGE, ILLINOIS, THIS 3rd DAY OF JUNE, 2024.

ANDRZEJ F. SPIEWAK, ILLINOIS PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 035.003178, EXPIRES: 11/30/2024

ANDREW SPIEWAK LAND SURVEYOR, INC.
 D.B.A. SPIEWAK CONSULTING
 PROFESSIONAL DESIGN FIRM, LAND SURVEYING CORPORATION
 NO. 184.006518
 LICENSE EXPIRES: 04/30/2026
 1030 W. HIGGINS RD., SUITE 218, PARK RIDGE, IL 60068

SURVEYORS NOTES

1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN U.S. FEET AND DECIMAL PARTS THEREOF.
2. ALL EASEMENTS AND BUILDING LINES SHOWN ARE EXISTING FROM THE PREVIOUS SUBDIVISION.
3. ALL EASEMENTS DEPICTED ON THE PLAT MAP ARE FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES UNLESS OTHERWISE NOTED. REFER TO THE PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS STATEMENT FOR SPECIFIC TERMS AND CONDITIONS.

PRELIMINARY FOR REVIEW ONLY

ANDREW SPIEWAK LAND SURVEYOR, INC.
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184.006518
 1030 W. HIGGINS RD., SUITE 218, PARK RIDGE, IL 60068
 phone: (773) 853-2672
 phone: (630) 351-9469
 www.landsurveyors.pro
 andrew@landsurveyors.pro

DATE ISSUED:
 12-13-2023
 REVISION:
 1. 05-23-24
 2.



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Additional Public Benches
Staff Contact: Staci Springer, Community Development Director
Department: Community Development

TITLE: APPROVAL OF THE PURCHASE OF ADDITIONAL PUBLIC BENCHES FOR INSTALLATION AT CLOCK TOWER AND METRA STATION

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote: 8-0

Committee Meeting Date: May 9, 2024

Requested information from Committee:

As discussed at the PZB meeting, the Streetscape Committee recently recommended the installation of 4 new, black, metal public benches at the Metra Station and Clock Tower Plaza. There was some discussion regarding a recollection that the Streetscape Committee had previously discussed and selected black metal benches a few years ago. City staff searched through the minutes of the Streetscape Committee meetings, reviewed the Comprehensive Entrance and Roadway Signage Plan from 2013 and a few documents related to rebranding of City logo, but did not find any previously approved black metal benches, other than one discussion of benches in 2016 which was related to the Veteran's Memorial Park.

There are currently 5 wood benches at Memorial Park that are showing wear. There are existing black metal benches at the entrance to City Hall from the parking lot, however Public Works is not aware of any other black metal benches in the City.

The Public Works Director has suggested that the Council consider black metal benches manufactured by Uline for the Metra station and Clocktower sites due to their

superior durability and cohesiveness with the City's existing branding / color scheme. The cost of each bench would be \$1,270 plus shipping. If the Council is interested in replacing the 5 benches at the Veterans Memorial, Public Works has identified a similar (backless) bench design also manufactured by Uline with a cost of \$1,020 plus shipping.



| MODEL NO. | DESCRIPTION | SIZE L x W x H | WT. (LBS.) | PRICE EACH | |
|-----------|-----------------------|-------------------|---------------|------------|---------|
| | | | | 1 | 3+ |
| H-3019 | 6' Bench without Back | 71 x 21 x 25" | 192 | \$1,055 | \$1,020 |
| H-3018 | 6' Bench with Back | 71 x 26 x 32" | 253 | 1,315 | 1,270 |

During the PZB meeting there was also a discussion of possibly using plastisol on the benches which is a coating company that could be used to refinish the benches if ever needed in the future. However, our PW staff is able to sandblast and refinish them in house and has already successfully done so with the metal garbage cans that we have around town.

Staff have confirmed with the Finance department that \$5,000 is available for the purchase and installation of the four benches.

DOCUMENTS ATTACHED

- PZB Memo_ Streetscape Benches_050924

STRATEGIC PLAN ITEM

- Yes
 No

Objective: Provide Exceptional Places – Transformative Places

EP #4 Expand the use and importance of the train station, promoting its many positives.

Objective: Provide Exceptional Places – Transformative Places

EP #5 Increase pedestrian and bicycle accessibility and mobility throughout the community.



REQUEST FOR COMMITTEE ACTION

Referred to Committee: May 5, 2024
Subject: Additional Public Benches
Staff Contact: Staci Springer, Community Development Director
Department: Community Development

TITLE: Additional Public Benches for Clocktower and Metra Station

RECOMMENDATION:

Staff concurs with the Streetscape and Economic Enhancement Committee's unanimous recommendation (4 to 0) to purchase of additional public benches to be installed on City-owned property.

BACKGROUND:

The proposed benches were first discussed at the October 2023 Streetscape Committee meeting. Then, a follow-up meeting was held in December 2023 to refine the scope by discussing alternative bench designs, materials, and manufacturers. Finally, in March 2024 the Committee voted to recommend the purchase of four (4) "Silhouette" benches manufactured by Barco Products. Two benches would be installed at the Wood Dale Clocktower near the intersection of Irving Park and Wood Dale Roads, and two would be installed at the Wood Dale Metra Station facing the parking lot.

ANALYSIS:

The City currently maintains a limited number of benches at the Veteran's Memorial Park, Metra Station, and in public rights-of-way at various points throughout the City. To enhance the pedestrian experience and visual appearance of high-visibility corridors, the Streetscape Committee initially considered benches with public art. Examples of "art benches" in other Chicagoland communities, including Naperville and Highwood, were shared. Ultimately, the art component was eliminated due to anticipated challenges maintaining the benches over time. Wooden benches on which a custom mural could be most easily applied, are prone to rot and water damage. Therefore, Public Works Staff recommended that the City focus on recycled plastic benches for their superior

durability. Community Development Staff contacted the manufacturer to inquire about applying custom graphics or paint to the plastic benches, however the City was advised against doing so. For these reasons, the Streetscape Committee identified the 6 ft “Silhouette” bench as the preferred alternative. This bench design incorporates a black steel frame with horizontal cedar-colored boards. Cast bronze memorial plaques were considered that could state “City of Wood Dale”, memorialize individuals who have made significant contributions to the community, or be sponsored by local businesses. However, this was eliminated from the scope due to the high cost (approx. \$158 ea.). Similar plaques may be installed at a later date. The total quoted cost of the four (4) benches including delivery is \$3,887.25.

Barco Products – “Silhouette Bench”

Material: Recycled Plastic
Mount Type: Surface
Proposed Location: Metra Station
Cost: \$878.85 x 2 = \$1,757.70



Barco Products – “Silhouette Bench”

Material: Recycled Plastic
Mount Type: In-Ground
Proposed Location: Clocktower
Cost: \$878.85 x 2 = \$1,757.70



Several possible locations were discussed including City Hall and the Wood Dale Library, however these options were eliminated as there are already enough benches in those locations. The Wood Dale Clocktower and City-owned Metra station were chosen as the most suitable locations for the installation of four (4) total benches. The Public Works Department reviewed the locations and determined that two of the benches should be mounted directly in the ground at the clocktower site due to the sloping topography of the site and narrow sidewalk space. The other two benches should be surface mounted against the building facing the parking lot at the Metra Station on existing concrete sidewalk.

No public comments related to this project were received and the Streetscape Committee voted unanimously to recommend approval of the quote from Barco Products for the purchase and delivery of the benches in the amount of \$90. Money for

this expense is available in the tourism fund. Once received, Public Works would coordinate site preparation and installation.

DOCUMENTS ATTACHED

- Streetscape Committee Staff Memo and Exhibits – Available Products
- Streetscape Committee Staff Memo and Exhibits – Additional Benches Final Quote & Memorial Plaque Discussion
- Streetscape Committee Meeting Minutes – March 4, 2024
- Barco Products Updated Quote



MEMO

DATE: Monday, December 4, 2023
TO: Streetscape & Economic Enhancement Committee
FROM: Andy Koterak, Planner
SUBJECT: Additional Benches – Available Products

OVERVIEW

At the previous meeting, members of the Streetscape committee identified several possible locations for additional benches throughout the community primarily focused on City-owned land. The possibility of incorporating public art by painting murals on the benches was also discussed. The purpose of this memo is to identify a preferred bench product that best meets the goals of the project. An appropriate quantity of benches, material, size, location, and design should be identified.

BACKGROUND

Most commercially available bench products are made of recycled plastic known as “polywood”. This is a dense plastic typically made from recycled materials such as milk jugs. According to the City’s Director of Public Works, the advantage of this type of product is its increased durability. The existing Veterans’ Memorial benches, constructed of cedar planks, suffer from maintenance issues such as broken boards and peeling paint. Therefore, it was recommended that staff explore this alternative. However, according to a customer service representative at one possible bench supplier, Barco Products, this plastic material is not suitable for painting. Any applied graphics would likely peel off over time due to the slippery nature of the surface.

Therefore, traditional wooden benches may be preferred if incorporating public art is a high priority. Sealing the artwork with a protective varnish prior to placing the benches outdoors may help protect from damage. However, the durability over time will be less than plastic benches. Alternatively, the Committee may consider eliminating the public art component entirely. Certain recycled plastic and metal bench products may be ordered from the manufacturer with custom text. This may represent a “middle ground” between the above referenced options.

Regardless of the material chosen, a bench mounting technique will need to be identified. Benches may be anchored to a concrete pad / existing hard surface or installed directly in the soil with vertical posts. The final list of bench locations may dictate the most appropriate mounting method. For example, the narrow sidewalks and sloped terrain of the Clocktower site may require mounting in the ground adjacent to the existing concrete.

PUBLIC ART COMPONENT

At the previous meeting, staff provided examples of neighboring communities which have incorporated murals into public benches. Examples included dragonfly benches from Naperville, IL (artistic free-standing benches designed by local artists) and art benches in Highwood, IL (mostly painted by professional artists while a few reserved for school-aged children). Staff could consult with the Special Events Coordinator to explore the feasibility of setting up an event with local schools, such as Wood Dale Junior High School or Fenton High School, if the City would like the benches painted by students.

One option is to work with fine arts faculty to hold a design competition at the schools. Student designs would be submitted and vetted by the Streetscape Committee based on a set of scoring criteria. The competition could be similar to the existing design a vehicle sticker program. For example, the prompt could be to design a bench reflecting the unique history, geography, diversity, or future ambitions of Wood Dale. A prize for the winning entries may be considered. Finally, the chosen students would be responsible for painting the benches with their designs. If working with local schools is not feasible, a professional artist could be commissioned to design a set of murals. While this option may yield higher-quality results, there would likely be some costs involved and the process may be longer.

PRODUCTS

Barco Products – “Silhouette Bench”

Length Shown: 6’ (Other Sizes Available)

Custom Art Potential: Weak

Material: Recycled Plastic

Price: \$898.85



Barco Products – “Uptown Bench”

Length Shown: 6’ (Other Sizes Available)

Custom Art Potential: Weak

Material: Recycled Plastic

Price: \$918.85



Barco Products – “Deluxe Memorial Inlay Woodgrain Benches”

Length Shown: 6’ (Other Sizes Available)

Custom Art Potential: Medium (Limited to Text)

Material: Recycled Plastic

Price: \$968.65



ULINE – “Laguna Bench”

Length Shown: 6’ (Other Sizes Available)

Custom Art Potential: Weak

Material: Recycled Plastic

Price: \$660 (\$615 for 3+)



Barco Products – “Central Park Bench”

Length Shown: 6’ (Other Sizes Available)

Custom Art Potential: Medium (Limited to Text)

Material: Metal

Price: \$1,789.85



Furniture Leisure – “Wooden Contoured Park Bench with Steel Frame”

Length Shown: 6’ (Other Sizes Available)

Custom Art Potential: Strong (May be painted and lacquered)

Material: Wood

Price: \$639.95



National Outdoor Furniture – “Palisade Contour Bench”

Length Shown: 6’ (Other Sizes Available)

Custom Art Potential: Strong

Material: Wood

Price: \$933.00



PREFERRED LOCATIONS

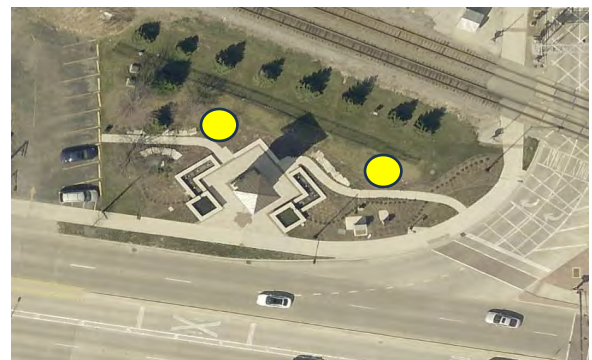
Based upon feedback received at the previous Streetscape Committee meeting, the following locations were identified as most desirable:

1. City Hall
2. Metra Station
3. Clocktower
4. Wood Dale Library

Most the the properties identified are City-owned except for the Wood Dale Public Library which is owned by the Wood Dale Library District. There is an existing bench at the entrance to the library (520 N Wood Dale Rd), so it is unclear where additional benches could be located. There are several existing benches at City Hall including two along Wood Dale Rd., two adjacent to the rotunda entrance, and a picnic bench adjacent to the parking lot. Given these factors, it appears that the Wood Dale Clock Tower and Metra Station are the most suitable locations, unless the City wished to replace the benches at the other locations with new art benches. The committee may consider additional locations not previously discussed, such as within the public right-of-way of the City's residential neighborhoods. Previously discussed was the idea of ordering enough benches such that each Ward could have one or two located within its boundaries.



Wood Dale Metra Station



Clocktower (Satellite View)



Clocktower (Perspective View)



Existing City Hall Benches - Rotunda Entrance (Left)



Existing City Hall Benches - Rotunda Entrance (Right)



Existing City Hall Benches - Wood Dale Rd. Entrance

RECOMMENDATION

Staff recommends that the Streetscape and Economic Enhancement Committee identify a preferred bench product which best meets the goals of the project. Consideration may be given to the feasibility of incorporating public art. The Committee is also asked to finalize the preferred locations for the selected bench product.



MEMO

DATE: Monday, March 4, 2024
TO: Streetscape & Economic Enhancement Committee
FROM: Andy Koteris, Planner
SUBJECT: Additional Benches – Final Quote & Memorial Plaque Discussion

OVERVIEW

At the previous meeting, members of the Streetscape Committee identified several possible locations for additional benches throughout the community. Possible locations discussed were the Metra Station, Clock Tower, City Hall and the Wood Dale Library. Because City Hall and Library have existing benches, the Metra Station and Clocktower were identified as the most suitable sites. Most likely, there is enough room to install two benches at each location. The Streetscape Committee indicated a preference for recycled composite benches with a black metal frame to match the City’s existing design motif. Based on feedback received at the previous meeting regarding bench design, staff obtained a quote for the purchase of four benches from Barco Products.

BACKGROUND

The following examples are of the “Silhouette Bench”, manufactured by Barco Products in Batavia, IL. These benches are constructed from recycled plastic “polywood” material which is the most weather-resistant option. The color shown is “Cedar”, which is the most popular according to the company. Black metal frames were chosen. Two benches will be in-ground mounted at the clocktower site due to the sloping topography of the site and narrow sidewalk space. Surface mounting the benches in this location would inhibit access for pedestrians. The benches at Metra station are surface mounted which will be placed against building, facing parking lot on the existing concrete sidewalk. The bench frames include bolt holes for permanently attaching to the ground so the benches cannot be moved.

The inclusion of a memorial plaque to each bench was also discussed at previous meetings. The quote includes four (4) cast bronze metal plaques which can be customized with text as the Committee sees fit. The City should consider the most desirable content for these plaques. Previously discussed ideas included sponsorship by local businesses, recognition of individuals who have made significant contributions

to the community, and memorials to notable residents who have passed away. One possible alternative is to work with the Special Events Coordinator to establish a program whereby residents may pay to sponsor a bench. The plaques may be ordered with the benches, or Staff may have the manufacturer amend the quote to remove the plaques to allow more time for consideration. The total purchase price for four benches and plaques including shipping is anticipated to be \$4,655.11.

Barco Products – “Silhouette Bench”

Material: Recycled Plastic
Mount Type: Surface
Proposed Location: Metra Station
Cost: \$878.85 x 2 = \$1,757.70



Barco Products – “Silhouette Bench”

Material: Recycled Plastic
Mount Type: In-Ground
Proposed Location: Clocktower
Cost: \$878.85 x 2 = \$1,757.70



Barco Products – “Standard Plaque”

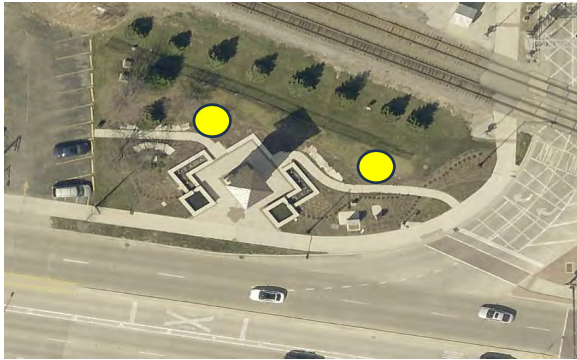
Material: Cast Bronze
Size: 8” x 2”
Max. Text Lines: 3
Max. Characters: 20
Cost: \$158.85 x 4 = \$635.40



SUITABLE SITES



Clocktower (Perspective View)



Clocktower (Satellite View)



Wood Dale Metra Station

RECOMMENDATION

Staff recommends that the Streetscape and Economic Enhancement Committee recommend approval of the attached quote for purchase of 4 "Silhouette" benches with memorial plaques for installation at the Wood Dale Metra Station and Clocktower.

Attachments

A - Quote for Purchase of 4 Benches, 4 Cast Bronze Plaques

STREETSCAPE & ECONOMIC ENHANCEMENT COMMITTEE MINUTES

Committee Date: Monday, March 4, 2024
Present: Chairperson Ald. Peter Jakab, Vice-Chair Ald. Michael Curiale, Mike Melone, Paula Masilotti, Shashwat Baxi
Absent: Nick Luciana, Steve Mikos
Also Present: Andy Koterias, Planner, Gosia Pociecha, Senior Planner
Meeting Convened at: 6:30 PM

CALL TO ORDER:

Chairperson Ald. Jakab called the meeting to order at 6:34 pm. Roll call was taken and a quorum was present.

BUSINESS ITEMS:

A. Approval Of the Minutes

Ald. Jakab motioned to approve the minutes of the February 5, 2024 meeting with corrections, seconded by Ald. Curiale. The minutes were unanimously approved via voice vote.

B. Additional Benches - Quote

Planner Koterias presented a recap of prior discussion of the benches proposed for City owned properties. The bench that was previously selected by SEEC, the "Silhouette" by Barco was presented with both surface and in-ground mounted options. The previously selected locations suitable for bench installation are the Metra station facing the parking lot and the clock tower along the concrete walkway. Plaques can be added to the benches and customized as needed. The total cost for purchase and installation of four benches is \$4,655.11. Motion was made by Ald. Jakab and seconded by Ald. Curiale. During discussion Mr. Baxi raised a question if there is enough foot traffic at the clock tower to support installation of the benches. Ald. Curiale noted that there is a significant amount of foot traffic on the south side of Irving Park Rd, and there is also the possibility of patrons from adjacent Shorty's restaurant using the benches. It was noted that there is a need for benches at the Metra Station.

Motion passed 4 “yes” to 1 “no” to purchase and install four benches. Motion was revised to remove the plaques at this time. The plaques can be added at a future date, when there are more benches installed in the City.

C. Community Park Discussion

Planner Koterak started the discussion of the Community Park by sharing the community demographics for Wood Dale, with findings that Wood Dale has a high percentage of families with children aged 5 years and under.

Ald. Jakab provided an update on his discussion with City Manager. The budget for the engineer and architect will be increased from \$50,000 to \$100,000. Staff is already working to procure the engineer for topographic study. After that, an RFP will be prepared for landscape architects. The selected architect will provide a couple of proposals with various price ranges. One idea is to have an open pavilion, similar to Wheaton. The other alternative was to have an enclosed building, but it may not be advisable due to proximity to a similar building owned by the Wood Dale Park District. The SEEC may work with the architect, once selected, to propose a few different alternatives. Proposal in the range of \$1-1.5 million could be constructed by June of 2026. The architect could design the full park, that would be more expensive, but not all the construction would be constructed at once. Current Public Works staff would take on maintenance of the new park, but once established, a contractor may be hired to maintain the flowers. It was also noted that it is unlikely that the City would work jointly with the Wood Dale Park District for joint ownership/maintenance.

ADJOURNMENT:

A motion to adjourn was made by Chairperson Ald. Jakab and seconded by Ald. Curiale; it carried unanimously by voice vote. The meeting adjourned at 7:12 pm.

Minutes taken by Gosia Pocięcha

Approved April 1, 2024

Andrew Koteras

To: Barco Products
Subject: RE: Barco Products: Quote# QUORCO19490

Quote

Account Number - 345597

Estimate # QUORCO19490

05/1/2024

Customer

Accounts Payable
City Of Wood Dale
404 N Wood Dale Rd
Wood Dale IL 60191

Ship To

Accounts Payable
City Of Wood Dale
404 N Wood Dale Rd
Wood Dale IL 60191

| Item | Qty | Rate | Amount | Estimated Lead Time |
|--|-----|----------|------------|----------------------|
| KBC1300-CD Silhouette Bench/ 6' Bench/ Surface Mount/ Cedar | 2 | \$878.85 | \$1,757.70 | Ships in 1 to 2 Days |
| KBC1305-CD Silhouette Bench/ 6' Bench/ Inground Mount/ Cedar | 2 | \$878.85 | \$1,757.70 | Ships in 1 to 2 Days |
| LIFTGATE Liftgate Fees | 1 | \$90.00 | \$90.00 | |

Subtotal \$3,605.40

Tax Total (%) \$0.00

Shipping \$281.88

| | |
|--------------|-------------------|
| Total | \$3,887.28 |
|--------------|-------------------|

*Estimated lead time is based on normal fulfillment time of an order at this moment. Orders with large quantities may require additional time. These estimates are subject to change based on the nationwide supply chain issue.

PRICING FOR THIS QUOTE IS LOCKED IN FOR 30 DAYS



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Annexation, Lot Consolidation, Special Use for
Playground, and Zoning Variations, 111 E Foster Ave
(Wood Dale Park District)
Staff Contact: Staci Springer, Community Development Director
Department: Community Development

TITLE: AN ORDINANCE ANNEXING CERTAIN TERRITORY COMMONLY KNOWN AS 111 E. FOSTER AVENUE TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, **AND** AN ORDINANCE APPROVING A PLAT OF SUBDIVISION FOR CONSOLIDATION OF PROPERTY LOCATED AT 111 E. FOSTER AVE., WOOD DALE, ILLINOIS, **AND** AN ORDINANCE APPROVING THE GRANT OF A SPECIAL USE FOR A PARK AND VARIANCES CONCERNING PROPERTY LOCATED AT 111 E. FOSTER AVENUE IN THE CITY OF WOOD DALE

The following requests are included in this action:

- Voluntary Annexation
- Plat of Consolidation
- Special Use & Zoning Variations

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote: 8-0

Committee Meeting Date: June 13, 2024

Requested information from Committee: None

DOCUMENTS ATTACHED

- ✓ Ordinance – Voluntary Annexation
 - Exhibit A – Petition for Annexation
 - Exhibit B – Legal Description
 - Exhibit C – Plat of Annexation
- ✓ Ordinance – Plat of Subdivision
 - Exhibit A – Plat of Subdivision

- ✓ Ordinance – Special Use & Zoning Variations
 - Exhibit A – CDC-2024-0004 Staff Memo

STRATEGIC PLAN ITEM

- Yes
- No

ORDINANCE NO. O-24-019

AN ORDINANCE ANNEXING CERTAIN TERRITORY COMMONLY KNOWN AS 111 E. FOSTER AVENUE TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS

WHEREAS, a written petition, signed by the legal owners of record of all land within the property hereinafter described, a copy of which is attached hereto as Exhibit "A," has been filed with the City Clerk of the City of Wood Dale, DuPage County, Illinois, requesting that certain territory be annexed to the City of Wood Dale; and

WHEREAS, the said vacant territory, currently identified by the addresses 111 E. Foster Avenue consisting of PINs 03-10-102-008, 03-10-102-009, 03-10-102-010, 03-10-102-025, 03-10-102-014, is not within the corporate limits of any municipality but is contiguous to the City of Wood Dale; and

WHEREAS, the City of Wood Dale will not provide fire service or library service to the said territory; it will continue to be served in these respects by independent taxing bodies; and

WHEREAS, all petitions, notices, documents, and other necessary legal requirements are in full compliance with the statutes of the State of Illinois, specifically sections 7-1-1 and 7-1-8 of the Illinois Municipal Code, 65 ILCS 5/7-1-1; 7-8; and

WHEREAS, it is in the best interests of the City of Wood Dale that the territory be annexed thereto.

NOW, THEREFORE, BE IT ORDAINED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS:

SECTION ONE: That the territory legally described in Exhibit B consisting of PINs 03-10-102-008, 03-10-102-009, 03-10-102-010, 03-10-102-025, 03-10-102-014, with a common address of 111 E. Foster Avenue and as depicted in the Plat of Annexation attached hereto as Exhibit C is hereby annexed to the City of Wood Dale, DuPage County, Illinois and shall continue to bear the common address of 111 E. Foster Avenue, Wood Dale, Illinois.

SECTION TWO: That the official map of the City of Wood Dale be amended to reflect the extension of corporate limits of the City of Wood Dale to include the territory hereinabove described and annexed hereby.

SECTION THREE: That the City Clerk of the City of Wood Dale is directed hereto to file in the Office of the Recorder of Deeds of DuPage County, Illinois, a certified copy of this Ordinance, together with an accurate map of the territory annexed, as well as to provide a certified copy of this Ordinance to the DuPage County Clerk,

Election Division, 421 N. County Farm Road, Wheaton, Illinois 60187 within thirty (30) days of the adoption of this Ordinance.

SECTION FOUR: That the City Clerk of the City of Wood Dale be and is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published.

SECTION FIVE: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

PASSED this 20th day of June, 2024

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2024

Annunziato Pulice, Mayor

ATTEST:

Lynn Curiale, City Clerk

Published in pamphlet form _____, 2024

EXHIBIT A
PETITION FOR ANNEXATION

EXHIBIT B

LEGAL DESCRIPTION OF ANNEXED PROPERTY

Lot 3 and Lots 13 through 16 in Block 2 in Branigar's Wooddale Highlands Subdivision in Section 9 and Section 10, Township 40 North, Range 11, East of the Third Principal Meridian in DuPage County, Illinois.

And which is identified by the following PINS: 03-10-102-008, 03-10-102-009, 03-10-102-010, 03-10-102-025, and 03-10-102-014.

EXHIBIT C
PLAT OF ANNEXATION

PETITION FOR ANNEXATION

**TO: CITY CLERK
OF THE CITY OF WOOD DALE
DUPAGE COUNTY, ILLINOIS**

The undersigned Petitioner(s) state, on oath, as follows:

1. This Petition for Annexation is presented to the City of Wood Dale pursuant to 65 ILCS 5/7-1-8.

2. The Property subject to this Petition (“Subject Property”) bears the common address: **145 Foster Ave, 144 Hawthorne Ave, 17W677 Hawthorne Ave (a), 17W677 Hawthorne Ave (b), and 174 Hawthorne Ave** is legally described as follows and bears the following permanent index numbers: **03-10-102-014, 03-10-102-008, 03-10-102-010 (a), 03-10-102-010 (b), and 03-10-102-025.** [You may attach a copy of the legal description and PIN]

The Subject Properties are currently vacant.

3. The Subject Properties are owned by: The Wood Dale Park District

[Note, if the Property is owned by a Partnership, Corporation, Land Trust or Limited Liability Company, the appropriate form must be executed.]

NOTE: A copy of the Deed to the Subject Property must accompany this Petition.

As of the date of the filing of this Petition there are _____ electors residing on the Subject Property. Of these electors, no less than 51% approve of the filing of this Petition, as signified by their signatures as follows: [If there are no electors, please state “NONE”]

Jon Marquardt

111. East Foster Ave, Wood Dale IL 60091

Printed Name/Signature

Address

Printed Name/Signature

Address

Printed Name/Signature

Address

[If additional space for signatures of electors is necessary, please add to this Petition].

4. That the Subject Property lies contiguous to the following rights-of-way:

5. The undersigned Petitioner(s) hereby request that the Subject Property be annexed to and become part of the City of Wood Dale, County Of DuPage, State of Illinois. Said Subject Property is not within the corporate limits of any municipality. Said Subject Property is contiguous to the City of Wood Dale, Illinois.

6. The undersigned Petitioner(s) understand and acknowledge that as a result of the determination to voluntarily annex the Subject Property to the City of Wood Dale, the Subject Property shall become subject to all of the laws of the City of Wood Dale.

7. That pursuant to the Illinois Statutes relative to annexation of property, when and if the said Subject Property is annexed to the City of Wood Dale, the new boundaries of the City of Wood Dale shall extend to the far side of the Subject Property and such new boundaries shall include all of every right-of-way within the area annexed.

Further affiants sayeth not.

AFFIDAVIT

The undersigned, being all of the Owners of Record and electors residing on the Subject Property as described herein, each being first duly sworn on oath, state that they have read the foregoing Petition for Annexation and each of them have subscribed thereto, and the facts as stated therein are true and correct.

Owners of Record: (Each signature must be made before a Notary)

Jon Marguardt

SUBSCRIBED TO and SWORN BEFORE
me this ____ day of _____, 2024..

NOTARY PUBLIC

PREPARED FOR:
WOOD DALE PARK DISTRICT
111 FOSTER AVENUE
WOOD DALE, ILLINOIS

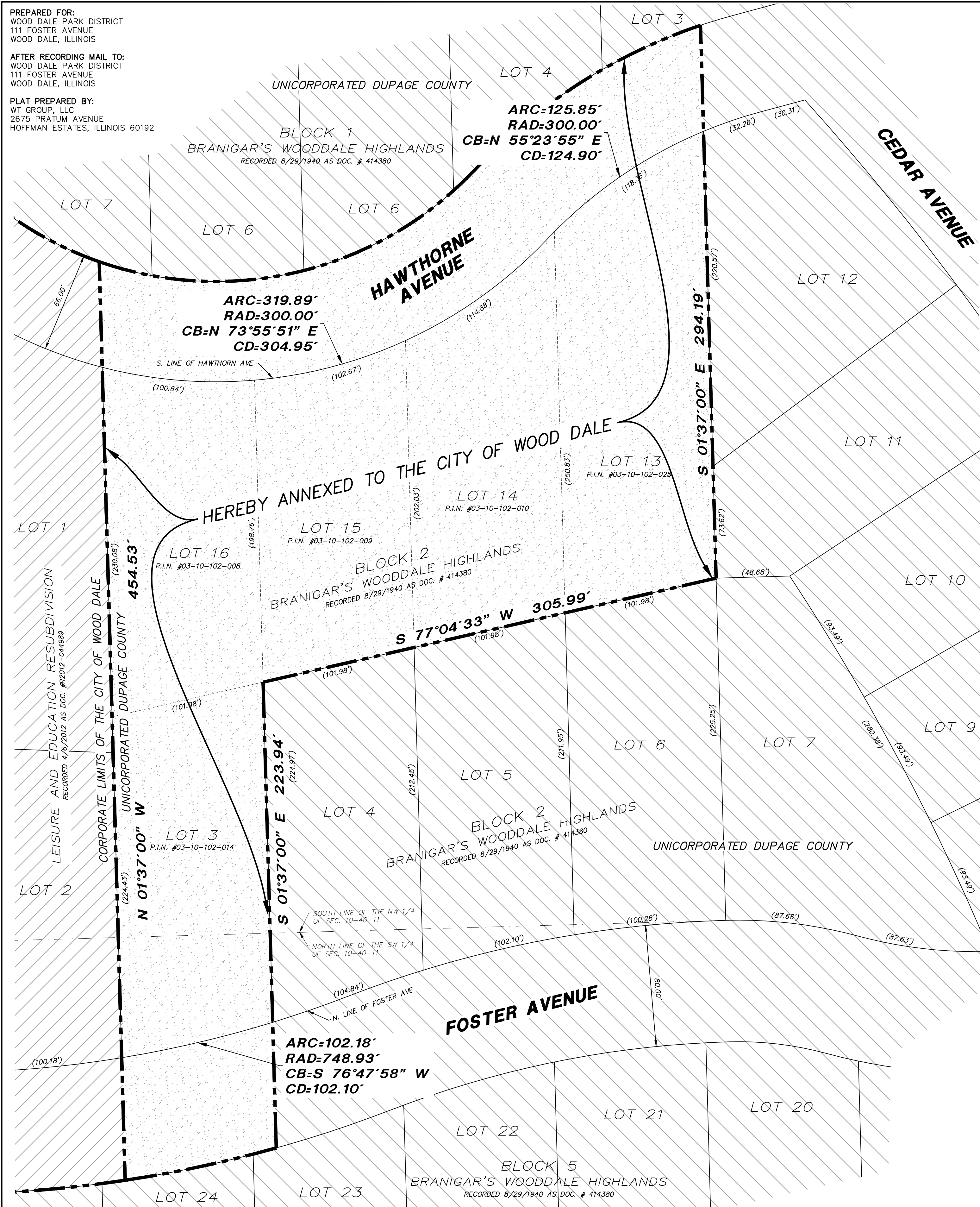
AFTER RECORDING MAIL TO:
WOOD DALE PARK DISTRICT
111 FOSTER AVENUE
WOOD DALE, ILLINOIS

PLAT PREPARED BY:
WT GROUP, LLC
2675 PRATUM AVENUE
HOFFMAN ESTATES, ILLINOIS 60192

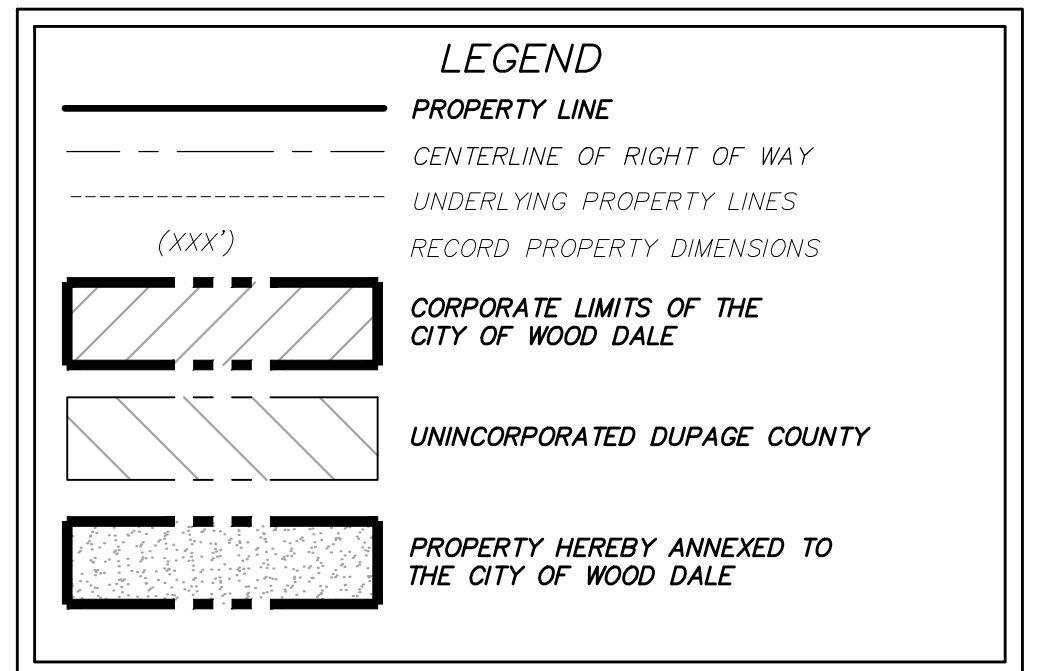
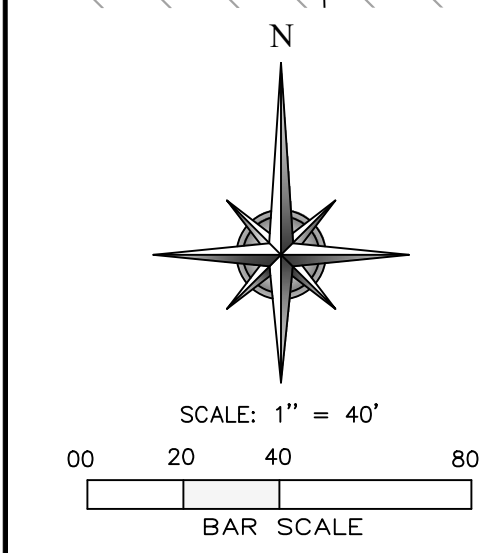
PERMANENT INDEX NUMBER (P.I.N. #):
03-10-102-008
03-10-102-009
03-10-102-010
03-10-102-014
03-10-102-025

PLAT OF ANNEXATION

PROPERTY DESCRIPTION
LOT 3 AND LOTS 13 THROUGH 16 IN BLOCK 2 IN BRANIGAR'S WOODDALE HIGHLANDS SUBDIVISION IN SECTION 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



SURVEY NOTES:
1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE LEGAL OWNER OF THE LAND DESCRIBED ON THE ATTACHED PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN THE PLAT FOR THE USES AND PURPOSES INDICATED THEREON AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS ____ DAY OF _____

OWNER _____

ADDRESS _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY & STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

PLAT APPROVED BY THE CITY OF WOOD DALE, ILLINOIS.

DATED THIS ____ DAY OF _____

MAYOR _____ ATTEST: _____ CITY CLERK

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE ____ DAY OF _____, A.D. _____, AT _____ O'CLOCK _____M.

RECORDER OF DEEDS _____

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO CERTIFY THAT, ON BEHALF OF THE WT GROUP, LLC, I, FRANJO I. MATIČIĆ, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE PREPARED THE MAP HEREON FROM OFFICE RECORDS FOR THE PURPOSE OF ANNEXING THE SAME INTO THE CITY OF WOOD DALE, ILLINOIS AND THE MAP HEREON DRAWN IS A CORRECT REPRESENTATION OF THE PROPERTY TO BE ANNEXED.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, A.D. _____

FOR REVIEW 4/30/24

BY: FRANJO I. MATIČIĆ - PLS #035-003556 EXPIRES 11/30/2024
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

WT GROUP
Engineering with Precision, Pace and Passion
2675 Pratum Avenue | Hoffman Estates, IL 60192
T: 224.293.6333 | F: 224.293.6444
wtgroup.com
IL License No. 184.007570-0015 Expires 11/30/2024
© COPYRIGHT 2024 THE WT GROUP, LLC

RECREATION PARK
HAWTHORN & FOSTER AVENUES
WOOD DALE, ILLINOIS

ISSUE
TO _____ DATE _____
CLIENT _____ 4/30/24

CHECK: FIM
DRAWN: MWO
JOB: S2300120

ANNEX-1
SHEET 1 OF 1
PLAT OF ANNEXATION

ORDINANCE NO. O-24-020

AN ORDINANCE APPROVING A PLAT OF SUBDIVISION FOR CONSOLIDATION OF PROPERTY LOCATED AT 111 E. FOSTER AVE., WOOD DALE, ILLINOIS

WHEREAS, the City of Wood Dale (the City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City is authorized and empowered, under the Illinois Municipal Code and the Code of Ordinances of the City of Wood Dale (“City Code”), to regulate properties located within the municipal boundaries of the City; and

WHEREAS, in furtherance of this authorization, the City has adopted the Unified Development Ordinance, codified in Chapter 17 of the City Code, which sets forth provisions regarding lot subdivision and consolidation in the City; and

WHEREAS, the Property located at 111 E. Foster Ave. currently consists of six parcels with PINs 03-10-102-008, 03-10-102-009, 03-10-102-010, 03-10-102-025, 03-10-102-014 and 03-10-102-035, owned by the Wood Dale Park District (the “Property”); and

WHEREAS, the City Council of the City of Wood Dale has determined that a consolidation of the aforesaid parcels as indicated in the Plat of Subdivision attached hereto and incorporated herein by reference as Exhibit A is in the best interests of the health, safety and welfare of the citizens of the City of Wood Dale because such consolidation is advantageous to the future development of the Property.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That the Plat of Subdivision in connection with the Property attached hereto as Exhibit A is hereby approved.

SECTION THREE: That the Mayor, City Clerk and City Staff are authorized and directed to take all necessary action to effect the consolidation as indicated in the Plat of Subdivision in connection with the Property attached as Exhibit A.

SECTION FOUR: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its

passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2024

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2024

Annunziato Pulice, Mayor

ATTEST:

Lynn Curiale, City Clerk

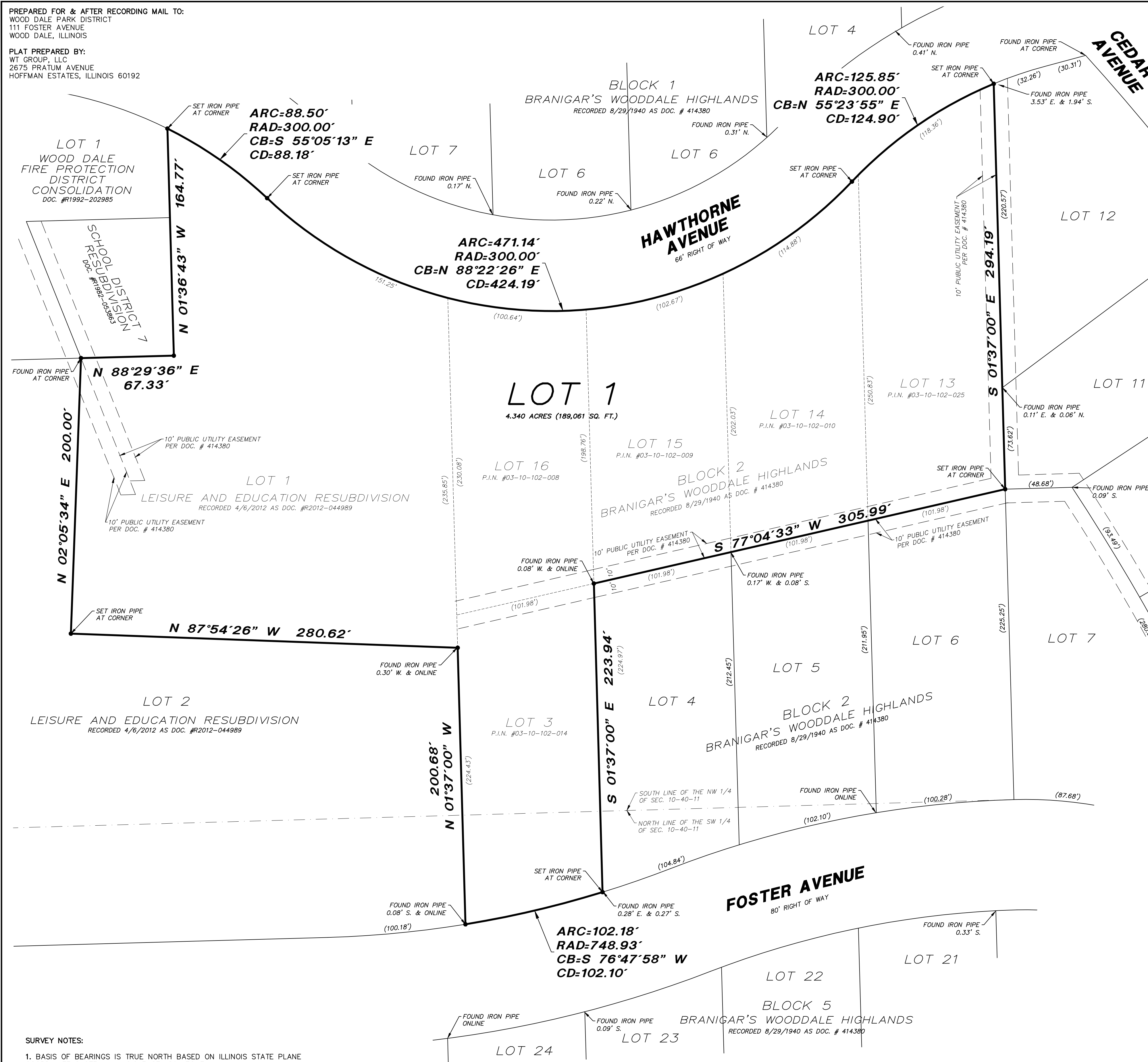
Published in pamphlet form _____, 2024

EXHIBIT A
Plat of Subdivision/Consolidation 111 E. Foster Ave.

PREPARED FOR & AFTER RECORDING MAIL TO:
WOOD DALE PARK DISTRICT
111 FOSTER AVENUE
WOOD DALE, ILLINOIS

PLAT PREPARED BY:
WT GROUP, LLC
2675 PRATUM AVENUE
HOFFMAN ESTATES, ILLINOIS 60192

PIN #s 03-10-102-008
03-10-102-009
03-10-102-010
03-10-102-014
03-10-102-025
03-10-102-035



FINAL PLAT OF RECREATION PARK RESUBDIVISION

BEING A RESUBDIVISION OF LOT 3 AND LOTS 13 THROUGH 16 IN BLOCK 2 IN BRANIGAR'S WOODDALE HIGHLANDS SUBDIVISION IN SECTION 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT DUPAGE COUNTY, ILLINOIS,

THIS _____ DAY OF _____

COUNTY CLERK

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____, A.D. _____ AT _____ O'CLOCK _____ M.

RECORDER OF DEEDS

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED ON THIS PLAT HEREON DRAWN AND SHOWN AS SUBDIVIDED; THAT THEY HAVE CAUSED SAID LAND TO BE SURVEYED, RESUBDIVIDED, STAKED AND PLATTED AS SHOWN HEREON, FOR THE PURPOSES THEREIN SET FORTH AS ALLOWED AND PROVIDED BY STATUTE, THE RESUBDIVISION TO BE KNOWN AS "RECREATION PARK RESUBDIVISION", CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS AND DOES HEREBY ACKNOWLEDGE AND ADOPT SAME, AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUBDIVISION SUBDIVISION OR PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUB SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

TO THE BEST OF OUR KNOWLEDGE, THE PROPERTY DESCRIBED HEREIN LIES WITHIN WOOD DALE SCHOOL DISTRICT 7.

DATED THIS _____ DAY OF _____

OWNER

WOOD DALE PARK DISTRICT
111 FOSTER AVENUE, WOOD DALE, IL 60191

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY & STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

NOTARY PUBLIC

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT, ON BEHALF OF THE WT GROUP, LLC, I, FRANJO I. MATICIC, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND PREPARED FOR SUBDIVISION PURPOSES THE PROPERTY LEGALLY DESCRIBED HEREON AS SHOWN BY THE PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SUBDIVISION. ALL DISTANCES ARE SHOWN IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.

LOT 3 AND LOTS 13 THROUGH 16 IN BLOCK 2 IN BRANIGAR'S WOODDALE HIGHLANDS SUBDIVISION IN SECTION 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

AND

LOT 1 IN THE FINAL PLAT OF SUBDIVISION OF LEISURE AND EDUCATION RESUBDIVISION BEING A RESUBDIVISION OF PART OF SECTION 9 AND SECTION 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

WE FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF THE CITY OF WOOD DALE, ILLINOIS WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND WHICH IS EXERCISING THE ILLINOIS MUNICIPAL CODE, IT IS FURTHER CERTIFIED BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP SERVICE CENTER, THIS SITE FALLS WITHIN A ZONE "X" DESCRIBED AS "AREA OF MINIMAL FLOOD HAZARD", PER FEMA PANEL NUMBER 17043C0079J, HAVING AN EFFECTIVE DATE OF 08/01/2019.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D. _____

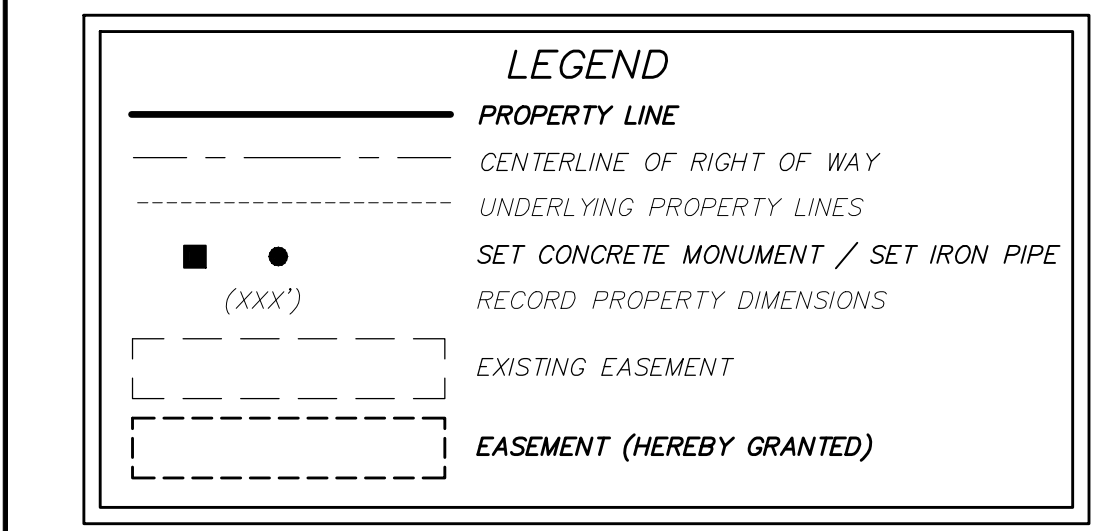
BY: _____

FOR REVIEW 5/2/24

FRANJO I. MATICIC - PLS #035-003556 EXPIRES 11/30/2024
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

SURVEY NOTES:

1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

PLAT APPROVED BY THE CITY OF WOOD DALE, ILLINOIS.

DATED THIS _____ DAY OF _____

MAYOR

ATTEST: CITY CLERK _____

COMMUNITY DEVELOPMENT COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

PLAT APPROVED BY THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF WOOD DALE, ILLINOIS.

DATED THIS _____ DAY OF _____

COMMUNITY DEVELOPMENT COMMISSION CHAIRMAN

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

WT GROUP
Engineering with Precision, Pace and Passion
2675 Pratum Avenue | Hoffman Estates, IL 60192
T: 224.293.6333 | F: 224.293.6444
wtgroup.com
IL License No. 184.007570-0015 Expires 04.30.2025
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WT Group
Engineering • Design • Consulting

RECREATION PARK RESUBDIVISION
HAWTHORNE & FOSTER AVENUES
WOOD DALE, ILLINOIS

ISSUE

| | |
|--------|---------|
| TO | DATE |
| CLIENT | 4/30/24 |
| CLIENT | 5/2/24 |

CHECK: FM
DRAWN: MW
JOB: S2300120

SUB-1
SHEET 1 OF 1
PLAT OF SUBDIVISION

Packet Page #74

ORDINANCE NO. O-24-021

AN ORDINANCE APPROVING THE GRANT OF A SPECIAL USE FOR A PARK AND VARIANCES CONCERNING PROPERTY LOCATED AT 111 E. FOSTER AVENUE IN THE CITY OF WOOD DALE

WHEREAS, the City of Wood Dale (the City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City is authorized and empowered, under the Illinois Municipal Code and the Code of Ordinances of the City of Wood Dale (“City Code”), to regulate properties located within the municipal boundaries of the City; and

WHEREAS, in furtherance of this authorization, the City has adopted a the Unified Development Ordinance, codified in Chapter 17 of the City Code, which sets forth provisions regarding land use and improvement regulations, requirements and procedures in the City of Wood Dale; and

WHEREAS, certain property, located at 111 E. Foster Avenue will be located in the City, upon annexation (the “Property”), and will be located within the City’s R-1 Estate Residential District; and

WHEREAS, the Petitioner, Wood Dale Park District (the “Petitioner”) filed a Petition for a Special Use and certain Variances in Case No. CDC-2024-0004 (the “Petition”) to enable the Petitioner to use the Property for public park purposes; and

WHEREAS, on May 20, 2024, the Community Development Commission held a public hearing on the Petition filed by the Petitioner, following the necessary publication of a legal notice pursuant thereto, as required by law and the City Code; and

WHEREAS, following said hearing, the Community Development Commission voted to recommend approval of the Petitioner’s requests for the Special Use and Variances with certain conditions as recommended by City Staff and agreed to by Petitioner, based on the Petition, evidence presented, and the Staff Memorandum in Case No. CDC-2024-0004 dated May 20, 2024, attached hereto and incorporated herein by reference as Exhibit A; and

WHEREAS, the proposed Special Use and Variances, as recommended for approval by the Community Development Commission, with conditions, has been considered by the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale, which has also recommended approval of the same; and

WHEREAS, the City Council of the City of Wood Dale has reviewed the matter herein and has determined that granting the Petitioner’s request for a Special Uses and Variances as to the Property, with certain conditions, in Case No. CDC-2024-0004 is in the best interests of the health, safety and welfare of the citizens of the City of Wood Dale.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That the Special Use for a park and Variances for an increase in accessory structure height from 15 ft to 18 ft 3 inches and an increase in fence height from 6 ft to 10 ft, as described in the Staff Memorandum in Case No. CDC-2024-0004 dated May 30, 2024, attached hereto and incorporated herein by reference as Exhibit A are hereby granted, such requests being compatible with surrounding zoning and land use classifications, and meeting the requirements of the Unified Development Ordinance and being consistent with the City's Comprehensive Plan, subject to the following conditions:

1. Park District staff shall use the parking to the west of the building, leaving spaces closer to the new park available for the park patrons.
2. The Special Uses, Zoning Variations, and Site Plan shall substantially conform to the staff memo dated May 20, 2024 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
3. The Special Use permit shall be deemed to relate to and be for the benefit of the lot itself.
4. Final engineering approval must be granted prior to the issuance of a building permit.
5. The developer has the ongoing obligation to maintain the landscaping on the site in accordance with the approved landscape plan.

SECTION THREE: That in the interest of taxpayers of the Wood Dale Park District and of the City, fees typically assessed for Development Review Procedures (annexation, lot consolidation, special use, zoning variation and site plan review), with the exception of hard costs associated with providing the required notices, project reviews completed by outside consultants and other similar costs, are hereby waived.

SECTION FOUR: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2024

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2024

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Lynn Curiale, City Clerk

Published in pamphlet form _____, 2024

EXHIBIT A

Staff Memorandum in Case No. CDC-2024-0004

CITY OF WOOD DALE

Community Development



MEMO

DATE: May 20, 2024

TO: Community Development Commission

FROM: Gosia Pociecha, AICP, Senior Planner

SUBJECT: Case No. CDC-2024-0004, Special Use for Playground and Zoning Variations, New Park for the Wood Dale Park District

REQUEST

An application has been filed by the Wood Dale Park District for a Special Use for a playground and Zoning Variations to enable construction of a new neighborhood park adjacent to the Recreational Complex at 111 E Foster Avenue. This zoning petition will be considered by the City Council upon approval of Wood Dale Park District’s request for Voluntary Annexation of the subject property into the City and Lot Consolidation.

PROPERTY INFORMATION

Site Address: 111 E Foster Avenue

PIN: 03-10-102-008, 03-10-102-009, 03-10-102-010, 03-10-102-025, 03-10-102-014 and 03-10-102-035

Property Size: 4.3 Acres (approx. 189,061 square feet)

Existing Land Use: Civic/ Institutional & Single-Family Residential

Future Land Use: Civic/ Institutional & Open Space/Recreation

Existing Zoning: R-1 Estate Residential & R-3 Unincorporated DuPage County

Future Zoning: R-1 Estate Residential

Surrounding Zoning & Land Use

North: R-3 Unincorporated DuPage County & Single Family Residential

South: R-3 Unincorporated DuPage County & Single Family Residential

East: R-3 Unincorporated DuPage County & Single Family Residential

West: R-1 (Estate Residential) & Civic/ Institutional

ANALYSIS

Submittals

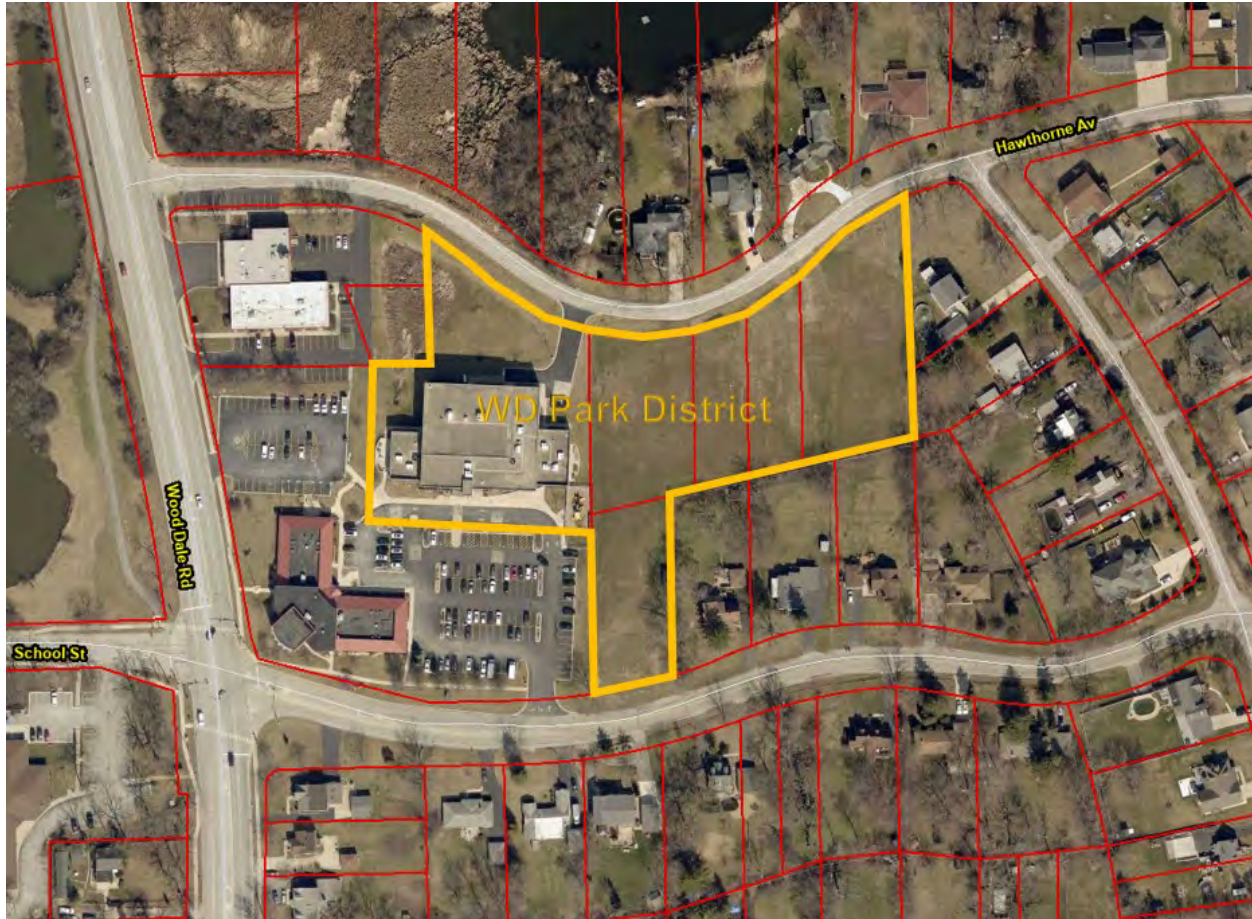
The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Public Hearing Application
- Petition for Voluntary Annexation
- Plat of Annexation (Exhibit H)
- Proof of Ownership
- Resolution Authorizing Application
- Request for Fee Waiver
- Petitioner's Narrative (Exhibit A)
- Responses to Standards (Exhibit B)
- Plat of Survey (Exhibit C)
- Site Plan (Exhibit D)
- Construction Documents (Exhibit E)
- Engineering memo (Exhibit F)
- Plat of Consolidation (Exhibit I)
- EcoCat Report
- Natural Resource Inventory Application
- Phase I Environmental Study
- Parking Analysis & Peak Use Study (Exhibit G)
- Shared Parking Agreement with the School District

Project Description

The subject property is adjacent to the east of the Wood Dale Park District Recreational Complex building located at 111 E Foster Avenue in Wood Dale, Illinois. The property, approximately 4.3 acres in size, consists of the Recreational Complex building zoned R-1: Estate Residential and five vacant properties currently zoned R-3 in unincorporated DuPage County.

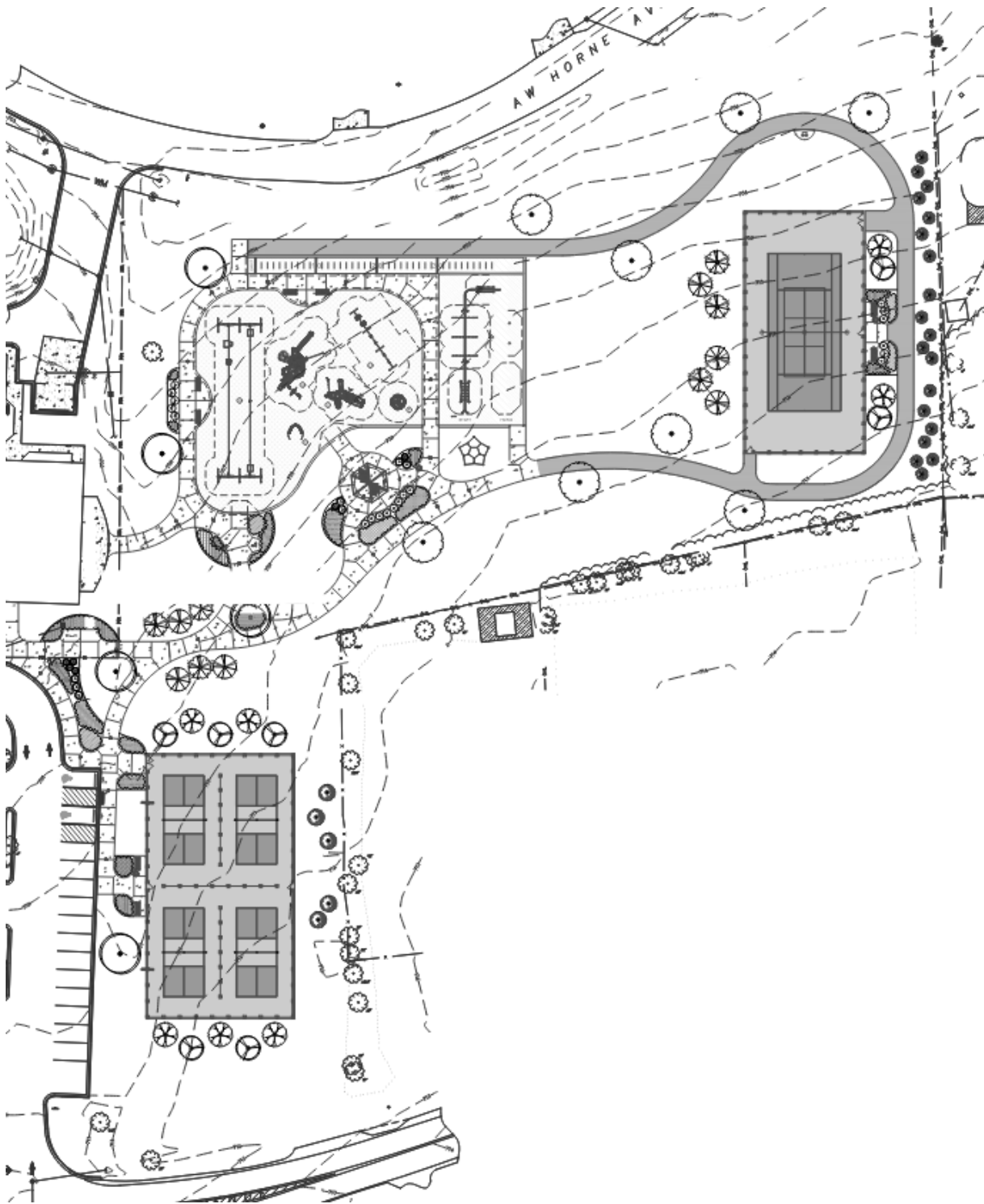
The Park District acquired the residentially zoned properties in 2022 via a land transfer facilitated by Transwestern Development. These parcels were purchased for the Park District in exchange for the sale of the Mohawk Park site located in the Mohawk Manor subdivision which was going through a zoning entitlement process to enable an industrial redevelopment. Upon purchase of the five residential properties by Transwestern Development, the residential structures were demolished, the site was graded and seeded before being transferred to the Park District.



The intent of the applicant is to construct a new park which will include amenities such as Pickleball and tennis courts, 40-yard dash runway, playground, picnic shelter, accessible pathways, new landscaping, and green spaces for open play (see below & Exhibit D for site plan). Per the applicant's statement, the existing Recreation Complex facility houses programs for all ages but lacks appropriate outside play area. Camps and after-school programs walk down Wood Dale Road to another park to engage in outdoor play.

There is an existing playground adjacent to the Recreation Complex. It was constructed in 2002, but due to its size, it is intended for younger children only (0-5 years old) and is mainly used by early childhood or pre-school children. This playground will be removed, as the proposal calls for the construction of a larger playground on the subject property.

Patrons of the proposed park will be able to utilize the existing parking by the Recreation Complex building, as well as have restroom access during the open hours of the facility. Having the new park adjacent to the Recreation Complex will provide a great benefit to the programs offered by the Wood Dale Park District, as it will allow incorporation of outdoor activities programming.



Funding for the construction of the park will be partially provided by the cash payment from Transwestern Development which was negotiated as part of the land transfer for the underutilized Mohawk Park. The remaining funding will come from the Open Space Land Acquisition and Development (OSLAD) grant. Construction is anticipated to begin in the Summer of 2024 with completion by Spring of 2025.

Compliance with the Comprehensive Plan

The subject property is designated as Single-Family Residential in the Future Land Use Map of the Comprehensive Plan. This land use category includes single-family, townhomes, and multi-family areas throughout the City. Often, the residential areas include green open spaces or areas designated for neighborhood parks. The proposed use will provide a high-quality park and recreational outdoor facilities for a mix of active and passive areas.

The location of this park in an established residential neighborhood provides an ideal setting for the proposed complimentary and compatible land use that can also utilize the existing road network and enhance the overall quality of life in Wood Dale. The site improvements will serve to draw in park visitors by providing improved passive and active recreation options within the community.

The proposed development will help the City in achieving Goal 2: Build Community Capacity – Objective 3: Improve community services and intergovernmental coordination by supporting work of the Wood Dale Park District to promote a sense of belonging to the community. It will also address Goal 4: Keep Wood Dale Diverse – Objective 2, by managing development to enhance City appearance and give residents more recreational amenities. The Special Use and Variation requests are consistent with the Comprehensive Plan.

Compliance with the Unified Development Ordinance

Allowable Uses

The subject site consists of the Wood Dale Recreation Complex building located at 111 E Foster Avenue and five vacant properties adjacent to the east. The Recreation Complex property is zoned R-1 Estate Residential, and the vacant properties currently in unincorporated DuPage County, are zoned R-3 Single-Family. The Wood Dale Park District has submitted a Petition for Voluntary Annexation to the City. Upon approval of the Annexation by City Council, all properties will be zoned R-1.

The R-1 Estate Residential district is intended to provide and maintain areas of development at lowest density. This Zoning District is intended for the development of larger lot detached single-family residences on generally uniform lots. The subject property is mainly surrounded by the R-3 Single-Family district in unincorporated DuPage County which provides and maintains areas for single-family detached residences in a neighborhood setting. The proposed development of the new park will serve the residents from established residential neighborhoods as well as patrons from throughout the community and is compatible with the surrounding zoning district.

Per the land use Table 4-5 in the UDO, a playground on a property in the R-1 zoning district is permitted only upon consideration as a Special Use. In a Special Use evaluation, the impact of such use upon neighboring land and of the public need for such a use at the particular location is considered. As such, the applicant has requested an approval of a Special Use to construct a new park. Due to the request for a Special Use, an administrative Site Plan Review is also required.

In 2012, the Recreation Complex property went through a subdivision process to allocate land for a detention pond to be jointly maintained by the Wood Dale Fire Protection District, the Wood Dale Park District and School District Number 7. The lot subdivision process at that time triggered a need for a Special Use. The Wood Dale Park District received an approval for a Special Use via Ordinance O-12-010 that allowed for the continuation of the operation of the recreational facility and school use at 111 E Foster Avenue (Park District) and 543 N Wood Dale Road (School District No. 7).

Lot Development Standards

The following table summarizes the lot development standards for the R-1 zoning district and how the development meets those code requirements. Note that regulations in **bold** indicate where the development does not meet the code requirements.

| <i>Lot Development Standard</i> | <i>Required/Allowed</i> | <i>Proposed</i> |
|---|-------------------------|----------------------------|
| Minimum Lot Area (sq. ft) | 15,000 sq. ft | 189,012 sq. ft |
| Minimum Lot Width at front yard line (ft) | 100 ft | Approx. 660 ft |
| Minimum Lot Depth | 150 ft | 198 ft |
| Minimum Front Yard Setback (ft) | 25 ft | 25 ft |
| Minimum Side Yard (ft) | 10 ft or 10% | 30 ft |
| Minimum Rear Yard Setback (ft) | 30 ft | 45 ft |
| Maximum Lot Coverage | 40% | Approx. 38% |
| Maximum Building Height (ft) | 30 ft | 35 ft (Rec Complex) |

The proposed development meets the lot development standards except for the building height for the existing Recreation Complex building. This building was constructed in 2000 in compliance with the prior Unified Development Ordinance (UDO). Since the building is existing and no physical changes are being proposed to the building itself, the height may remain as is and no variation request is needed.

The subject property consists of the Recreation Complex and five vacant parcels but will be consolidated into one lot via Plat of Consolidation. This request will be considered by the City Council along with the request for Annexation.

Accessory Structures

Upon lot consolidation, the existing Recreation Complex building will remain as the principal structure, while the components of the proposed park will be considered accessory structures. Per Sec. 17.305.D.2, the maximum permitted height for an accessory structure of 15 ft. The proposed playground equipment measures 18 ft 3 inches at its highest point; hence a variation from accessory height requirement is requested. In addition, the proposed fence around the sports court measures 10 ft at its highest point, while Sec. 17.3010 stipulates that the maximum permitted fence height in a residential district is 6 ft. An increased fence height is required to keep the balls secured inside of the sports court. Both height variation requests for the playground equipment and the fence are necessitated by the unique function of the park components and are necessary for successful operation.

Circulation and Parking

The subject property is bound by two public streets; Hawthorn Avenue on the north and Foster Avenue on the south. Main access to the site will be from the existing parking lot adjacent to the Recreation Complex building. Walking path will be provided around most of the perimeter of the site, connecting the existing parking lot to the playground and continuing to connect to the playing courts in the far east side of the property. The sports court on the south side of the property will be connected via sidewalk to the existing sidewalk along the parking lot.

The Municipal Code does not have parking regulations for parks/playgrounds. Per the parking analysis submitted by the Park District, 36 parking spaces may be needed for the new park at peak times. Also, with its location in an established residential neighborhood, it is expected that a significant number of patrons may walk or bike to the park, so most likely the need for parking will be less.

There are 156 total spaces (147 standard and 9 accessible) available in the existing parking lot which is shared between the Park District and School District per a Shared Parking Agreement. The proposal calls for restriping of 3 of standard spaces, to accommodate 2 accessible spaces with a shared access lane, so the total of available spaces will be 155 (144 standard and 11 accessible). Per the UDO, a minimum of 5 accessible parking spaces are required, so this requirement is met.

Per the tables below, the current code requires 82 parking spaces for the Recreational Complex building and the School District building requires 33 spaces. Combining these two uses with the 36 spaces which may be required for the new park at peak times, a total of 151 parking spaces would be required. The parking meets the required number of parking spaces. It is recommended that Park District staff use the parking to the west of the building, to leave spaces in front of the Recreation Building available for the park patrons. This will be added as a condition to the Special Use approval.

Wood Dale Park District Building – 111 E Foster Ave

| Land Use | Parking Ratio | Net Floor Area (sf) | Parking Required (# Spaces) |
|-------------------------------------|-------------------------|---------------------|-----------------------------|
| Government buildings and facilities | 3.5 spaces per 1,000 sf | 7,821 | 27 |
| Indoor athletic facilities | 5 per 1,000 sf | 11,055 | 55 |
| Total | | | 82 |

School District Building – 543 N Wood Dale Road

| Land Use | Parking Ratio | Net Floor Area (sf) | Parking Required (# Spaces) |
|-------------------------------------|-------------------------|---------------------|-----------------------------|
| Government buildings and facilities | 3.5 spaces per 1,000 sf | 5,539 | 19 |
| Daycare centers | 2.5 per 1,000 sf | 5,600 | 14 |
| Total | | 11,139 | 33 |
| | | SUBTOTAL | 115 |

Landscaping

The subject property will be zoned R-1 Estate Residential and abuts residential properties. The UDO does not have specific landscaping requirements for parks and playgrounds; however, certain site perimeter screening requirements apply. Per Sec. 17.604.D, screening/landscaping is required along the property lines abutting residential properties, at least 20% of landscaping shall be evergreen, and shade trees are required along the property lines.

Per the submitted plans, the proposed and existing landscaping shown on the plans appears to meet the code requirements. There is existing fencing and/or dense shrubbery along majority of the property lines abutting residential properties. Also, while the code would require 11 shade trees, there are at least 23 shade trees already present along the perimeter of the site, which meet the intent of the required screening. The submitted landscape plans call for installation of landscaping throughout the site, including evergreens along both sports courts to provide screening from residential properties.

Site Plan Review

Site plan review in accordance with Sec. 17.206 of the UDO has been conducted by staff. The proposed development, subject to Special Use approval, is not expected to have an unwarranted or unreasonable effect on the surrounding property or public utilities. Due to the nature of the proposed playground development, the proposal is not expected to create unreasonable drainage or erosion problems. The project will be subject to complete building, zoning, and engineering plan review and code compliance during the permitting process.

Neighborhood Comment

Notice was provided to adjacent property owners in accordance with Section 17.202.E of the UDO. A public hearing sign was placed at the subject property and a public hearing notice published in Daily Herald on May 3, 2024. Staff did not receive any inquiries regarding the petition as of writing of this memo.

Findings of Fact

Special Use Standards

The Community Development Commission may recommend approval of a Special Use if evidence is presented to establish that the application meets the standards found in Chapter 17, Article II, Section 17.205.B.5 of the Municipal Code. The applicant has provided responses to the standards in Exhibit B and Exhibit C. The standards are as follows (*staff comments italicized*):

1. Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this UDO was enacted and for which the regulations of the district in question were established and with the general purpose and intent of The City of Wood Dale Comprehensive Land Use Plan.

Response: The proposed use and development are in harmony with the purpose and intent of the UDO, the R-1 zoning district and the Comprehensive Plan. The new park development with new landscaping will enhance the aesthetic value by redeveloping currently vacant parcels. The proposed use will benefit the existing residential neighborhood by providing improved passive and active recreation options within the community and allow the Wood Dale Park District to expand outdoor programming available to local residents.

2. No Undue Adverse Impact. The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

Response: The proposed use is conforming to the zoning district and will not have a substantial or undue effect on adjacent property, the character of the area or public health, safety and general welfare. The proposal calls for construction of a playground in a residential zoning district and is expected increase the appeal of the adjacent properties from a desirability stand point. Further, the proposed improvements will add new landscaping to the site.

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Response: The proposed Special Use would provide enhanced recreational opportunities with minimal impact to adjacent properties. The surrounding properties can continue to be used in the same manner as they are today or in accordance with the applicable zoning regulations. The development of the subject property is in line with the surrounding district and existing development.

4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Response: The subject property will be developed as a neighborhood park with play equipment. The property is served, or has access to, adequate existing public utilities and services to support the proposed use.

5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

Response: The proposed development is not expected to have a negative effect on traffic congestion. The proposed use as a neighborhood park will serve the adjacent residential neighborhood. It is expected that majority of patrons will walk or bike to the site, but if needed, on-site parking is available at the Recreation Complex. The existing street network can accommodate the additional traffic from the proposed project.

6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic feature of significant importance.

Response: As noted previously, the intent is to develop vacant parcels in an established residential district. There is no record of natural, scenic or historic features on the subject property.

7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this UDO authorizing such use.

Response: The proposed development complies with the provisions of the UDO with the exception of the requested variations for accessory structure and fence height. Responses to the Variation Standards are evaluated below.

8. Public Benefit. Whether, and to what extent, the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The proposed development seeks to construct a playground that would be used by surrounding residential neighborhood and Wood Dale Park District patrons. This use is necessary and desirable as per the applicant's statement, as it would allow the Park District to expand outdoor programming adjacent to the Recreation Complex.

9. Mitigation of Adverse Impacts. Whether, and to what extent, all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping and screening.

Response: The proposed park has been designed to minimize adverse effects on immediate vicinity. Per the submitted plans, the proposed and existing landscaping shown on the plans appears to meet the code requirements. There is existing fencing and/or dense shrubbery and shade trees along majority of the property lines abutting residential properties. In addition, evergreen trees will be added along both sports courts to provide screening from residential properties.

Site Plan Review Standards

1. Standards. The Development Administrator and the City Council will not disapprove a site plan submitted pursuant to this Section except on the basis of specific written findings directed to one or more of the following standards:
- a. The application is incomplete in specified particulars or contains or reveals violations of this UDO or other applicable regulations that the applicant has, after written request, failed or refused to supply or correct.

Response: The submitted application is complete and reveals no violations. A separate request was submitted for zoning variations for the playground

equipment and fence height, which are being considered as part of the applicant's zoning petition.

- b. The application is submitted in connection with another application, the approval of which is a condition precedent to the necessity for site plan review, and the applicant has failed to secure approval of that application.

Response: The Site Plan Review is required for Special Use approval, which is being considered as part of the applicant's zoning petition. The final approval of Site Plan Review will be conditioned on the Special Use approval by City Council.

- c. The site plan fails to adequately meet specified standards required by this UDO with respect to the proposed use or development, including special use standards where applicable.

Response: The site plan meets the specified standards required by Special Use and Variations, addressed separately in this Memo.

- d. The proposed site plan interferes with easements or rights-of-way.

Response: The submitted site plan does not indicate that there is any interference with easements or rights-of-way. The development will take place on private property and will include installation of playground equipment and landscaping.

- e. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

Response: The site plan proposes construction of a playground in a neighborhood park. It is intended to serve the public and is not expected to be unreasonable injurious or detrimental to the surrounding properties.

- f. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably create hazards to safety on or off site or disjointed or inefficient pedestrian or vehicular circulation path on or off site.

Response: The proposed development is not expected to have a negative effect on traffic congestion. The proposed use as a playground will serve the adjacent residential neighborhood. It is expected that the majority of patrons will walk or bike to the site, but if needed, sufficient parking is available at the existing Recreation Complex parking lot. The existing street network can accommodate the additional traffic from the proposed project.

- g. The screening of the site does not provide adequate shielding from or for nearby uses.

Response: Per the submitted plans, the proposed and existing landscaping shown on the plans appears to meet the code requirements. There is existing fencing and/or dense shrubbery and shade trees along majority of the property

lines abutting residential properties. In addition, evergreen trees will be added along both sports courts to provide screening from residential properties.

- h. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactory integrate the site into the overall existing and planned drainage system serving the City.

Response: It is not expected that the proposed development of the playground and sports courts will have an effect on the drainage system. The net new impervious area does not trigger the requirement for detention of site runoff. Post-construction best management practices (PCBMPs) will be utilized for treatment of storm runoff and their final design will be reviewed and approved during the permitting process.

- i. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactory integrate site utilities into the overall existing and planned utility systems serving the City.

Response: It is not expected that the proposed development will place any burdens on the City's utility's system, as no connection to City services are being proposed.

- j. The proposed site plan does not provide for required public uses designated on the Official Map.

Response: The proposed site plan provides for public use.

- k. The proposed site plan otherwise adversely affects the public health, safety or general welfare.

Response: It is not expected that the proposed development would adversely affect the public health, safety or welfare. The proposed new park is compatible with the residential district and will provide a public benefit.

Alternative Approaches. In citing any of the foregoing standards, other than those of Article 2 Section 17.206.E.1.a and 17.206.E.1.b, as the basis for disapproving a site plan, the Development Administrator or the City Council may suggest alternative site plan approaches that could be developed to avoid the specified deficiency or may state the reasons why such deficiency cannot be avoided consistent with the applicant's objectives.

Variation Standards

No variation shall be authorized by the City Council unless the Community Development Commission shall find evidence establishing the following general standards and criteria, found in Chapter 17, Article II, Section 17.204.C.6 of the Municipal Code. Applicant's responses to standards are attached in Exhibit C to this memo. The standards are as follows (*staff comments italicized*):

1. General Standard. No variation will be granted pursuant to this Section 17.204.C.6 unless the applicant will establish that carrying out the strict letter of the provisions of this UDO would create a particular hardship or a practical difficulty. Such a showing will require proof that the variation being sought satisfies each of the standards set forth in this Subsection.

Response: The applicant is seeking a variation to increase the accessory structure height from 15 ft to 18 ft 3 inches to allow construction of playground equipment and a variation to increase the fence height from 6 ft to 10 ft to accommodate a higher fence around the perimeter of the sports courts. Carrying out the strict letter of the UDO would result in practical difficulties, as both height variation requests are necessitated by the unique function of the park components and are necessary for successful operation.

2. Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Response: The subject property consists of six parcels, including the Recreation Complex facility and five vacant parcels which will be annexed into the City, and consolidated into one large lot. The proposed improvements include construction of a new park including a playground, and Pickleball/tennis courts and site improvements including a walking path and new landscaping. The subject property is exceptional as compared to other lots in the same zoning district due to its unique use as a neighborhood park.

3. Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner or his predecessors in title and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this UDO, for which no compensation was paid.

Response: The zoning variation requests for the height of playground equipment and the fence are necessitated by the unique function of these park components and are not self-created by the applicant. The playground equipment must have certain height to be able to accommodate slides and play equipment for the children and the fence is necessary around the sports courts to help keep the balls from scattering throughout the site and neighboring properties.

4. Denied Substantial Rights. The carrying out of the strict letter of the provision from which a variation is sought would deprive the owner of the subject property of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Response: The subject property is proposed to be developed as a neighborhood park with a playground and sports courts. Carrying out of the strict letter of the provisions would deprive the property owner of rights to provide the desired and necessary public space to serve the surrounding residential neighborhood.

5. Not Merely Special Privilege. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the sale of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship will not be a prerequisite to the grant of an authorized variation.

Response: The requested variations could be applicable to other properties developed in the same district around the same time as subject property. The applicant is requesting the variations to enable construction of a new park with playground equipment and sports courts. The requested variations are needed to allow development on a parcel to serve a public benefit which could be applicable to other property owners and is not a special privilege.

6. Code and Plan Purposes. The variation would not result in a use or development of the subject property that would not be in harmony with the general and specific purposes for which this UDO and the provision from which a variation is sought were enacted or the general purpose and intent of The City of Wood Dale Comprehensive Land Use Plan.

Response: The variation request is consistent with the general purpose and intent of the UDO and the Comprehensive Plan. The property is located within an established residential district and will be used for public recreational use compatible with the zoning district. The request also supports goals and objectives of the Comprehensive Plan including improving community services and intergovernmental coordination and managing development to enhance City appearance and give residents more recreational amenities.

7. Essential Character of the Area. The variation would not result in a use or development on the subject property that:
 - a. Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development value of property or improvements permitted in the vicinity;
 - b. Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity;
 - c. Would substantially increase congestion in the public streets due to traffic or parking;
 - d. Would unduly increase the danger of flood or fire;
 - e. Would unduly tax public utilities and facilities in the area; or
 - f. Would endanger the public health and safety.

Response: The variation of the height for accessory structures and fences is not expected to result in a use or development that would affect any of the items listed

above. The intent of the applicant is to construct a new park on a vacant property. Except for the variations sought in this application, the playground will be required to meet all building permit requirements.

8. No Other Remedy. There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.

Response: As is noted above, the applicant is seeking the zoning relief to accommodate construction of a new park. This is driven by a desire to provide a much needed public benefit to the residential neighborhood. The property will be used to support a recreational use which is consistent with the surrounding area.

RECOMMENDATION

The Community Development Department finds that the request for a Special Use and Zoning Variations to construct a new park is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Special Use and Zoning Variations for an increase in accessory structure height from 15 ft to 18 ft 3 inches and an increase in fence height from 6 ft to 10 ft meet the standards of approval and are consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo dated May 20, 2024 as the findings of the Community Development Commission, and recommend to the City Council approval of the Special Use for playground and Zoning Variations for increase in accessory structure height from 15 ft to 18 ft 3 inches and increase in fence height from 6 ft to 10 ft to enable construction of a new park at 111 E Foster Avenue in Case No. CDC-2024-0004 with the following conditions:

1. Park District staff shall use the parking to the west of the building, leaving spaces closer to the new park available for the park patrons.
2. The Special Uses, Zoning Variations, and Site Plan shall substantially conform to the staff memo dated May 20, 2024 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
3. The Special Use permit shall be deemed to relate to and be for the benefit of the lot itself.
4. Final engineering approval must be granted prior to the issuance of a building permit.
5. The developer has the ongoing obligation to maintain the landscaping on the site in accordance with the approved landscape plan.

(Yes vote would be to approve; No vote would be to deny)

Attachment A-1, Narrative Statement

- A. **Objectives and Need for Assistance:** Through a partnership with a local developer, the Wood Dale Park District negotiated an agreement to take an under-used park located in a new business development out of service and acquire land for a new park, adjacent to the district's Recreation Complex facility, their main hub for recreation. The 34,300 square foot building houses programs for all ages, abilities and interests but has lacked amenities and green space outside the facility since it opened in the year 2000. Camps and after-school programs walk down busy Wood Dale Road to another park to engage in outdoor play.

Along with the land exchange, a cash payment was also negotiated, which will pay for nearly half of the construction cost of developing the park. It's not often that a park district can build a park with minimal impact on the local taxpayer. Receiving the OSLAD grant would allow Wood Dale to do just that by utilizing the funding from the grant and the cash payment from the developer to cover the construction cost.

The objective of the design is to provide, fresh new, trending recreation amenities like Pickleball, a 40-yard dash runway and PG Ball, along with age-appropriate playgrounds, a picnic shelter, accessible pathways, attractive landscaping, and green space for open play.

- B. **Results/Benefits Expected:**

The current playground on site, which was installed in 2002, would be replaced. It is currently fenced, and due to its size and the fact that it is an early childhood playground (0-5 years), it is only used by the adjacent school district early childhood education program, the park district preschool curriculum-based program, and Pre-K summer camp. There is currently no playground available for ages 6-12.

Utilizing 2021 data, Wood Dale School District #7, serving grades PreK-8th, has 57.8% of its students who are considered low income. At the high school level, the percentage is 44%. The Hispanic population at 52.1% compared to the average state percentage of 27%. The high school district has an even higher percentage of Hispanic students at 64.3%. The population of white students in the grade school district is lower than the state percentage at 38.2% versus the state at 46.7%, illustrating that the non-white population in Wood Dale is large. The percentage of white students at the high school district is even lower at 27.6%.

The public will benefit from an accessible park with a variety of amenities suitable for all ages as well as restroom access during the open hours of the Recreation Complex. This project allows for the development of a companion park to the Recreation Complex that will provide program space for organized programs at the school district and the park district. Examples of these programs are early childhood education, preschool, before and after-school and school days off childcare, summer day camp, senior citizen club activities, fitness, and nature programming.

- C. **Approach:** The plan was discussed at the Tuesday, August 23, 2022, meeting of the Board of Park Commissioners. Input regarding the plan was received from the elected officials after a presentation by Doug Fair of Hitchcock Design Group, the architectural firm working on the project. A public hearing to gain input about the project from the public was advertised and

held Tuesday, September 6 at 6:30 pm at the Recreation Complex. The land is visible from the senior citizen/teen programming room where the meeting was held so it was convenient for illustrating the plan for the space. Upon incorporating all the input received, approval was granted to move forward with the final design, construction drawings and cost estimate.

The Wood Dale Park District will have the project ready for construction at the time of the OSLAD grant award announcement. The developer's financial contribution will cover the majority of the construction cost that isn't covered by the grant. If the grant announcement is made in May, the project work will begin as early as late Summer of 2023, with completion by Spring of 2024.

- D. **Geographic Location:** The site is located to the east of the Recreation Complex which is located at 111 E. Foster Avenue in Wood Dale, Illinois. The site extends north to Hawthorne Avenue, and it borders residential properties to the East on Cedar Avenue and to the South on Foster Avenue. To the west of the property is the Recreation Complex building and parking lot.
- E. **Previous Assistance:** This project has not received any assistance from LWCF, OSLA/OSLAD or other state/federal grants.

SPECIAL USE STANDARDS

General Standards. No special use permit will be recommended or granted pursuant to Article 2 Section 17.205.B.5 unless the applicant will establish that:

1. **Code and Plan Purposes.** The proposed use and development will be in harmony with the general and specific purposes for which this UDO was enacted and for which the regulations of the district in question were established and with the general purpose and intent of The City of Wood Dale Comprehensive Land Use Plan.

Response: *We affirm that the proposed use and development align with the general and specific purposes outlined in the UDO and The City of Wood Dale Comprehensive Land Use Plan. The development will be adjacent to the existing Recreation Complex and provide the same recreational/public use function to the community.*

2. **No Undue Adverse Impact.** The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

Response: *The proposed use, drainage, and development will not exert substantial or undue adverse effects on adjacent property, the area's character, or the public health, safety, and welfare. The development will be adjacent to the existing Recreation Complex and provide the same recreational/public use function to the community – the expanded outdoor recreational space will be a benefit to the public's health, safety, and general welfare. Existing drainage patterns for the site will remain intact with a new storm sewer system added connecting to existing infrastructure in accordance with all applicable code requirements.*

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Response: *The development will be adjacent to the existing Recreation Complex and provide the same recreational/public use function to the community. The proposed playground, challenge course, shelter, tennis and pickleball courts and development of will be executed in a manner that does not dominate the immediate vicinity or disrupt neighboring property use, consistent with applicable district regulations.*

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Response: *The proposed use and development will be adequately served by essential public facilities and services or will provide adequately for such services, including streets, utilities,*

public safety, refuse disposal, parks, libraries, and schools. The Recreation Complex's large parking lot will provide vehicular access to the development with accessible routes to all new amenities provided via paved walkways. The new storm sewer system will be connecting to existing infrastructure in accordance with all applicable code requirements. Layout of the new amenities have been designed to provide unobstructed viewpoints for ease of safety surveillance.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

Response: *Due to its location next to the existing Recreation Complex (a large public use facility), the proposed use and development will not lead to undue traffic congestion or significantly increase traffic flow through residential streets.*

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic feature of significant importance.

Response: *The existing site is a large open turf field with no major vegetation or natural areas present. As a result, the proposed use and development will not result in the destruction, loss, or damage of natural, scenic, or historic features of significant importance – it will only provide natural & scenic benefits to the currently underutilized area through the proposed plant material along with the new active recreation park amenities.*

7. **Compliance with Standards.** The proposed use and development complies with all additional standards imposed on it by the particular provision of this UDO authorizing such use.

Response: *The proposed use and development fully comply with all additional standards stipulated by the particular provision of the UDO authorizing such use.*

8. **Public Benefit.** Whether, and to what extent, the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: *The proposed use and development serve the public convenience and contribute to the general welfare of the neighborhood or community at the specified location – the development will provide additional outdoor open space use to the community and surrounding neighbors. The Park District's acreage per population percentage will increase, a significant benchmarking tool used by the State of Illinois and Illinois Department of Natural Resources. The new park will essentially be an outdoor extension of the existing Recreation Complex and provide a significant benefit to the health, safety, and welfare of the community.*

9. **Mitigation of Adverse Impacts.** Whether, and to what extent, all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping and screening.

Response: *All possible steps will be taken to minimize adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening. Existing drainage patterns for the site will remain intact with a new storm sewer system added connecting to existing infrastructure in accordance with all applicable code requirements. A new, small, natively planted basin will collect surface flow during rainfall events to treat the water by the native plants' root system and release the water at a significantly slower rate at the outfall point to minimize site disturbance by reducing erosion & sedimentation.*

SITE PLAN REVIEW STANDARDS

1. **Standards.** The Development Administrator and the City Council will not disapprove a site plan submitted pursuant to this Section except on the basis of specific written findings directed to one or more of the following standards:

- a. The application is incomplete in specified particulars or contains or reveals violations of this UDO or other applicable regulations that the applicant has, after written request, failed or refused to supply or correct.

Response: *The application is in compliance, containing all necessary particulars and adhering to this UDO and other relevant regulations, with any identified violations promptly rectified upon request.*

- b. The application is submitted in connection with another application, the approval of which is a condition precedent to the necessity for site plan review, and the applicant has failed to secure approval of that application.

Response: *The application is in compliance, not contingent upon the approval of another application, and stands on its own merit for site plan review.*

- c. The site plan fails to adequately meet specified standards required by this UDO with respect to the proposed use or development, including special use standards where applicable.

Response: *The site plan fully meets the specified standards mandated by this UDO for the proposed use or development, including any applicable special use standards. The development will be adjacent to the existing Recreation Complex and provide the same recreational/public use function to the community – essential an outdoor extension of the facility.*

- d. The proposed site plan interferes with easements or rights-of-way.

Response: *The proposed site plan does not encroach upon easements or rights-of-way and respects all relevant property boundaries. The Recreation Complex's existing large parking lot will provide vehicular access to the development with accessible routes to all*

new amenities provided via paved walkways within the property limits and not encroaching on any existing public rights-of-way.

- e. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

Response: *The existing site is an open turf field and the proposed site plan does not unreasonably impede the use and enjoyment of surrounding properties as it is located next to the existing Recreation Complex and surrounded by a residential properties – it is designed to harmonize with the existing environment and surrounding neighborhood.*

- f. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably create hazards to safety on or off site or disjointed or inefficient pedestrian or vehicular circulation path on or off site.

Response: *Due to its location next to the existing Recreation Complex (a large public use facility), the proposed use and development will not lead to undue traffic congestion, safety hazards, or significantly increase traffic flow through residential streets – circulation elements have been carefully designed to ensure safety and efficiency for both pedestrians and vehicles. The parking lot will provide vehicular access, with new ADA parking added, designated pedestrian access points, and accessible routes to all new amenities provided via paved walkways within the development.*

- g. The screening of the site does not provide adequate shielding from or for nearby uses.

Response: *Adequate screening measures are incorporated into the site plan to provide appropriate buffering from nearby residential areas as required. Additionally, layout of the new amenities have been designed to provide unobstructed viewpoints for ease of safety surveillance.*

- h. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned drainage system serving the City.

Response: *The proposed site plan addresses drainage and erosion concerns satisfactorily, integrating the site into the existing and planned drainage system of the City – specifically, existing drainage patterns for the site will remain intact with a new storm sewer system added connecting to existing infrastructure in accordance with all applicable code requirements. A new, small, natively planted basin will collect surface flow during rainfall events to treat the water by the native plants' root system and release the water at a significantly slower rate at the outfall point to minimize site disturbance by reducing erosion & sedimentation.*

- i. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactory integrate site utilities into the overall existing and planned utility systems serving the City.

Response: *The proposed site plan does not impose unwarranted burdens on utility systems; it integrates seamlessly with existing and planned utility systems serving the City – the new storm sewer system will connect to existing infrastructure in accordance with all applicable code requirements. Additional utilities will be: water connection to a new drinking fountain & a singular electrical connection to the new shelter to provide power to GFI receptacles and the security light under the roof.*

- j. The proposed site plan does not provide for required public uses designated on the Official Map.

Response: *The proposed site plan includes provisions for required public uses designated on the Official Map.*

- k. The proposed site plan otherwise adversely affects the public health, safety or general welfare.

Response: *The proposed site plan does not adversely affect public health, safety, or general welfare – it has been developed with due consideration for these factors and complies with relevant regulations. The new park will essentially be an outdoor extension of the existing Recreation Complex and provide a significant benefit to the community by increasing the acreage per population percentage, a notable benchmarking tool in determining a community’s outdoor space needs related to public/recreational use and monitoring its health, safety, and welfare.*

Alternative Approaches. In citing any of the foregoing standards, other than those of Article 2 Section 17.206.E.1.a and 17.206.E.1.b, as the basis for disapproving a site plan, the Development Administrator or the City Council may suggest alternative site plan approaches that could be developed to avoid the specified deficiency or may state the reasons why such deficiency cannot be avoided consistent with the applicant’s objectives.

SUBDIVISION PLAT STANDARDS

The Community Development Commission shall recommend approval and the City Council shall approve a final subdivision plat unless it makes written findings specifying the manner in which:

- a. The design and layout of the subdivision does not conform to the provisions of this Article.

Response: *The design and layout of the subdivision fully conform to the provisions outlined in this Article, ensuring compliance with all relevant regulations.*

- b. The applicant has not made adequate provision to install improvements required by the community development commission or city council under authority of this Article VIII.

Response: *Adequate provision has been made by the applicant to install all improvements required by the community development commission or city council, as mandated by the authority granted under this Article VIII.*

- c. The final subdivision plat fails to comply with an approved preliminary plat.

Response: *The final subdivision plat is in complete compliance with the approved preliminary plat, meeting all stipulated requirements and conditions.*

- d. The plat does not conform to the comprehensive plan, the official map, this article, city ordinances, or established planning policies of the city.

Response: *The plat adheres meticulously to the comprehensive plan, the official map, this article, city ordinances, and established planning policies of the city, ensuring alignment with the broader vision and regulations governing development within the municipality.*

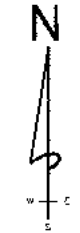
Final Plat of Subdivision of LEISURE AND EDUCATION RESUBDIVISION

EXHIBIT C
CDC-2024-0004

BEING A RESUBDIVISION OF PART OF SECTION 9 AND SECTION 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DuPAGE COUNTY, ILLINOIS

03-10-102-006
007
099-
033

PLAT
R2012-044989
APR. 06. 2012
10:36 AM



OWNER'S CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)
THIS IS TO CERTIFY THAT WOOD DALE PARK DISTRICT AND SCHOOL DISTRICT 7 ARE THE OWNERS OF THE LAND DESCRIBED ABOVE IN DU PAGE COUNTY, ILLINOIS, AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE, OR INTEREST IN SAID LAND, AND THAT SAID OWNERS HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE INDICATED.
DATED THIS 3 DAY OF April 2012
BY: [Signature] Executive Director
ATTEST: [Signature] Secretary

NOTARY CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF)
I, [Signature] A NOTARY PUBLIC IN AND FOR AND RESIDING IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT WOOD DALE PARK DISTRICT AND SCHOOL DISTRICT 7 PERSONALLY KNOWN TO ME TO BE AS SUCH OWNERS APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SOLEMNLY AND DELIBERATELY MADE THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS 3 DAY OF April 2012
NOTARY PUBLIC

CITY CLERK CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)
APPROVED AND ACCEPTED BY THE MAYOR AND COUNCIL OF THE CITY OF WOOD DALE, DU PAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS 20 DAY OF April 2012
SIGNED: [Signature] Mayor
ATTEST: [Signature] City Clerk

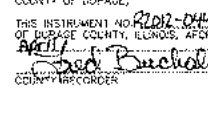
CITY TREASURER CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)
I, [Signature] TREASURER FOR THE CITY OF WOOD DALE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPROPRIATED AGAINST ANY OF THE TRACT INCLUDED IN THE ANNEXED PLAT.
DATED THIS 20 DAY OF April 2012
CITY TREASURER

COMMUNITY DEVELOPMENT COMMISSION CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)
APPROVED BY THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF WOOD DALE, ILLINOIS, ON THIS 20 DAY OF April 2012
SIGNED: [Signature] Secretary
ATTEST: [Signature] Secretary

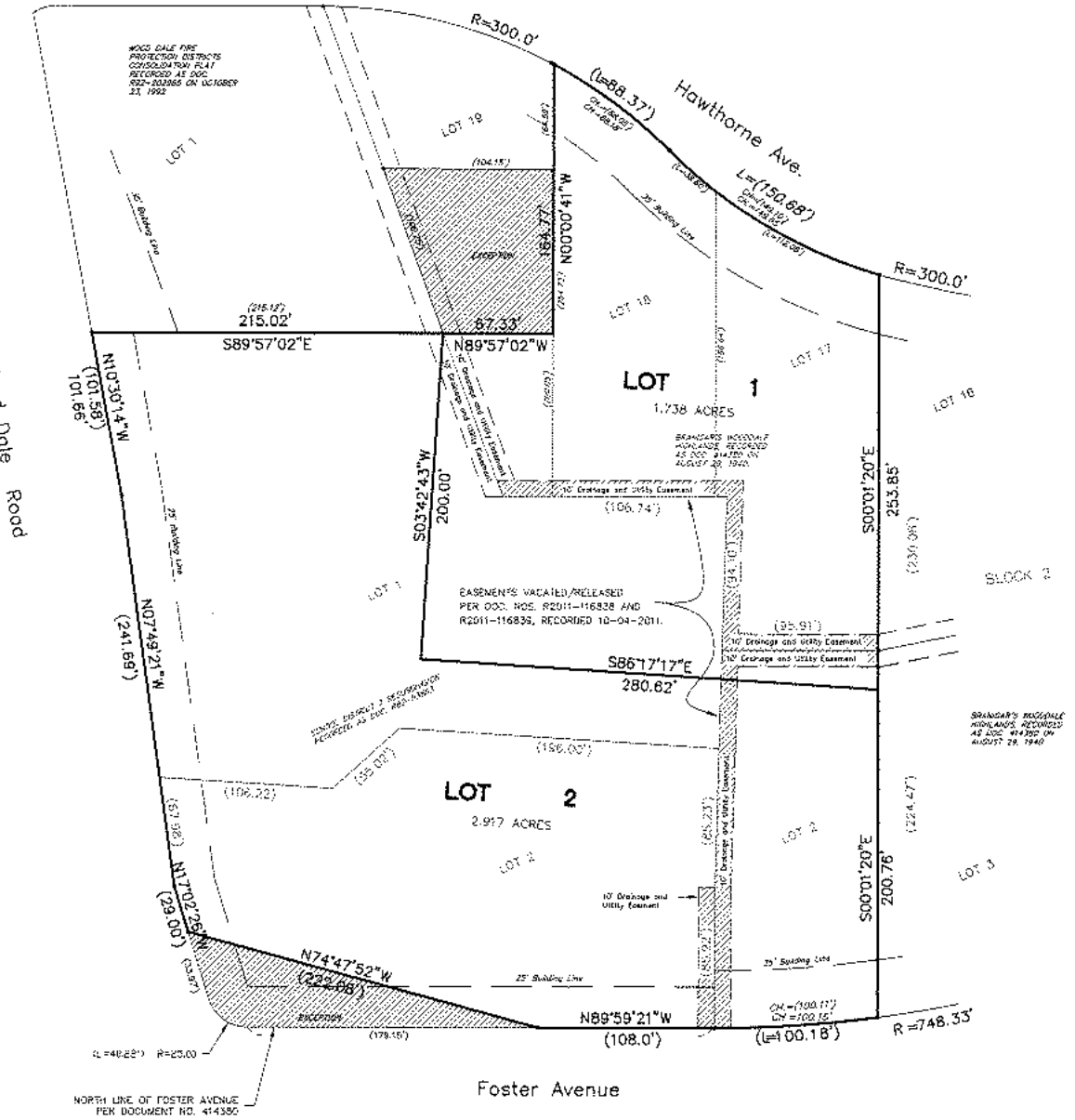
COUNTY CLERK'S CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)
I, [Signature] COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO RECEIVABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS THIS 6 DAY OF April 2012
COUNTY CLERK

COUNTY ENGINEER CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)
THIS PLAT HAS BEEN APPROVED BY THE DU PAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAYS.
PURSUANT TO 705 ILCS 205/2, HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED TO THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY RIGHT-OF-WAY.
DATED THIS 20 DAY OF April 2012
COUNTY ENGINEER

COUNTY RECORDER'S CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)
THIS INSTRUMENT NO. R2012-044989 WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS, AFORESAID, ON THE 10 DAY OF April 2012 AT 10:36 AM
COUNTY RECORDER



Scale: 1" = 50'



EASEMENT PROVISIONS
An easement for serving the subdivision and other property with electric and communications service is hereby reserved for and granted to Commonwealth Edison Company and Illinois Bell Telephone Company (American), Grandview.
Their respective successors and assigns, jointly and severally, to install, operate, maintain and remove, from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and service lines, over, under, across, along and upon the surface of the property shown within the dashed lines on the plat and marked "Public Utility Easement (PUE)", the location of the Corporation and/or its successors and assigns, and the property designated on the plat as a "Common area or area", and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections over or under the surface of each lot and number area or ways to serve improvements thereon, or on adjacent lots, and common area or area, the right to cut, trim or remove trees, bushes and vines on any lot or area of property, the right to enter upon the subdivided property for all such purposes. The easement shall include the right to install, maintain, repair, replace, renew, and remove any and all facilities, equipment and appurtenances, and any and all manholes, pipes, connections, catch basins, and without limitation, such other installations as the Grantee may deem necessary, together with the right of access across the real estate situated hereon for the necessary personnel and equipment to do any or all of the above work.
The right is also hereby granted to the Grantee to remove any buildings or structures, to cut down, trim or remove any trees, fences, shrubs or other plants that interfere with the operation of or access to such drainage facilities in, on, upon, across, under or through said drainage easements.
The Grantee shall not be responsible for replacement of any such buildings, structures, improvements, fences, shrubs or other landscaping removed during exercise of the herein given rights. Replacement of items so removed shall be the responsibility of the fee lot owner.
Where drainage easements are also used for electric, telephone, cable television, or natural gas distribution systems or components, such other utility installations shall be subject to the prior approval of the City of Wood Dale so as not to interfere with the maintenance of gravity flow and stabilization of vegetation ground cover on the over-saturation drainage facilities.

CITY UTILITY EASEMENTS
A perpetual easement appurtenant is hereby granted to the City of Wood Dale, DuPage County, Illinois, its successors and assigns, over, upon, across, through and under those portions of the above described real estate designated Public Utility Easement on this plat for the purpose of installing, laying, constructing, operating, maintaining, repairing, renewing, and replacing water mains, and sanitary sewer lines, storm sewer lines, street light cable, and any other City utilities, together with all appurtenant structures, including, but not limited to, manholes, vaults, valves, fire hydrants, valve vaults, and all other facilities and equipment required for the purpose of serving the above described real estate with water service, sanitary sewer service, storm water collection, street lighting, and other municipal services and for the purpose of providing ingress and egress from the property shown hereon for emergency vehicles of any and all types whatsoever. In no event shall any permanent building be placed upon said easement areas, but they may be used for gardens, shrubs, landscaping and such other purposes not do not, and will not in the future, interfere with the operation of or access to such drainage facilities in, on, upon, across, under or through said drainage easements.

CITY DRAINAGE EASEMENTS
A permanent non-exclusive easement is hereby reserved for and granted to the City of Wood Dale (hereinafter "the Grantee"), and its successors and assigns, upon, across, over, under and through the areas shown by dashed lines and labeled "Drainage Easement" on this plat of subdivision, or where otherwise noted in the above regard for the purpose of installing, constructing, inspecting, operating, repairing, renewing, altering, enlarging, removing, replacing, cleaning, and maintaining storm sewers, drainage ways, storm water collection, and retention facilities, subsurface drainage systems and appurtenances, and any and all manholes, pipes, connections, catch basins, and without limitation, such other installations as the Grantee may deem necessary, together with the right of access across the real estate situated hereon for the necessary personnel and equipment to do any or all of the above work.
The right is also hereby granted to the Grantee to remove any buildings or structures, to cut down, trim or remove any trees, fences, shrubs or other plants that interfere with the operation of or access to such drainage facilities in, on, upon, across, under or through said drainage easements.

The Grantee shall not be responsible for replacement of any such buildings, structures, improvements, fences, shrubs or landscaping removed during exercise of the herein given rights. Replacement of items so removed shall be the responsibility of the fee lot owner.
Where drainage easements are also used for electric, telephone, cable television, or natural gas distribution systems or components, such other utility installations shall be subject to the prior approval of the City of Wood Dale so as not to interfere with the maintenance of gravity flow and stabilization of vegetation ground cover on the over-saturation drainage facilities.

SURVEYOR'S CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF MOHAWK)
THIS IS TO CERTIFY THAT I, WILLIAM M. TENBUSCH, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, NO. 22767, HAVE SURVEYED AND SUBDIVIDED THE BELOW DESCRIBED PROPERTY AS SHOWN BY THE ANNEXED PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

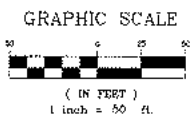
LOTS 17 AND 18 IN BRANNAGAN'S WOODDALE HIGHLANDS, BEING A SUBDIVISION IN SECTIONS 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 26, 1940 AS DOCUMENT 41438; TOGETHER WITH:
LOT 1 IN SCHOOL DISTRICT 7 RESUBDIVISION EXCEPT THAT PART LYING NORTH OF THE SOUTH LINE OF LOT 1, EXTENDED EAST, IN WOOD DALE FIRE PROTECTION DISTRICT'S CONSOLIDATION PLAT, A CONSOLIDATION PLAT IN SECTIONS 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 23, 1992 AS DOCUMENT 802-20289; TOGETHER WITH:
LOT 2 IN SCHOOL DISTRICT 7 RESUBDIVISION, A PART OF SECTIONS 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF WOOD DALE, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 802-20289 EXCEPT THAT PART OF LOT 2 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 2 IN SCHOOL DISTRICT 7 RESUBDIVISION, THENCE SOUTH 89 DEGREES 40 MINUTES 54 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOT 2 (ALSO BEING THE NORTH LINE OF FOSTER AVENUE) A DISTANCE OF 105.00 FEET TO A POINT OF BEGINNING; THENCE CONTINUING ALONG THE LAST DERIVED COURSE A DISTANCE OF 178.15 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND WHOSE CHORD BEARS NORTH 43 DEGREES 50 MINUTES 52 SECONDS WEST, AN ARC DISTANCE OF 60.22 FEET TO A POINT; THENCE NORTH 16 DEGREES 52 MINUTES 04 SECONDS WEST ALONG THE WESTERLY LINE OF SAID LOT 2 (ALSO BEING THE EASTERLY LINE OF WOOD DALE ROAD PER DOCUMENT 802-2770) A DISTANCE OF 143.87 FEET TO A POINT; THENCE SOUTH 74 DEGREES 28 MINUTES 01 SECONDS EAST, A DISTANCE OF 222.08 FEET TO THE POINT OF BEGINNING, ALL IN DU PAGE COUNTY, ILLINOIS.

I ALSO CERTIFY THAT THE PROPERTY AS DESCRIBED ON THE ANNEXED PLAT LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF WOOD DALE, ILLINOIS.
I ALSO CERTIFY THAT MONUMENTS HAVE BEEN SET AS REQUIRED.
I FURTHER CERTIFY THAT NO PART OF THE PROPERTY DESCRIBED HEREON IS LOCATED IN A "FLOOD HAZARD" AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP, COMMUNITY PANEL NUMBER 170224 D001 C DATED JULY 30, 1982.
GIVEN UNDER MY HAND AND SEAL AT CARY, ILLINOIS, THIS 22 DAY OF April 2012
William M. Tenbusch
ILLINOIS PROFESSIONAL LAND SURVEYOR #22767

RECORDING DESIGNATION
I, WILLIAM M. TENBUSCH, PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, HEREBY DESIGNATE PLAT TO RECORD THIS SUBDIVISION PLAT WITH THE DU PAGE COUNTY RECORDER OF DEEDS, AS A CONDITION OF THIS GRANT. SAID DESIGNATION IS HEREBY REQUIRED TO PROVIDE THIS SURVEYOR A CERTIFIED COPY OF THIS PLAT. RECEIPT OF SAID CERTIFIED COPY WILL SERVE AS NOTICE TO THE SURVEYOR THAT THE PLAT HEREON HEREIN HAS BEEN RECORDED.
William M. Tenbusch
ILLINOIS PROFESSIONAL LAND SURVEYOR #22767

PLAT SUBMITTED FOR RECORDING BY: CITY OF WOOD DALE
FIRM/ENTITY: ACCOUNTS PAYABLE
ADDRESS: 404 N WOODDALE ROAD WOODDALE, IL 60191
Packet Page #102

PREPARED BY: **American Survey Co.**
913 Hickory Nut Grove Ln. Cary, IL 60013 847-516-2700



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

LEGAL DESCRIPTION:

AS DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER CCHI2205686LD, WITH AN EFFECTIVE DATE OF AUGUST 8, 2022.

LOTS 3, 13, 14, 15 AND 16 IN BLOCK 2 IN BRANIGAR'S WOODDALE HIGHLANDS, BEING A SUBDIVISION IN SECTIONS 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 29, 1940, AS DOCUMENT NUMBER 414380, IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 113,305 SQUARE FEET OR 2.6011 ACRES

NOTES CORRESPONDING TO SCHEDULE B PART II

ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY WAS USED IN PREPARATION OF THIS SURVEY.

COMMITMENT NUMBER CCHI2205686LD WITH AN EFFECTIVE DATE AUGUST 8, 2022.
ITEMS 1, 3 - 17, 21 NOT SURVEY RELATED
ITEMS 2 VISIBLE EVIDENCE SHOWN, IF ANY

- 18. BUILDING SETBACK LINE AS SHOWN ON THE PLAT OF SUBDIVISION, AFFECTS THE SOUTHERLY 35 FEET OF LOT 3, AND THE NORTH 35 FEET OF LOTS 13, 14, 15 AND 16. LIES WITHIN THE SURVEYED PROPERTY AS SHOWN ON SURVEY.
- 19. EASEMENTS FOR PUBLIC UTILITIES, AND THE PROVISIONS AND GRANTEES RELATING THERETO, AS SHOWN ON THE BRANIGAR'S WOODDALE HIGHLANDS SUBDIVISION RECORDED AUGUST 29, 1940 IN BOOK 22 OF PLATS PAGE 89 AS DOCUMENT NO. 414380, AFFECTING THE FOLLOWING: THE NORTHERLY 10 FEET OF LOT 3 AND THE SOUTH 10 FEET OF LOTS 13, 14, 15 AND 16. LIES WITHIN THE SURVEYED PROPERTY, AS SHOWN ON SURVEY.
- 20. EASEMENT GRANT MADE BETWEEN HERMAN WEBB & SANDRA WEBB AND LAURA M. CERCEO RECORDED NOVEMBER 13, 2000 AS DOCUMENT NO. R2000-177246, GRANTING AN EASEMENT FOR ACCESS TO THE DRIVEWAY LOCATED ON PARCEL 2, DESCRIBED THEREIN, AND THE TERMS AND PROVISIONS RELATING THERETO. AFFECTS THE WEST 5 FEET OF THE EAST 34.0 FEET OF LOT 14. LIES WITHIN THE SURVEYED PROPERTY, AS SHOWN ON SURVEY.

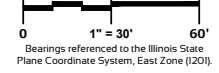


VICINITY MAP

EXHIBIT C
CDC-2024-0004

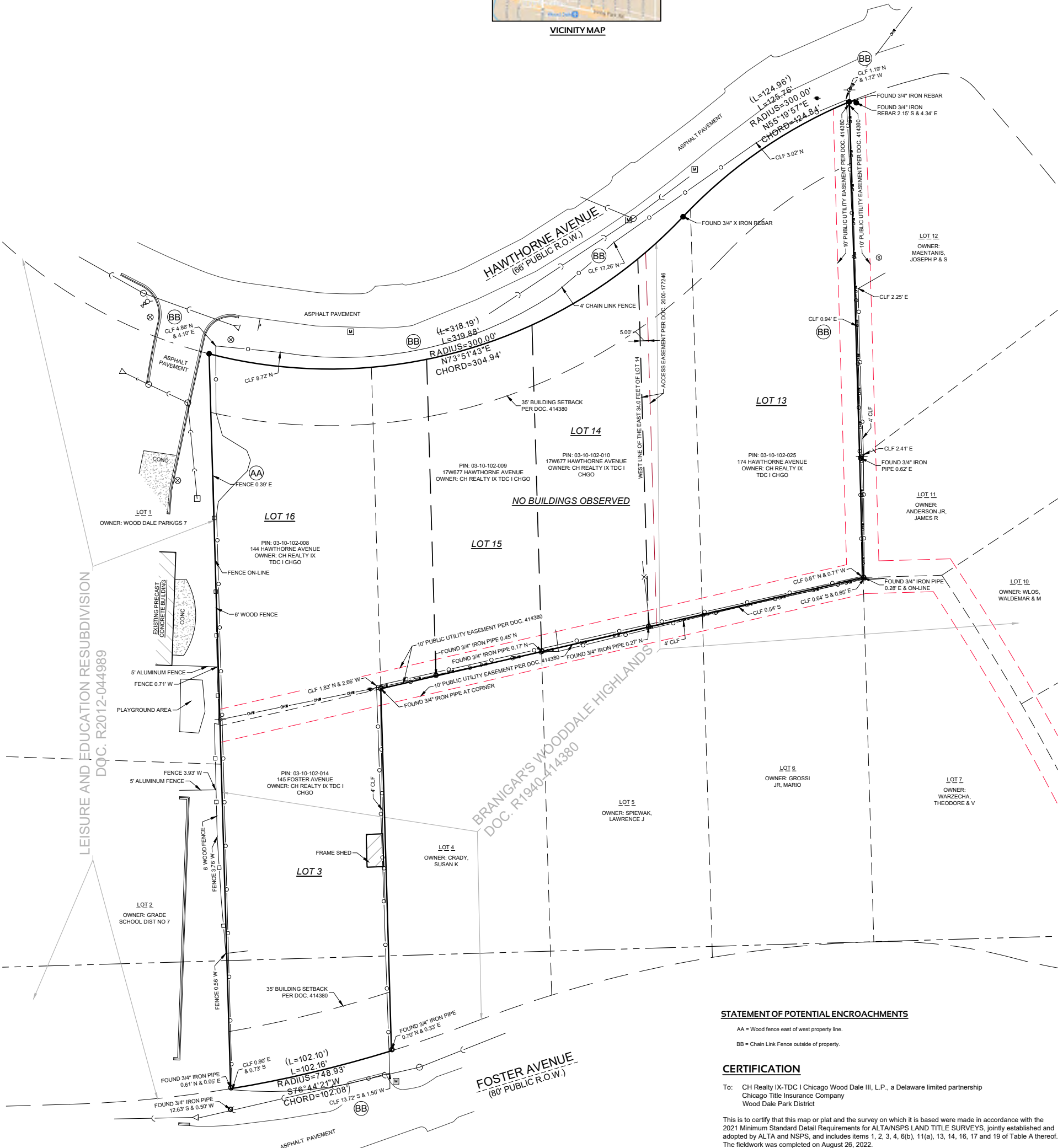


GRAPHICAL SCALE (FEET)



LEGEND OF SYMBOLS & ABBREVIATIONS

- ⊙ SEPTIC LID
- CATCH BASIN
- ▽ FLARED END SECTION
- ⊕ VENT
- ⊗ VALVE VAULT
- ⊘ HYDRANT
- ⊙ WATER VALVE
- ELECTRIC METER
- ⊕ AIR CONDITIONING UNIT
- ⊕ GAS METER
- UTILITY POLE
- ⊕ GUY WIRE
- ⊕ WELL
- SIGN
- MAILBOX
- IRON PIPE
- IRON REBAR/ROD
- CLF = CHAIN-LINK FENCE
- STORM SEWER
- OVERHEAD WIRES



GENERAL NOTES

- 1. FIELD WORK COMPLETED ON AUGUST 26, 2022.
- 2. ALL DIMENSIONS ARE MEASURED DIMENSIONS. RECORD DIMENSIONS ARE SHOWN PARENTHETICALLY. THE BOUNDARIES OF THE PARCELS AS DESCRIBED FORM A MATHEMATICALLY CLOSED FIGURE.
- 3. NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, GAPS, STRIPS, GORES OR ERRORS IN BOUNDARY LINES OR BETWEEN PARCELS EXIST.
- 4. PROPERTY DESCRIBED ON THIS SURVEY IS THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT.
- 5. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THIS SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 6. ACCESS TO SUBJECT PROPERTY DIRECT VIA NORTH RIGHT OF WAY LINE OF FOSTER AVENUE OR SOUTH RIGHT OF WAY LINE OF HAWTHORNE AVENUE TO SITE.

TABLE A

- 1. Monuments placed at all corners of the surveyed property boundary.
- 2. Address: Wood Dale, IL 60191 (See plat for individual addresses).
- 3. Flood Zone Classification: Property lies within Zone "X" of the Flood Insurance Rate Map Number 17043C0076J with a revised date of AUGUST 1, 2019. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- 4. Gross Land Area: 113,305 Square Feet (2.6011 Acres).
- 6(b). Letter / Zoning Report not supplied by client at time of survey.
- 11. Evidence of underground utilities existing or serving the property as determined by:
a) No plans and/or reports provided by the client.
- 13. Names of adjoining owners according to current public records: Shown on Survey.
- 14. Distance to the nearest intersecting street: Shown on Survey.
- 16. No evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.
- 17. No proposed changes in street right of way lines made available. No evidence of street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- 19. Certificate of Professional Liability Insurance furnished upon request and in effect throughout the contract term.

STATEMENT OF POTENTIAL ENCROACHMENTS

AA = Wood fence east of west property line.
BB = Chain Link Fence outside of property.

CERTIFICATION

To: CH Realty IX-TDC I Chicago Wood Dale III, L.P., a Delaware limited partnership
Chicago Title Insurance Company
Wood Dale Park District

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS LAND TITLE SURVEYS, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(b), 11(a), 13, 14, 16, 17 and 19 of Table A thereof. The fieldwork was completed on August 26, 2022.

Paul A. Kubicek
Paul A. Kubicek, PLS
License No. 035-003296
EXPIRES 11/30/2022
PINNACLE ENGINEERING GROUP, LLC #184006289-0010
EXPIRES 04/30/2023



Date of Plat or Map: AUGUST 30, 2022

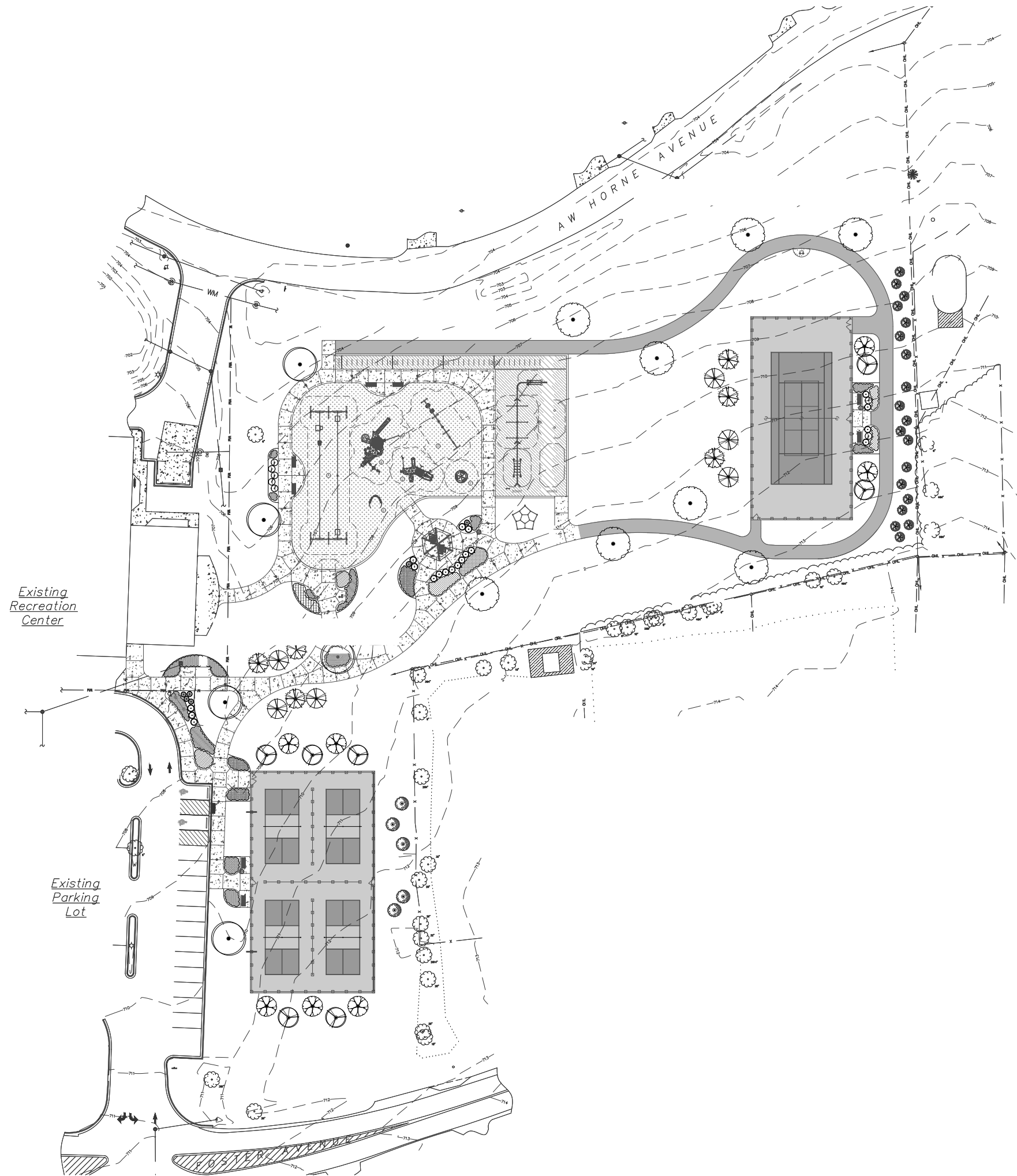
**PARK SWAP PROPERTY
WOODDALE, ILLINOIS**

PINNACLE ENGINEERING GROUP
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PLAN | DESIGN | DELIVER
www.pinnacle-engr.com
ILLINOIS OFFICE:
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EAST DUNDEE, IL 60118
(847) 551-5300
CHICAGO | MILWAUKEE | NATIONWIDE

**ALTA/NSPS LAND TITLE
SURVEY**

REVISIONS
SHEET 1 of 1
Pack # 103
Scale: 1" = 30'

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PLANTING NOTES

1. Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all seeded/sodded areas.
3. Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
4. Bedlines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. FOR LUMP SUM CONTRACTS. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
7. FOR UNIT PRICE CONTRACTS. Payments will be made based on actual quantities installed as measured in place by the Owners Representative.
8. Refer to specifications for additional conditions, standards and notes.

**EXHIBIT D
CDC-2024-0004**



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PREPARED FOR
Wood Dale Park District

111 East Foster Avenue
Wood Dale, Illinois 60191

PROJECT
Recreation Park

111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS
Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
T 773.693.9200

Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
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| | | |
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CHECKED BY: DNF DRAWN BY: MBG

SHEET TITLE
Planting Plan - Overall

SCALE IN FEET
1" = 30'



NORTH SHEET NUMBER

L4.0



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Recreation Park

111 E. Foster Avenue, Wood Dale, Illinois
60191

Wood Dale Park District
111 E. Foster Avenue, Wood Dale, Illinois 60191

Construction Documents

March 25, 2024

Project Team

Landscape Architect
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Civil Engineer
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26575 W. Commerce Drive, Suite 601
Volo, Illinois 60073
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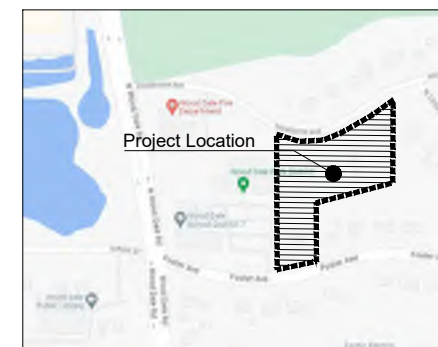
General Notes

1. Basemap information obtained from plans prepared by WT Group received September 7, 2023.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Refer to specifications for additional conditions, standards and notes.
5. The plans and specifications are intended to be completed entirely by the contractor. Unless clearly identified as "By Owner," all work contained within is the responsibility of the general contractor.

Sheet Index

- L-Series**
- L1.0 Existing Conditions Plan
 - L2.0 Site Preparation and Removals Plan
 - L3.0 Layout and Materials Plan - Overall
 - L3.1 Layout and Materials Plan - Core Area Enlargement
 - L3.2 Layout and Materials Plan - East Enlargement
 - L3.3 Layout and Materials Plan - South Enlargement
 - L4.0 Planting Plan - Overall
 - L4.1 Planting Plan - Core Area Enlargement
 - L4.2 Planting Plan - East Enlargement
 - L4.3 Planting Plan - South Enlargement
 - L5.0 Details
 - L5.1 Details
 - L5.2 Details
 - L5.3 Details
 - L5.4 Details
 - L5.5 Details
 - L5.6 Details
- C-Series**
- C1.0 Soil Erosion and Sediment Control Plan
 - C2.0 Grading and Drainage Plan - Overall
 - C2.1 Grading and Drainage Plan - Core Area Enlargement
 - C2.2 Grading and Drainage Plan - East Enlargement
 - C2.3 Grading and Drainage Plan - South Enlargement
 - C3.0 Details

Project Location Map



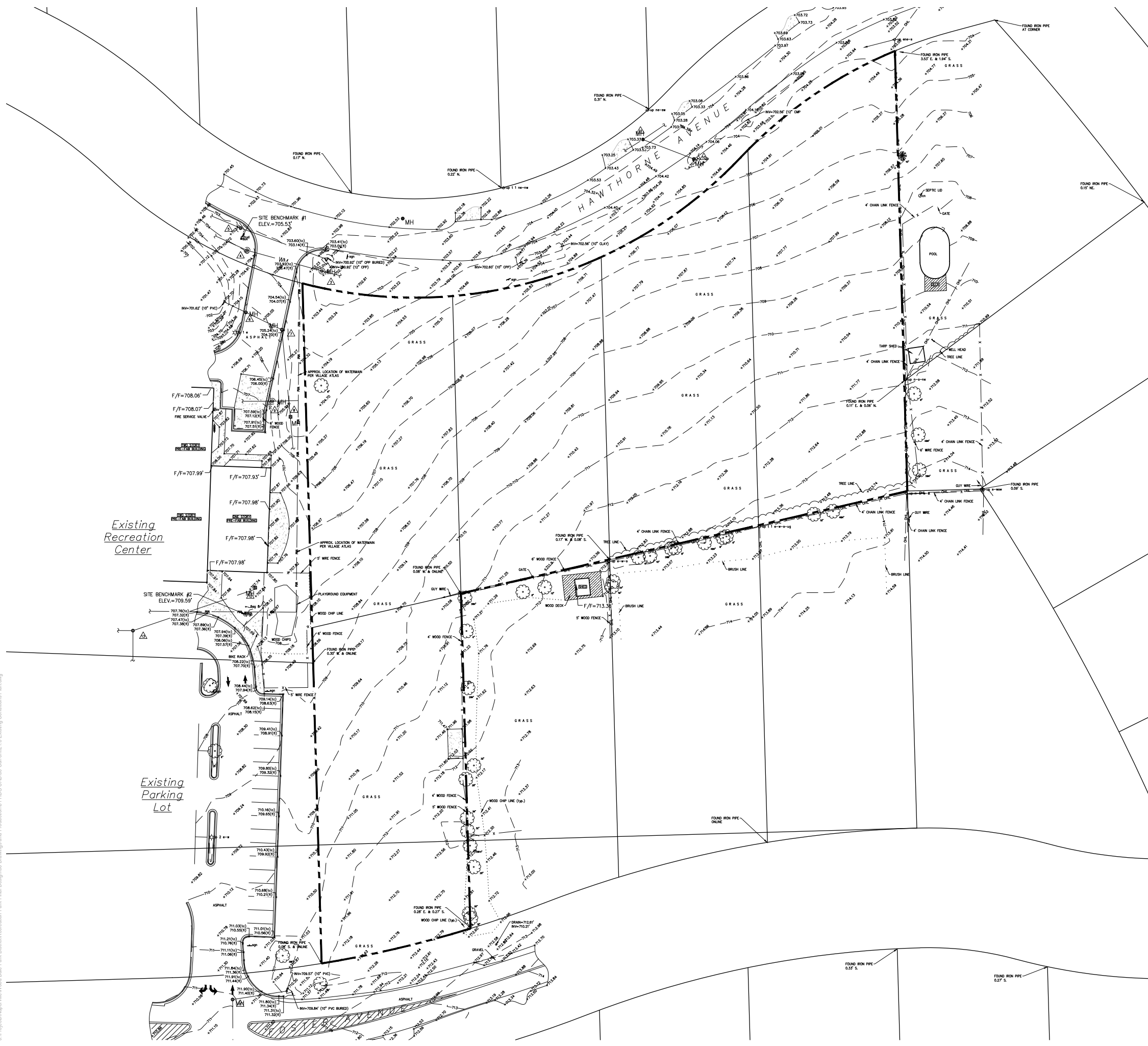
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| LEGEND | |
|--------|---|
| | PROPERTY LINE |
| | CENTER LINE |
| | EASEMENT LINE |
| | BUILDING SETBACK |
| | SECTION LINE |
| | RECORD DATA |
| | TOP OF CURB, WALL, ETC. |
| | SPOT GRADE |
| | BOTTOM OF GROUND, GUTTER, ETC. |
| | CONCRETE |
| | EVERGREEN/DECIDUOUS WITH SIZE IN INCHES |
| | SHRUB/SHRUB LINE / TREE LINE |
| | MONITOR WELL |
| | GAS VALVE |
| | TYPICAL SIGN |
| | CLOSED MANHOLE |
| | OPEN GRATE MANHOLE |
| | BEEHIVE GRATE MANHOLE |
| | TELEPHONE MANHOLE |
| | GUTTER FRAME MANHOLE |
| | VALVE VAULT |
| | FIRE HYDRANT |
| | B-BOX / SERVICE VALVE |
| | POST LIGHT/GROUND LIGHT |
| | AREA LIGHT/LIGHT POLE |
| | STREET LIGHT |
| | TRAFFIC SIGNAL |
| | MAST ARM SIGNAL |
| | HANDHOLE (electric, traffic) |
| | GAS METER |
| | ELECTRIC METER |
| | PEDESTAL (tel, elec, cable) |
| | UTILITY MARKINGS (cable, elec, fiber) |
| | (tel, water, gas) |
| | UTILITY POLE |
| | MAILBOX |
| | HANDRAIL |
| | SOIL BORING |
| | GUARDRAIL |
| | GUY WIRE ANCHOR |
| | CONTOUR LINE |
| | EDGE GRAVEL/STONE |
| | FENCE LINE |
| | FLARED END SECTION |
| | STORM SEWER |
| | SANITARY SEWER |
| | COMBO SEWER |
| | WATER SERVICE LINE |
| | WATER MAIN |
| | OVERHEAD LINE |
| | FIBER OPTIC LINE |
| | GAS LINE |
| | U.G. TELCO LINE |
| | U.G. ELECTRIC LINE |



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PROJECT
Recreation Park

111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS
Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
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Construction Documents
March 25, 2024

| REVISIONS | | |
|-----------|------|-------|
| No | Date | Issue |
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CHECKED BY: DNF DRAWN BY: MBG

SHEET TITLE
Existing Conditions Plan

SCALE IN FEET
1" = 30'

0' 15' 30' 90'

NORTH SHEET NUMBER

Package #106 **L1.0**

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J:\Projects\Naperville\Wood Dale Park District\Recreation Park Final Design\8 Drawings and Production\01 HDS CAD\00 Current\10 Existing Conditions Plan.dwg



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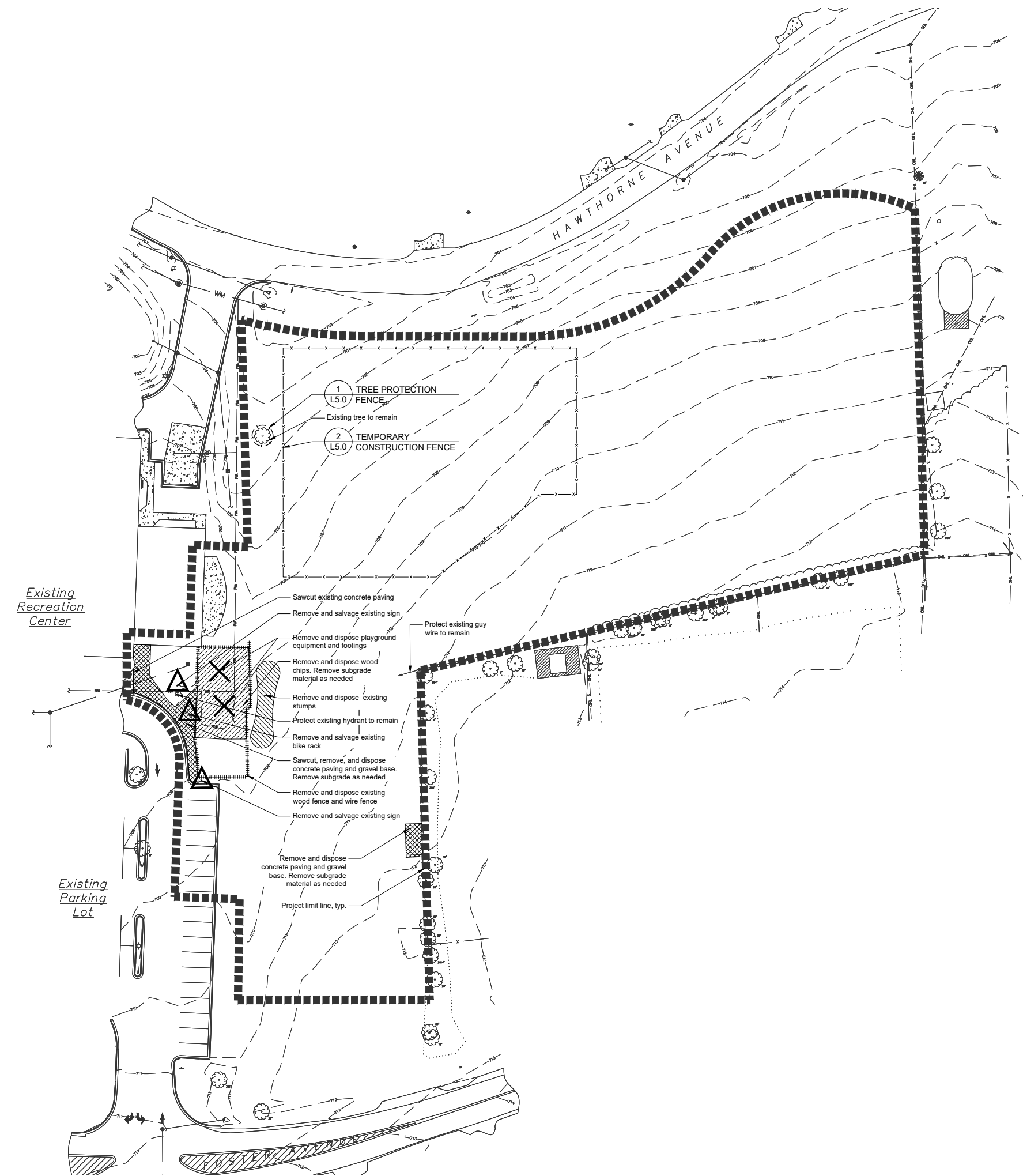
CONSULTANTS
Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
T 773.693.9200

SITE PREPARATION AND REMOVALS NOTES

- Contractor shall install construction fence at the limits of construction prior to beginning work. Maintain and adjust construction fencing as needed during progress of construction. Staging and construction access shall be approved by Owner.
- Contractor shall install tree protection fencing as shown on the plans prior to beginning work. Maintain and adjust tree protection fencing as needed during progress of construction. Storage of materials, vehicular access, and all other construction activities are strictly prohibited within the limits of the tree protection fencing.
- Plans indicate general location and limits of removals. Contractor shall perform removals only as necessary for construction of proposed improvements. No additional payments will be made for removals or restoration not required to construct the improvements as drawn and specified. Refer to Layout Plan for more specific information regarding proposed improvements and verify conditions in the field prior to performing removals.
- Sawcut and remove concrete paving to nearest joint where indicated. All saw cuts required for removal items to be included in the unit cost of that particular pay item.
- Remove and dispose of turf where planting beds are designated. Refer to Planting Plan for limits of proposed landscape improvements.
- Where turf or plantings are proposed in existing paved areas, remove all base material.
- Remove all utilities designated for removal to extent required for improvements, unless otherwise noted. Cap ends of any remaining underground conduit and piping, and pull all electrical wire out at source.
- Items indicated for Removal shall include complete removal of above grade item and below grade appurtenances (foundations, urban fill, wiring, piping, etc.) including disposal off-site following applicable codes and ordinances, unless otherwise shown on the plans.
- Items indicated as Remove and Salvage shall include careful protection, removal, and storage of items. For reinstall items, Contractor shall store during construction. All other Salvage items shall be delivered to location as indicated by owner unless otherwise shown on the plans.
- Contractor to protect all existing utilities and all other site features not designated for removal. Contractor is responsible for replacing/repairing any existing utilities or other site features damaged during construction to the original condition at no cost to the Owner.
- Contractor responsible for maintaining existing utility services (electrical, sanitary, storm) during construction unless otherwise indicated in the Contract Documents.
- Contractor shall coordinate all work so public sidewalk remains open throughout construction.
- Refer to civil plans for additional utility adjustments and removals.
- Refer to specifications for additional conditions, standards and notes.

SITE PREPARATION AND REMOVALS LEGEND

- Remove and dispose concrete paving and gravel base. Remove subgrade material as needed.
- Remove all playground equipment, footings, wood fiber, asphalt paving, concrete paving and gravel base. Remove subgrade material as needed.
- Tree Protection Fence
- Item to be salvaged
- Item to be removed
- Limit of sawcut
- Silt Fence
- Construction Fence
- Existing Wood or Wire Fence
- Project Limit Line



Construction Documents
March 25, 2024

REVISIONS

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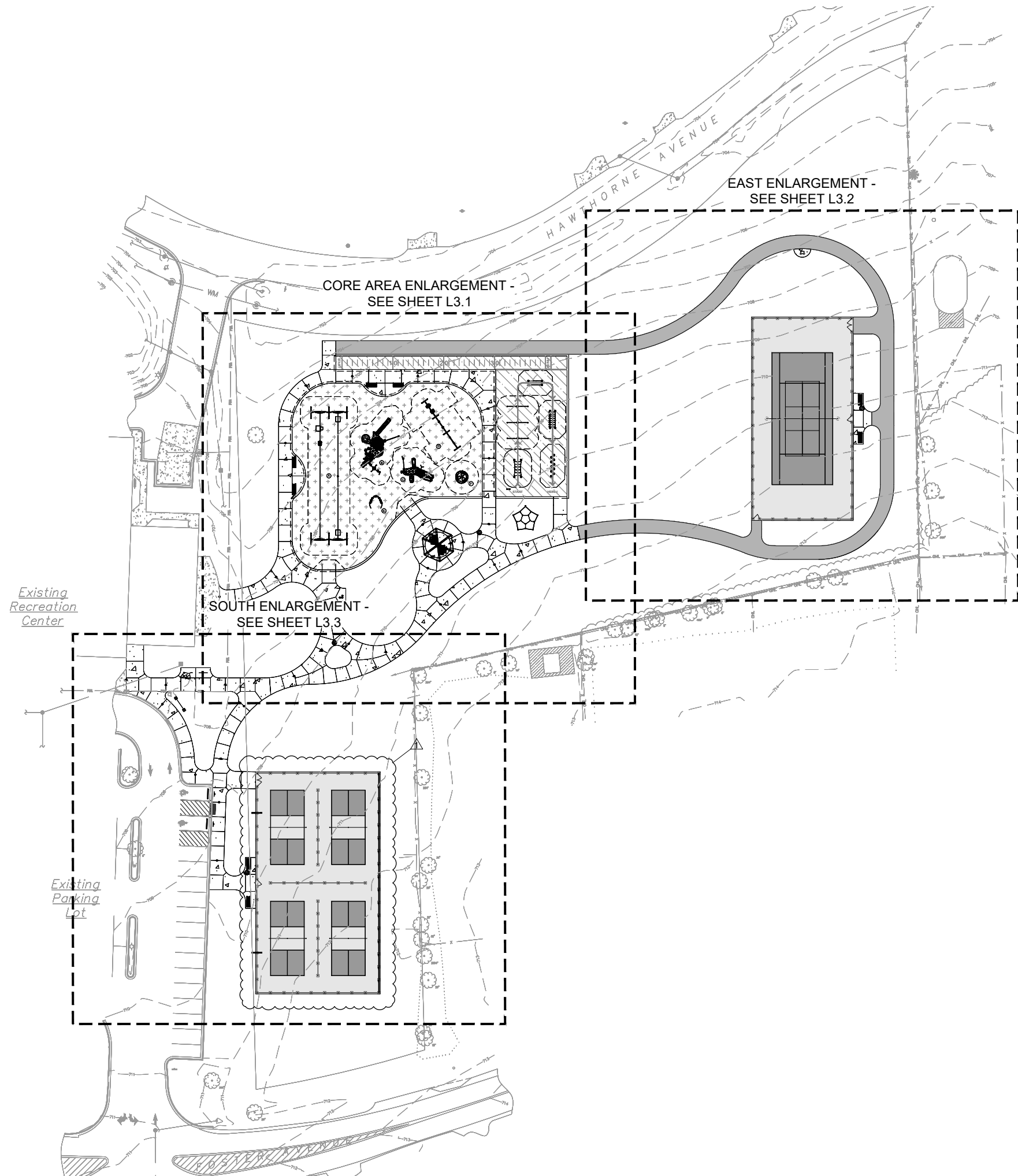
SHEET TITLE
Site Preparation and Removals Plan

SCALE IN FEET
1" = 30'

NORTH SHEET NUMBER

Package #107 **L2.0**
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LAYOUT NOTES

- Contractor responsible for field layout of all new improvements. Digital files of geometric information will be provided upon request in AutoCAD format. No additional payment will be made for adjustments necessary to construct the work as drawn.
- Contractor responsible to coordinate work in order to obtain approval of all layout by Owners Representative prior to construction. No additional payment will be made to correct work if constructed incorrectly without pre-approval by Owners Representative.
- Contractor responsible to maintain all layout stakes during construction. No additional payment will be made to replace layout stakes.
- Place stakes at edges of sport courts, fields, limits of playground, shelter, and every 25 feet on center along centerline of all pathways for review by the Owner's Representative prior to earthwork operations.
- All walls are dimensioned to Face of Wall unless otherwise noted.
- All dimensions from roadway are from Back of Curb unless otherwise noted.
- All curves and radii to be smooth and not segmented.
- Contractor to provide layout stakes every 10 feet minimum for large arcs where radius points are not accessible.
- Adjustment to stake locations due to discrepancies between coordinates and dimensions is incidental to the contract. No additional payments will be made for this work.
- All roadway widths are measured from edge of pavement to edge of pavement unless otherwise shown on the plans.
- Contractor responsible to take delivery, assemble and install all materials and furnishings per manufacturer's instructions.
- Place control and expansion joints as shown on plans and details for all curbs, walks, walls, steps, and concrete paving. Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 30 feet on center, and between all separate pours.
- Contractor will maintain use zone requirements within soft surfacing; no use zone will overlap or be tangent unless noted. Adjust playground barrier curb and/or adjacent paving as needed to accommodate play equipment fall zones.
- Coordinate location of storm line with playground footings and obtain Owner's approval prior to installation.
- Layout of soft surface shall be verified in field by landscape architect.
- Refer to specifications for additional conditions, standards and notes.

LAYOUT LEGEND

- Expansion Joint
- Asphalt Paving - Pedestrian
- Concrete Paving - Pedestrian
- Play Surfacing
- Artificial Turf
- Sport Court - Color A
- Sport Court - Color B



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PREPARED FOR

Wood Dale Park District

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Wood Dale, Illinois 60191

PROJECT

Recreation Park

111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS

Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
T 773.693.9200

Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
|----|------------|---------|
| 1 | 2024/05/14 | Revised |
| | | |
| | | |
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DNF

DRAWN BY
MBG

SHEET TITLE

Layout and Materials Plan - Overall

SCALE IN FEET
1" = 30'



NORTH SHEET NUMBER

L3.0

Package #108

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PREPARED FOR
**Wood Dale Park
District**

111 East Foster Avenue
Wood Dale, Illinois 60191

PROJECT
**Recreation
Park**



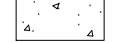
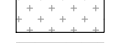
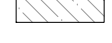
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- Place stakes at edges of sport courts, fields, limits of playground, shelter, and every 25 feet on center along centerline of all pathways for review by the Owner's Representative prior to earthwork operations.
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LAYOUT LEGEND

-  Expansion Joint
-  Asphalt Paving - Pedestrian
-  Concrete Paving - Pedestrian
-  Play Surfacing
-  Artificial Turf

Playground Schedule

- A. Zip Line
- B. 5-12 Year Olds Structure
- C. 2-5 Year Olds Structure
- D. Swings
- E. Inclusive Spinner
- F. Movmnt Inclusive

Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
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| 1 | 2024/05/14 | Revised |
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CHECKED BY
DNF

DRAWN BY
MBG

SHEET TITLE
**Layout and
Materials Plan -
Core Area
Enlargement**

SCALE IN FEET
1" = 10'

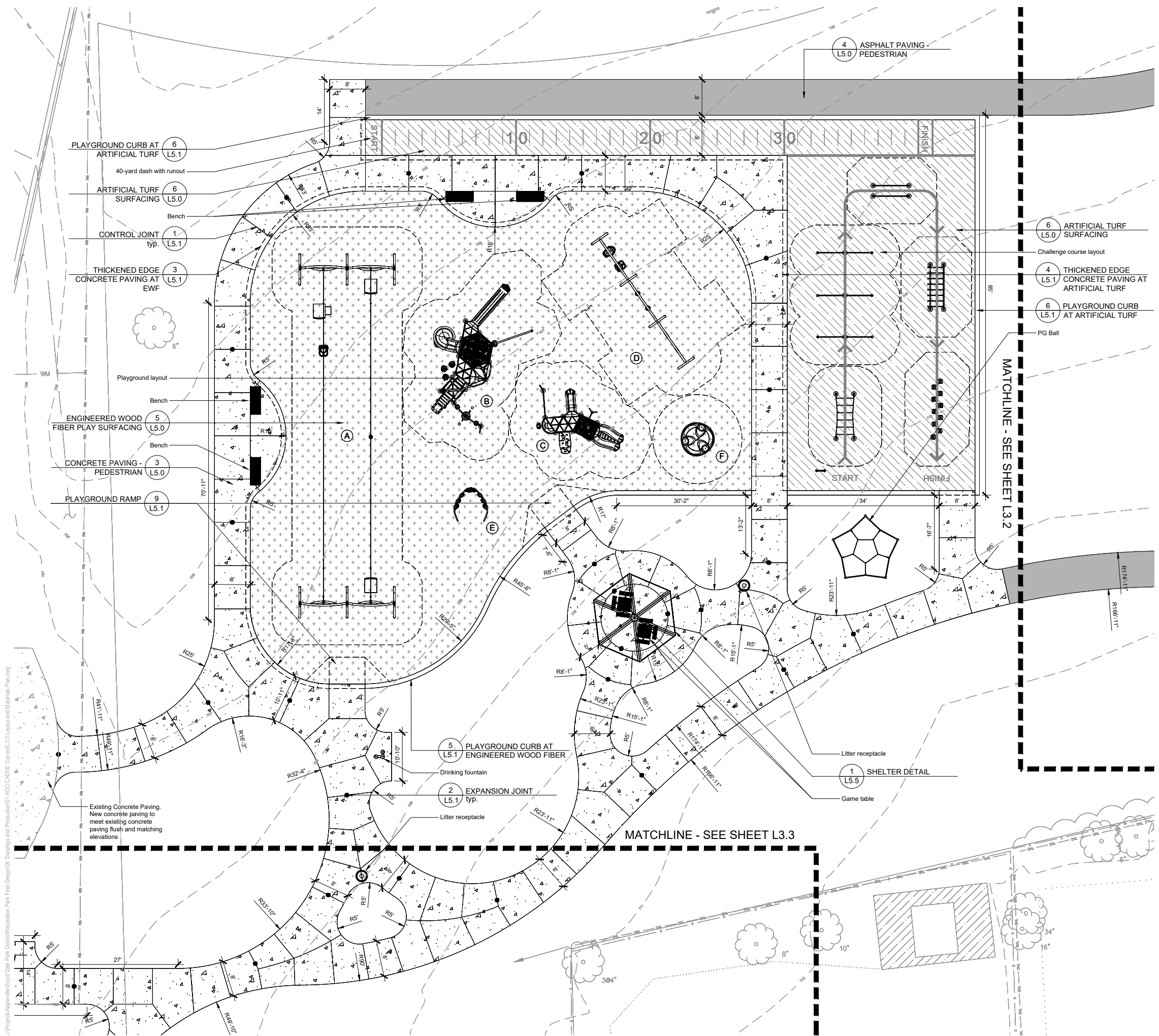
0' 5' 10' 30'

NORTH

SHEET NUMBER

Package #109 **L3.1**

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PREPARED FOR
Wood Dale Park District

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Wood Dale, Illinois 60191

PROJECT
Recreation Park

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Wood Dale, Illinois 60191

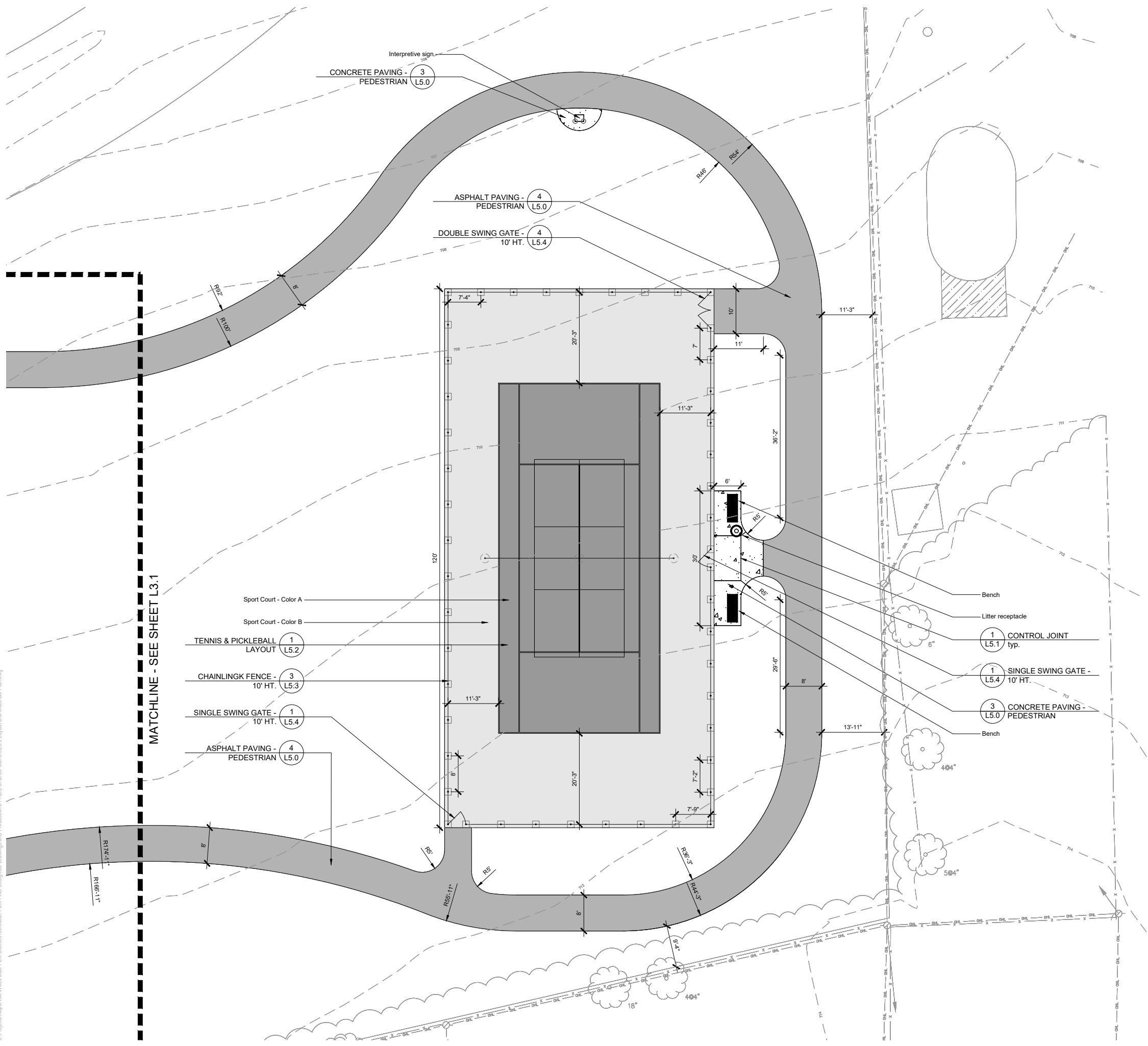
CONSULTANTS
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- Contractor responsible to take delivery, assemble and install all materials and furnishings per manufacturer's instructions.
- Place control and expansion joints as shown on plans and details for all curbs, walks, walls, steps, and concrete paving. Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 30 feet on center, and between all separate pours.
- Contractor will maintain use zone requirements within soft surfacing; no use zone will overlap or be tangent unless noted. Adjust playground barrier curb and/or adjacent paving as needed to accommodate play equipment fall zones.
- Coordinate location of storm line with playground footings and obtain Owner's approval prior to installation.
- Layout of soft surface shall be verified in field by landscape architect.
- Refer to specifications for additional conditions, standards and notes.

LAYOUT LEGEND

- Expansion Joint
- Asphalt Paving - Pedestrian
- Concrete Paving - Pedestrian
- Sport Court - Color A
- Sport Court - Color B



Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
|----|------------|---------|
| 1 | 2024/05/14 | Revised |
| | | |
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| | | |

CHECKED BY: DNF
DRAWN BY: MBG

SHEET TITLE
Layout and Materials Plan - East Enlargement

SCALE IN FEET
1" = 10'

NORTH
SHEET NUMBER

Package #110
L3.2
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J:\Projects\Naperville\Wood Dale Park District\Recreation Park Final Design\08 Drawings and Production\11 HDG CAD\000 Current\L3.0 Layout and Materials Plan.dwg

PREPARED FOR
**Wood Dale Park
District**

111 East Foster Avenue
Wood Dale, Illinois 60191

PROJECT
**Recreation
Park**






111 E. Foster Avenue
Wood Dale, Illinois 60191

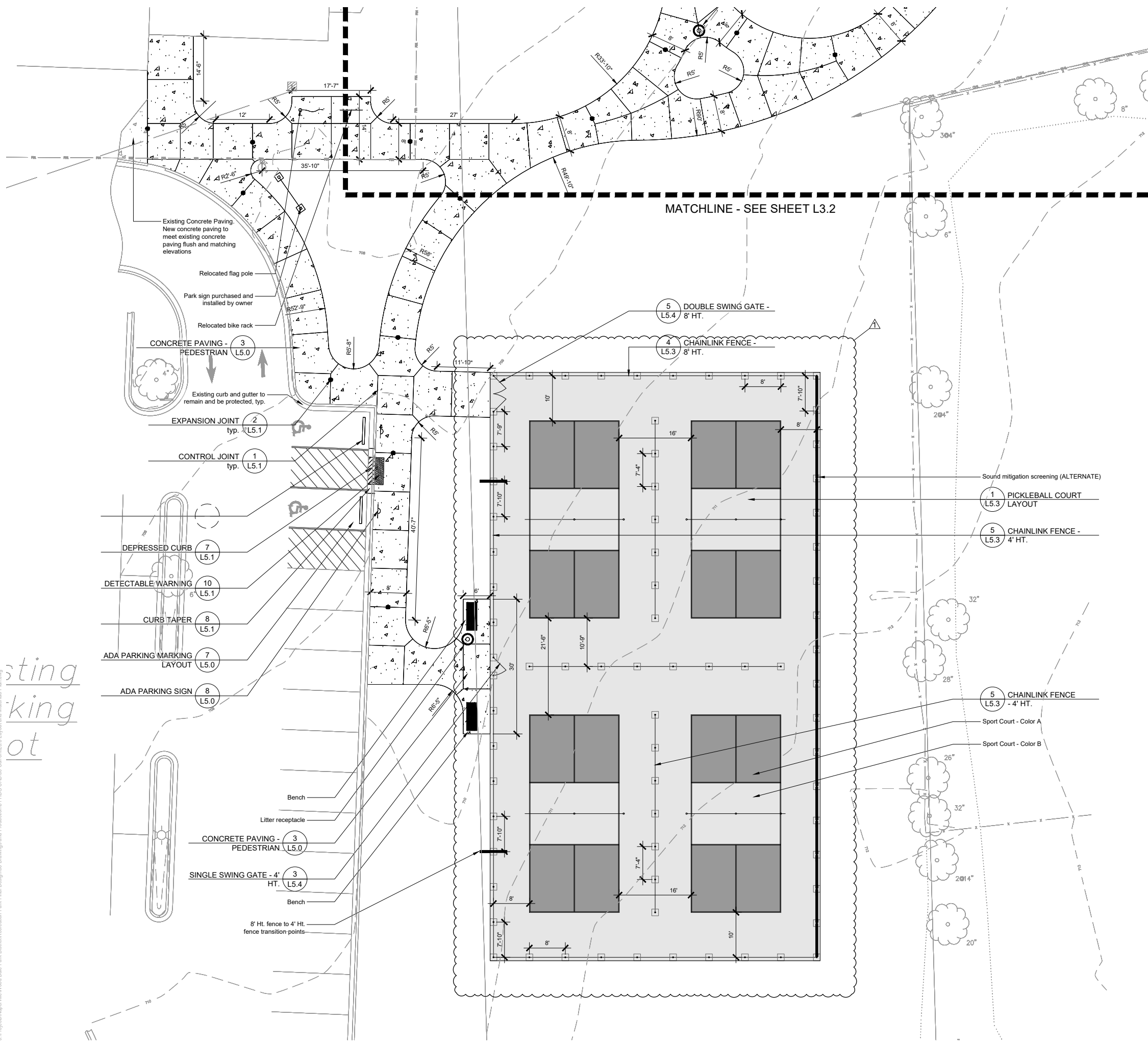
CONSULTANTS
Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
T 773.693.9200

LAYOUT NOTES

- Contractor responsible for field layout of all new improvements. Digital files of geometric information will be provided upon request in AutoCAD format. No additional payment will be made for adjustments necessary to construct the work as drawn.
- Contractor responsible to coordinate work in order to obtain approval of all layout by Owners Representative prior to construction. No additional payment will be made to correct work if constructed incorrectly without pre-approval by Owners Representative.
- Contractor responsible to maintain all layout stakes during construction. No additional payment will be made to replace layout stakes.
- Place stakes at edges of sport courts, fields, limits of playground, shelter, and every 25 feet on center along centerline of all pathways for review by the Owner's Representative prior to earthwork operations.
- All walls are dimensioned to Face of Wall unless otherwise noted.
- All dimensions from roadway are from Back of Curb unless otherwise noted.
- All curves and radii to be smooth and not segmented.
- Contractor to provide layout stakes every 10 feet minimum for large arcs where radius points are not accessible.
- Adjustment to stake locations due to discrepancies between coordinates and dimensions is incidental to the contract. No additional payments will be made for this work.
- All roadway widths are measured from edge of pavement to edge of pavement unless otherwise shown on the plans.
- Contractor responsible to take delivery, assemble and install all materials and furnishings per manufacturer's instructions.
- Place control and expansion joints as shown on plans and details for all curbs, walls, steps, and concrete paving. Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 30 feet on center, and between all separate pours.
- Contractor will maintain use zone requirements within soft surfacing; no use zone will overlap or be tangent unless noted. Adjust playground barrier curb and/or adjacent paving as needed to accommodate play equipment fall zones.
- Coordinate location of storm line with playground footings and obtain Owner's approval prior to installation.
- Layout of soft surface shall be verified in field by landscape architect.
- Refer to specifications for additional conditions, standards and notes.

LAYOUT LEGEND

-  Expansion Joint
-  Asphalt Paving - Pedestrian
-  Concrete Paving - Pedestrian
-  Sport Court - Color A
-  Sport Court - Color B



Testing
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ot

Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
|----|------------|---------|
| 1 | 2024/05/14 | Revised |
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CHECKED BY: DNF
DRAWN BY: MBG

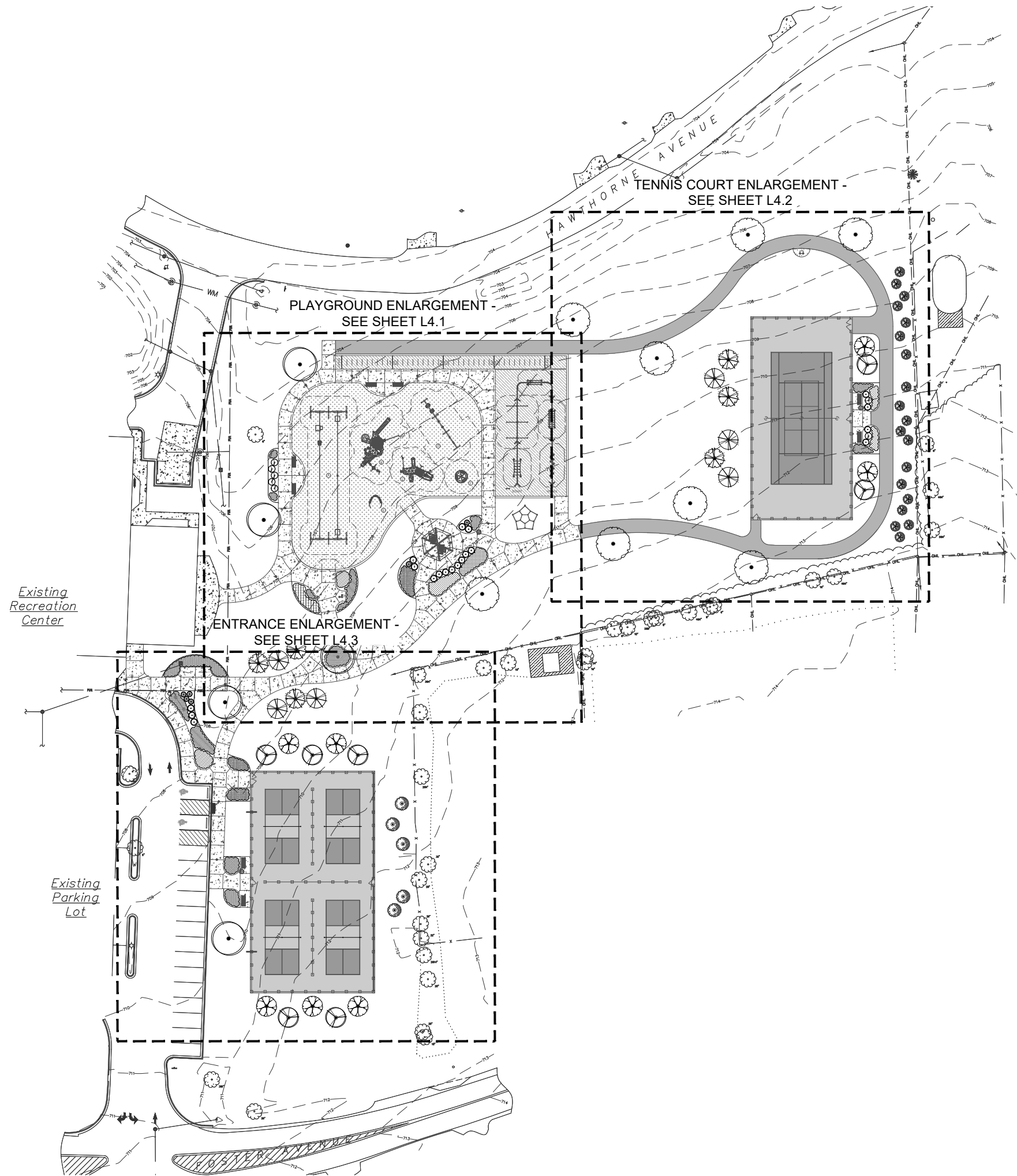
SHEET TITLE
**Layout and
Materials Plan -
South Enlargement**

SCALE IN FEET
1" = 10'



NORTH
SHEET NUMBER

Package #111
L3.3
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PLANTING NOTES

1. Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
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3. Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
4. Bedlines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. FOR LUMP SUM CONTRACTS. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
7. FOR UNIT PRICE CONTRACTS. Payments will be made based on actual quantities installed as measured in place by the Owners Representative.
8. Refer to specifications for additional conditions, standards and notes.



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PREPARED FOR
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PROJECT
Recreation Park

111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS
Civil Engineer
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Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
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CHECKED BY: DNF DRAWN BY: MBG

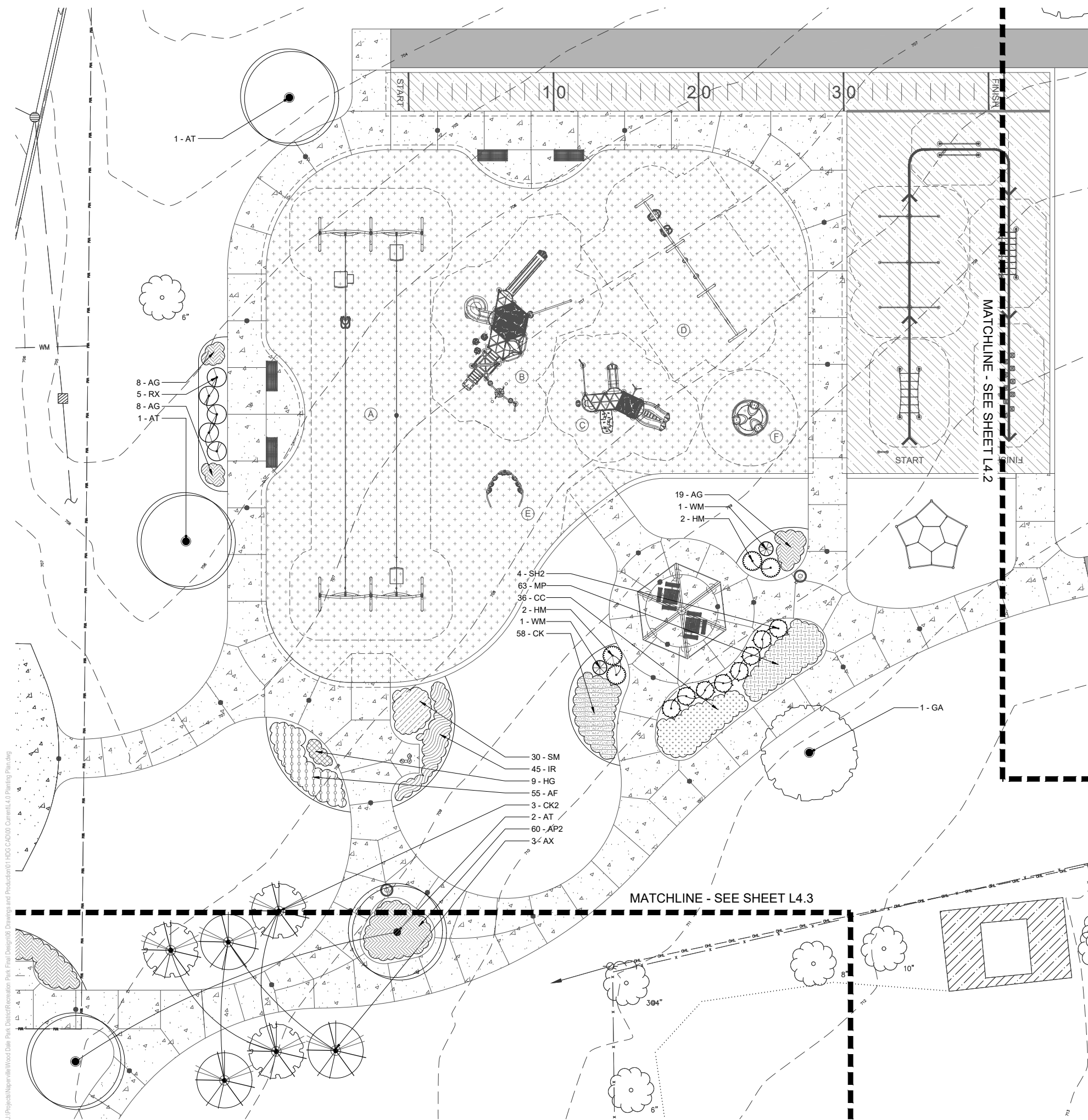
SHEET TITLE
Planting Plan - Overall

SCALE IN FEET
1" = 30'



NORTH SHEET NUMBER





PLANTING NOTES

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PLANT SCHEDULE

| SYMBOL | CODE | COMMON / BOTANICAL NAME | SIZE | SPACING | QTY |
|----------------------|------|--|-----------|----------|-----|
| TREES | | | | | |
| | AX | Apple Serviceberry Amelanchier x grandiflora | 2.5" Cal. | | 6 |
| | AT | Autumn Blaze Freeman Maple Acer x freemanii 'Autumn Blaze' | 2.5" Cal. | | 5 |
| | GA | Autumn Gold Maidenhair Tree Ginkgo biloba 'Autumn Gold' | 2.5" Cal. | | 8 |
| | PB | Black Hills Spruce Picea glauca densata | 2.5" Cal. | | 5 |
| | TS | Emerald Green Arborvitae Thuja occidentalis 'Smaragd' | 2.5" Cal. | | 19 |
| | CF | Forest Pansy Eastern Redbud Cercis canadensis 'Forest Pansy' | 2.5" Cal. | | 7 |
| | TG | Greenspire Littleleaf Linden Tilia cordata 'Greenspire' | 2.5" Cal. | | 7 |
| | CK2 | Kousa Dogwood Cornus kousa | 2.5" Cal. | | 6 |
| SHRUBS | | | | | |
| | RX | Mandarin Lights Northern Lights Azalea Rhododendron x 'Mandarin Lights' | 3 Gal. | | 7 |
| | WM | Minuet Weigela Weigela florida 'Minuet' | 3 Gal. | | 6 |
| | HM | Munchkin Oakleaf Hydrangea Hydrangea quercifolia 'Munchkin' | 3 Gal. | | 7 |
| | SH2 | Prairie Dropseed Sporobolus heterolepis | 3 Gal. | | 12 |
| SYMBOL | CODE | COMMON / BOTANICAL NAME | SIZE | SPACING | QTY |
| GROUND COVERS | | | | | |
| | AG | Big Bluestem Andropogon gerardii | 1 Gal. | 18" o.c. | 213 |
| | AF | Blue Fortune Anise Hyssop Agastache x 'Blue Fortune' | 1 Gal. | 18" o.c. | 55 |
| | CC | Creme Brulee Tickseed Coreopsis verticillata 'Creme Brulee' | 1 Gal. | 24" o.c. | 66 |
| | HG | Going Bananas Daylily Hemerocallis x 'Going Bananas' | 1 Gal. | 18" o.c. | 44 |
| | IR | Japanese Blood Grass Imperata cylindrica 'Rubra' | 1 Gal. | 18" o.c. | 102 |
| | CK | Karl Foerster Feather Reed Grass Calamagrostis x acutiflora 'Karl Foerster' | 1 Gal. | 18" o.c. | 128 |
| | SM | May Night Meadow Sage Salvia nemorosa 'May Night' | 1 Gal. | 18" o.c. | 72 |
| | MP | Pardon My Purple Bee Balm Monarda didyma 'Pardon My Purple' | 1 Gal. | 18" o.c. | 63 |
| | AP2 | Purple Dome New England Aster Aster novae-angliae 'Purple Dome' | 1 Gal. | 18" o.c. | 101 |



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PREPARED FOR
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Wood Dale, Illinois 60191

PROJECT
Recreation Park
111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS
Civil Engineer
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Chicago, Illinois 60631
T 773.693.9200

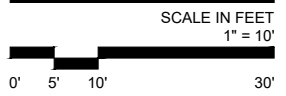
Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
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CHECKED BY: DNF DRAWN BY: MBG

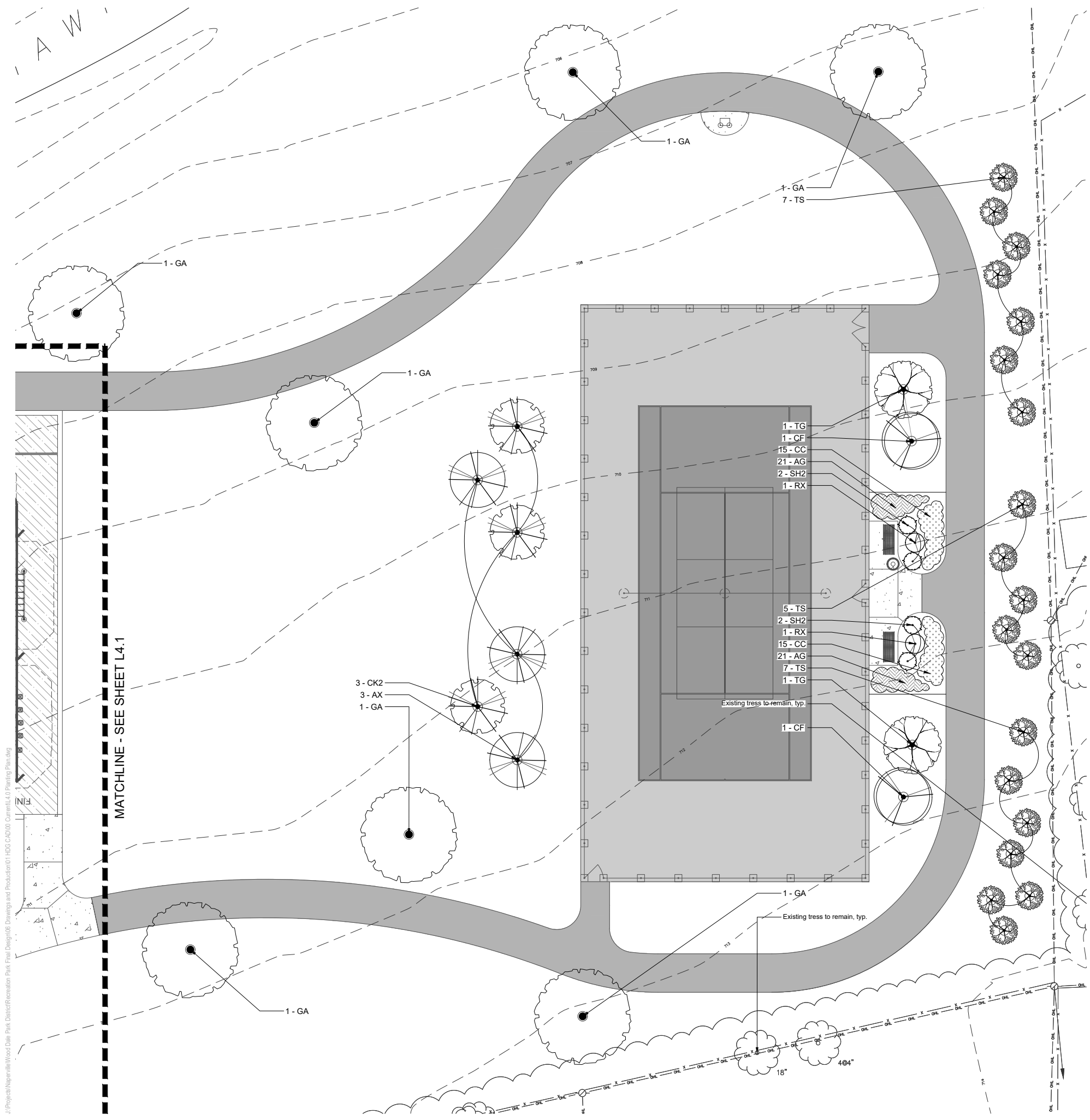
SHEET TITLE
Planting Plan - Core Area Enlargement



NORTH SHEET NUMBER

Package #113 **L4.1**
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J:\Projects\Naperville\Wood Dale Park District\Recreation Park Final Design\Drawings and Production\11 HDG CAD\100 Current\L4.1 Planting Plan.dwg



PLANTING NOTES

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| | GA | Autumn Gold Maidenhair Tree Ginkgo biloba 'Autumn Gold' | 2.5" Cal. | | 8 |
| | PB | Black Hills Spruce Picea glauca densata | 2.5" Cal. | | 5 |
| | TS | Emerald Green Arborvitae Thuja occidentalis 'Smaragd' | 2.5" Cal. | | 19 |
| | CF | Forest Pansy Eastern Redbud Cercis canadensis 'Forest Pansy' | 2.5" Cal. | | 7 |
| | TG | Greenspire Littleleaf Linden Tilia cordata 'Greenspire' | 2.5" Cal. | | 7 |
| | CK2 | Kousa Dogwood Cornus kousa | 2.5" Cal. | | 6 |
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| | SH2 | Prairie Dropseed Sporobolus heterolepis | 3 Gal. | | 12 |
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PREPARED FOR
Wood Dale Park District
111 East Foster Avenue
Wood Dale, Illinois 60191

PROJECT
Recreation Park
111 E. Foster Avenue
Wood Dale, Illinois 60191

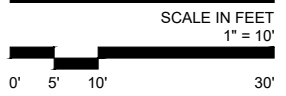
CONSULTANTS
Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
T 773.693.9200

Construction Documents
March 25, 2024

| REVISIONS | | |
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| No | Date | Issue |
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CHECKED BY: DNF DRAWN BY: MBG

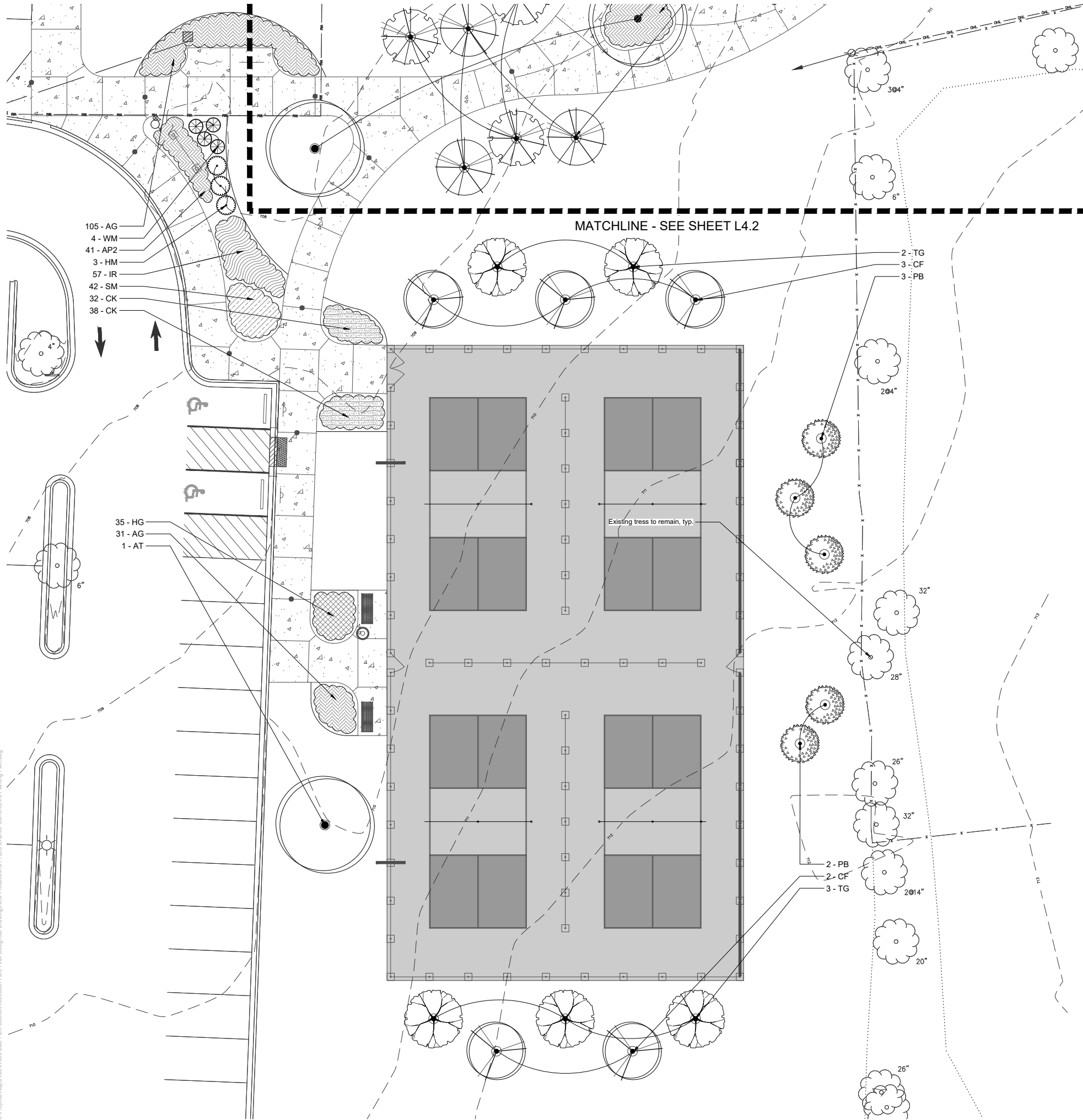
SHEET TITLE
Planting Plan - East Enlargement



NORTH SHEET NUMBER

Package Page #114 **L4.2**

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| | SH2 | Prairie Dropseed Sporobolus heterolepis | 3 Gal. | | 12 |
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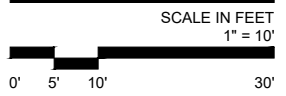
Construction Documents
March 25, 2024

REVISIONS

| No | Date | Issue |
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CHECKED BY: DNF DRAWN BY: MBG

SHEET TITLE
Planting Plan - South Enlargement

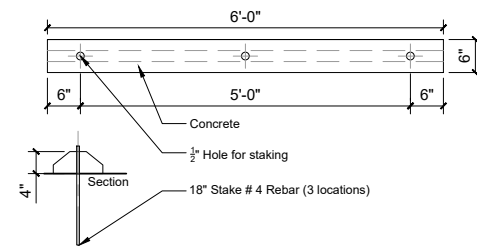


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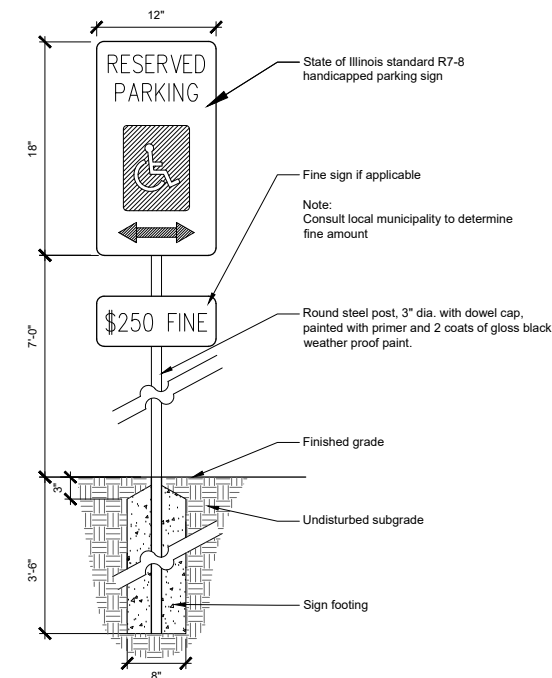
Package #115 **L4.3**
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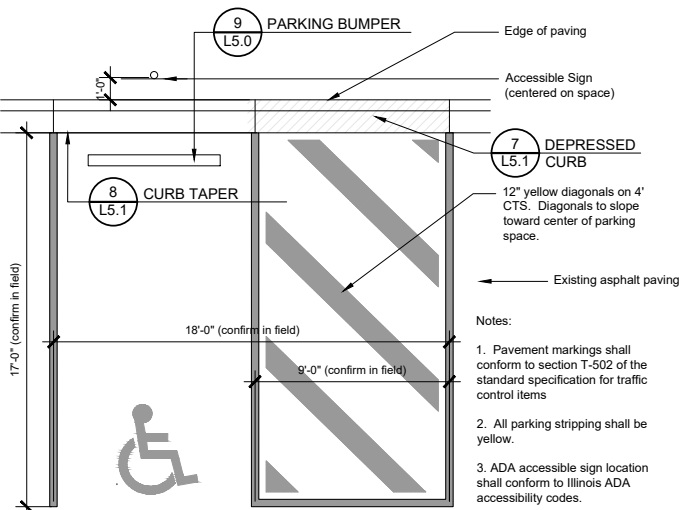
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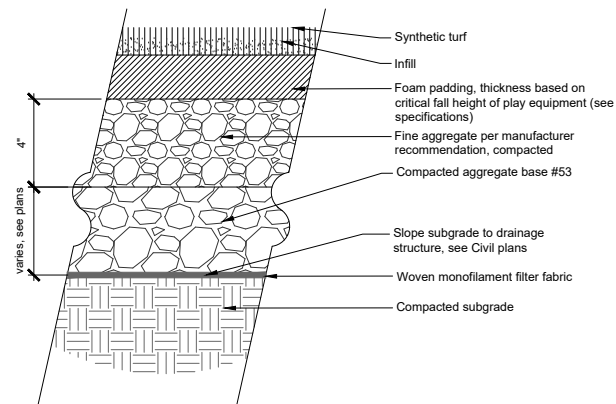
9 PARKING BUMPER
3/4" = 1'-0"



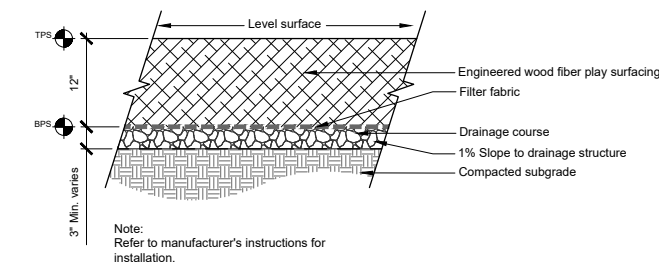
8 ADA PARKING SIGN
1" = 1'-0"



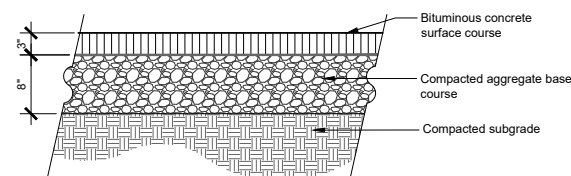
7 ADA PARKING MARKING LAYOUT
1/4" = 1'-0"



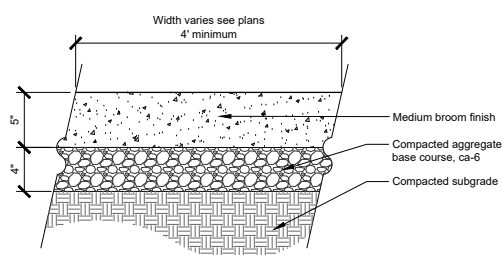
6 ARTIFICIAL TURF SURFACING
3" = 1'-0"



5 ENGINEERED WOOD FIBER PLAY SURFACING
1" = 1'-0"

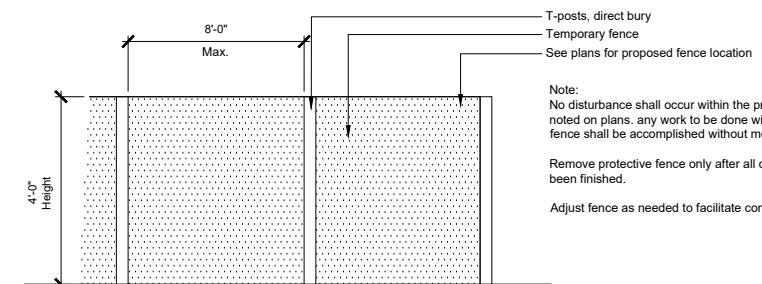


4 ASPHALT PAVING - PEDESTRIAN
1" = 1'-0"

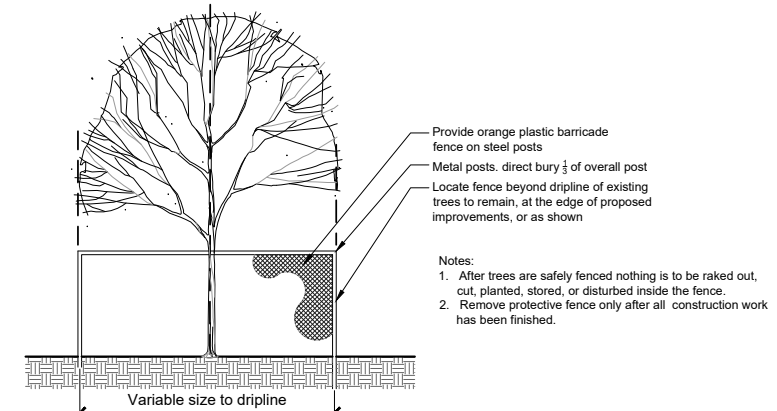
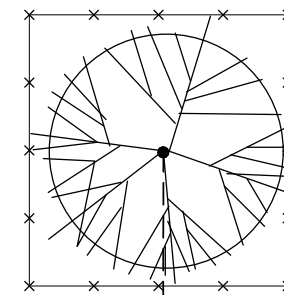


3 CONCRETE PAVING - PEDESTRIAN
1 1/2" = 1'-0"

P-NN-WDPD-RECR-03



2 TEMPORARY CONSTRUCTION FENCE
1/4" = 1'-0"



1 TREE PROTECTION FENCE
1/2" = 1'-0"

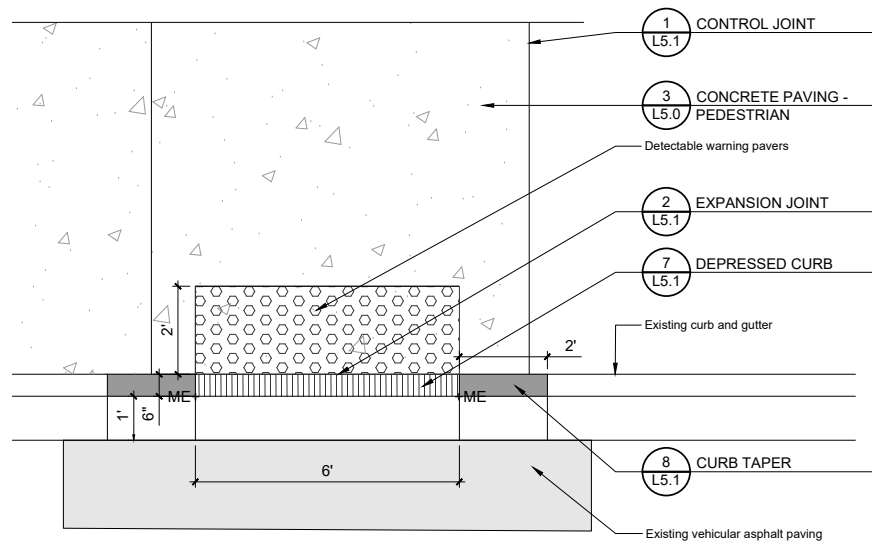
PREPARED FOR
**Wood Dale Park
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Wood Dale, Illinois 60191

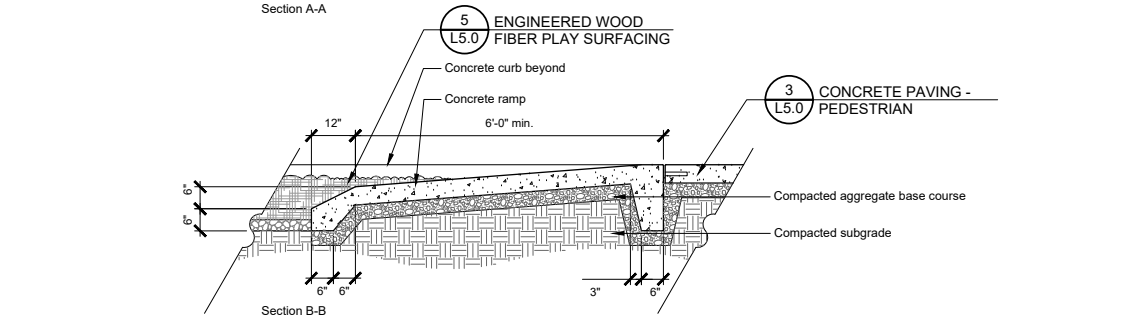
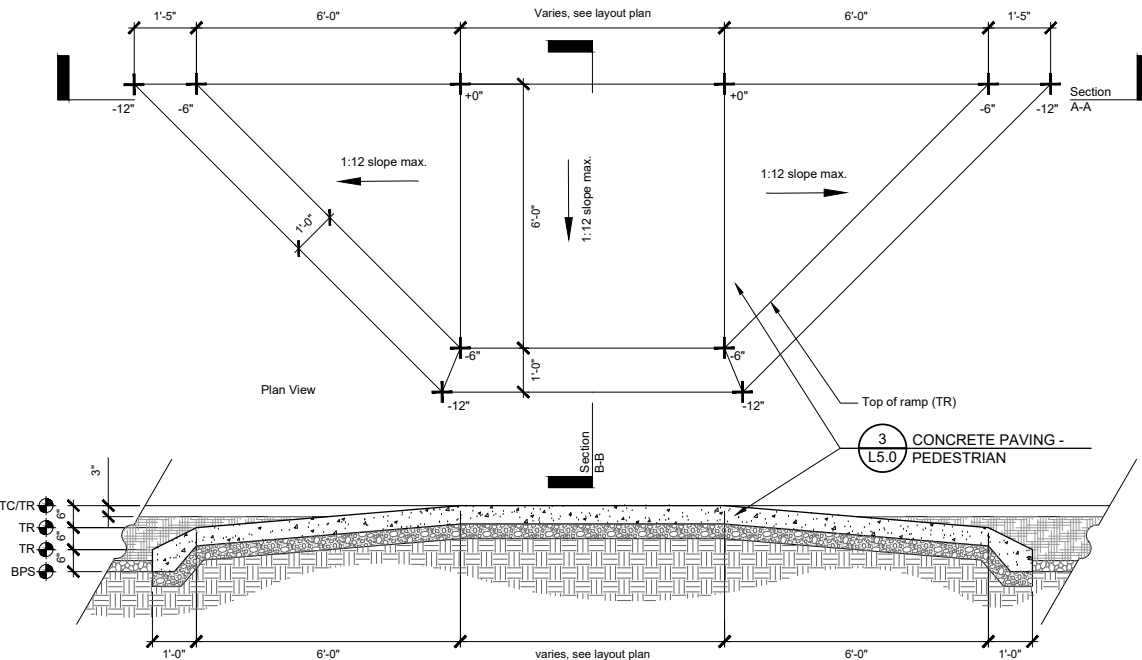
PROJECT
**Recreation
Park**

111 E. Foster Avenue
Wood Dale, Illinois 60191

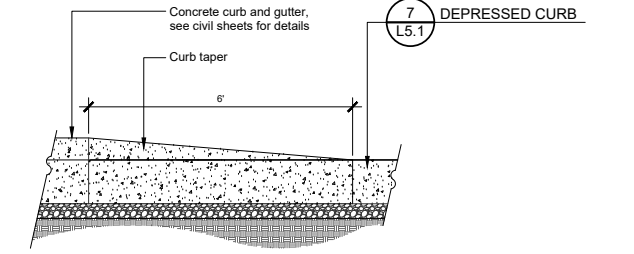
CONSULTANTS
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Chicago, Illinois 60631
T 773.693.9200



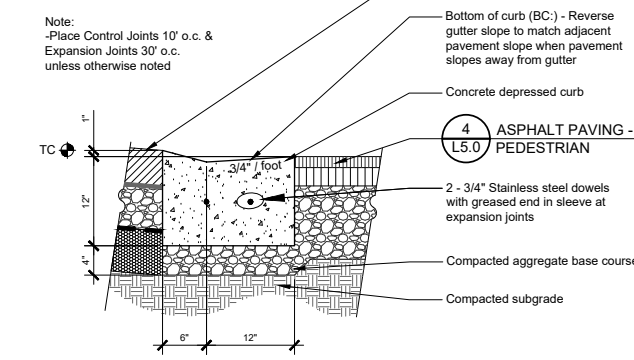
10 DETECTABLE WARNING
1/2" = 1'-0"



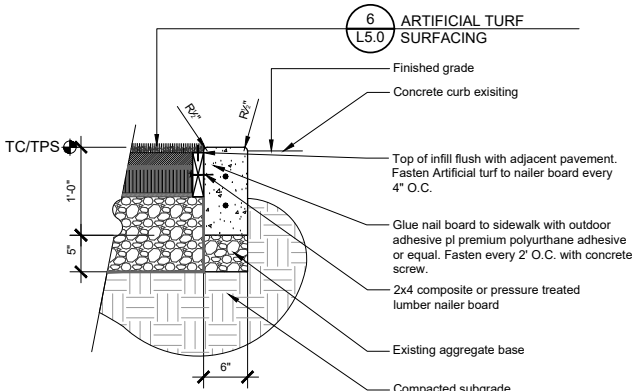
9 PLAYGROUND RAMP
1/2" = 1'-0"



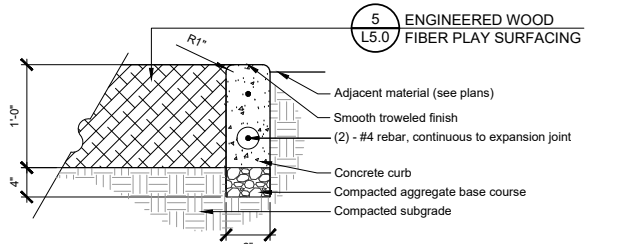
8 CURB TAPER
1/2" = 1'-0"



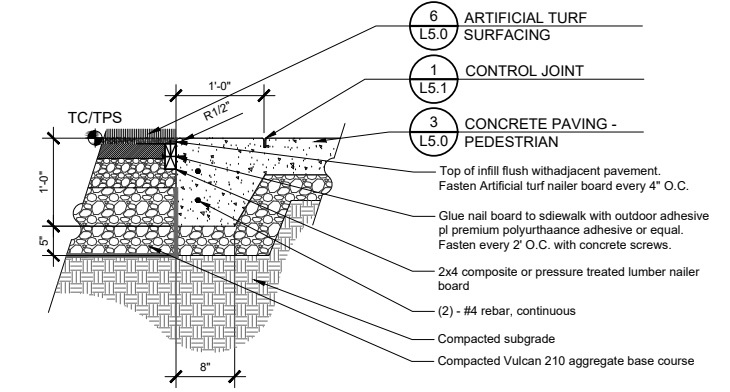
7 DEPRESSED CURB
1" = 1'-0"



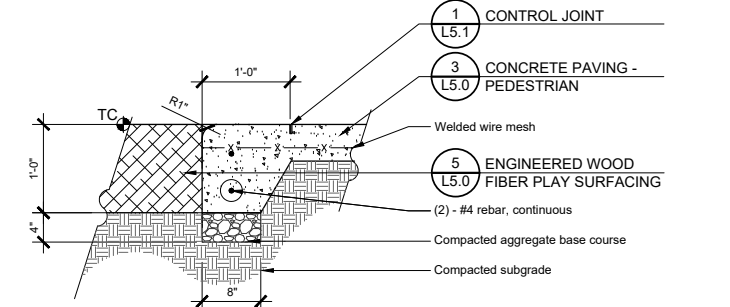
6 PLAYGROUND CURB AT ARTIFICIAL TURF
1" = 1'-0"



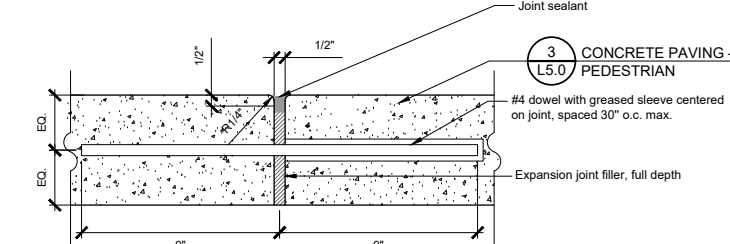
5 PLAYGROUND CURB AT ENGINEERED WOOD FIBER
1" = 1'-0"



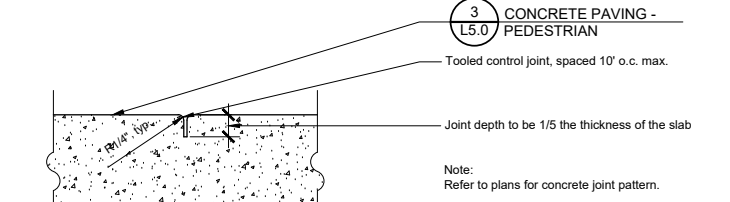
4 THICKENED EDGE CONCRETE PAVING AT ARTIFICIAL TURF
1" = 1'-0"



3 THICKENED EDGE CONCRETE PAVING AT EWF
1" = 1'-0"



2 EXPANSION JOINT
3" = 1'-0"



1 CONTROL JOINT
3" = 1'-0"

Construction Documents
March 25, 2024

| REVISIONS | | |
|-----------|------|-------|
| No | Date | Issue |
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CHECKED BY DNF DRAWN BY MBG

SHEET TITLE
Details

SCALE IN FEET
as noted

NORTH SHEET NUMBER

Package #117 **L5.1**
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**Wood Dale Park
District**

111 East Foster Avenue
Wood Dale, Illinois 60191

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**Recreation
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Wood Dale, Illinois 60191

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Civil Engineer
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March 25, 2024

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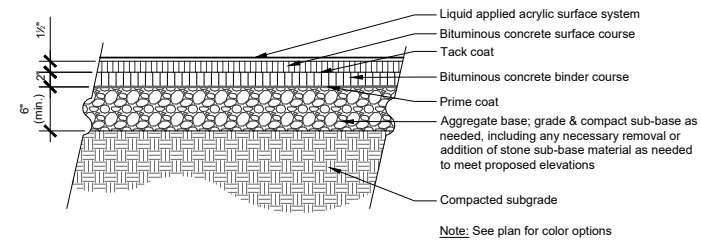
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SHEET TITLE
Details

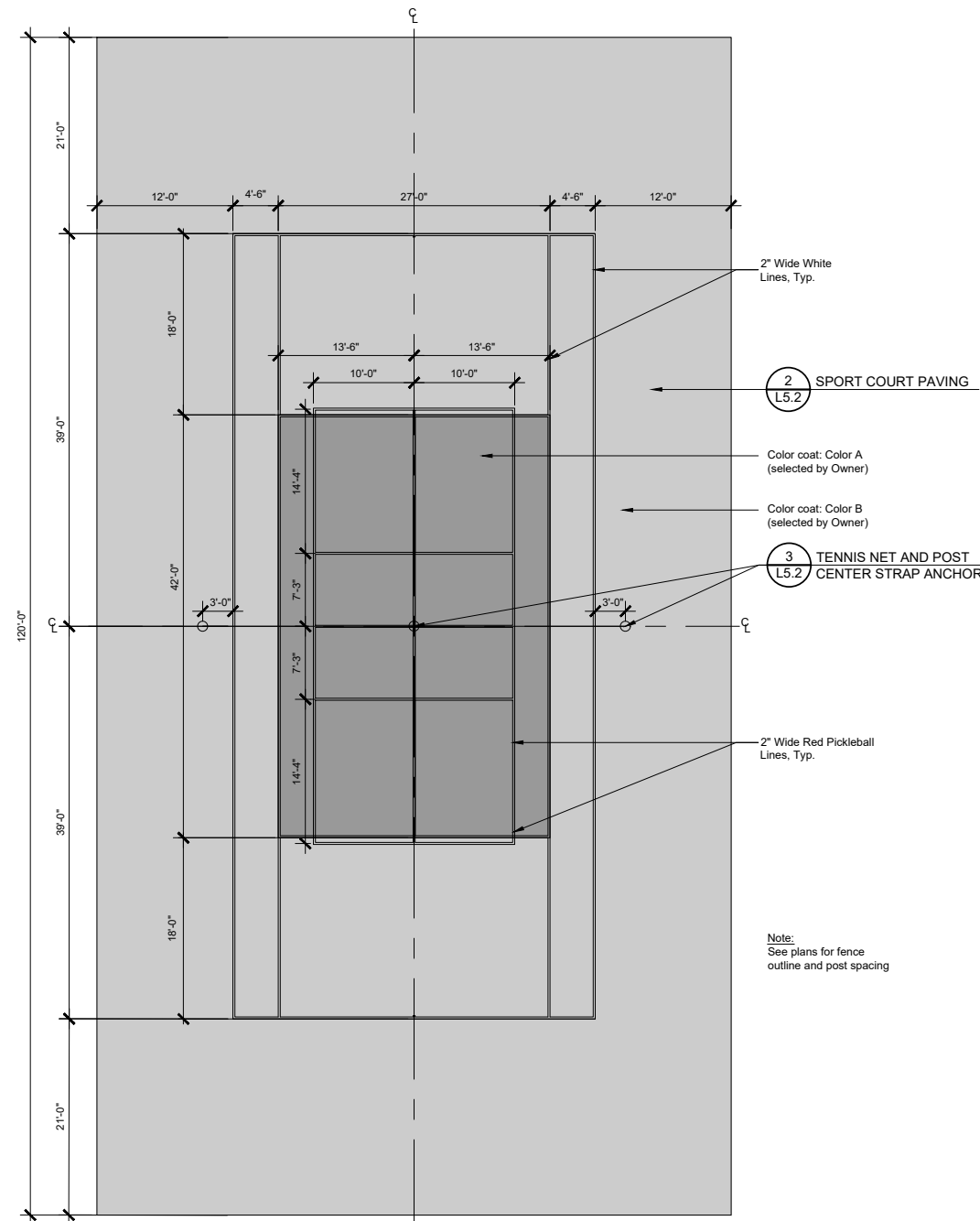
SCALE IN FEET
as noted

NORTH SHEET NUMBER

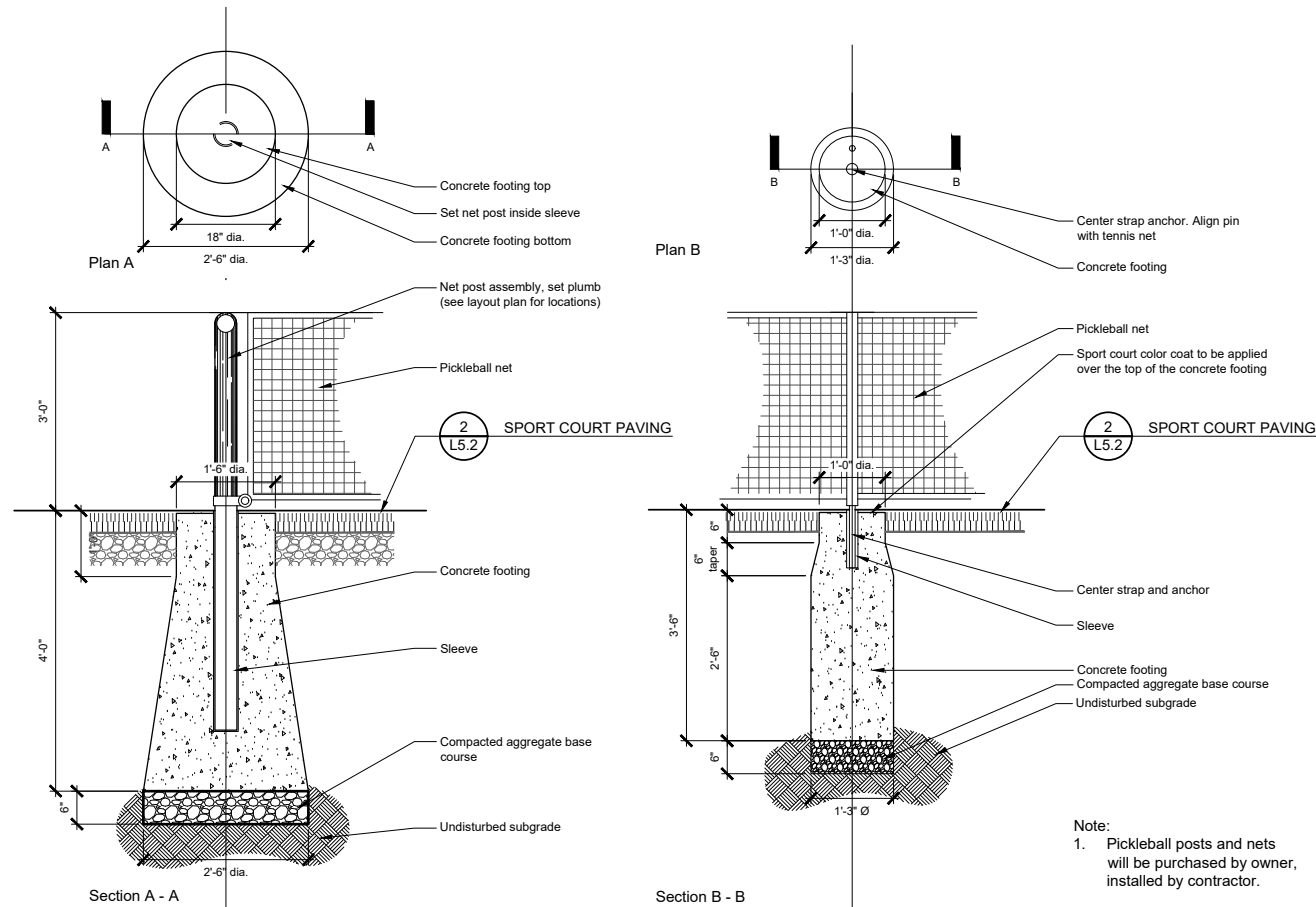
 **L5.2**



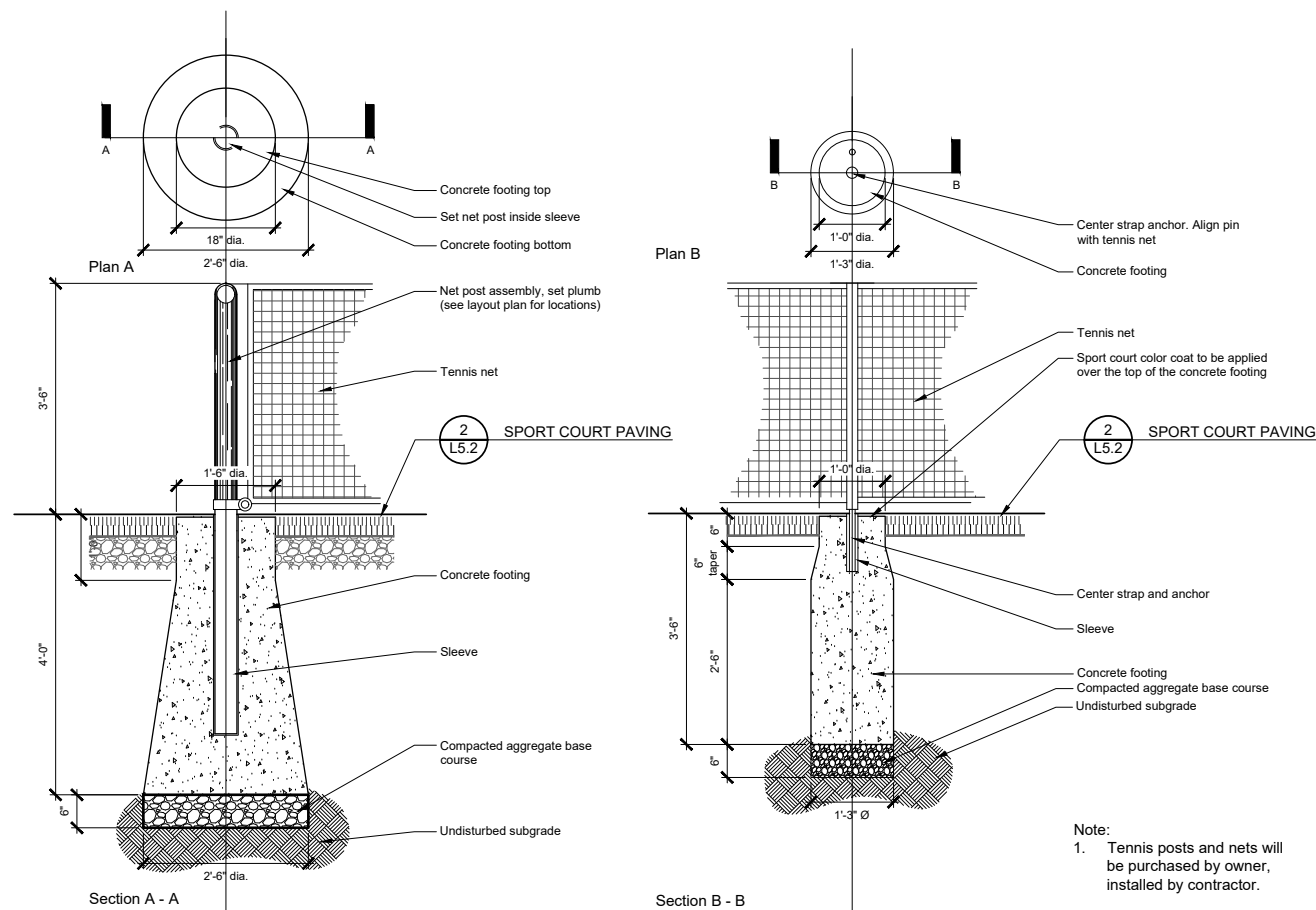
2 SPORT COURT PAVING
1" = 1'-0"



1 TENNIS & PICKLEBALL LAYOUT
1/8" = 1'-0"



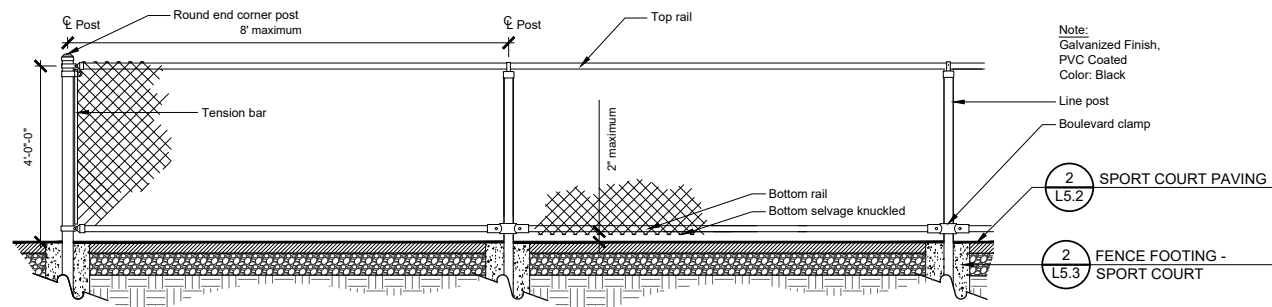
5 PICKLEBALL NET POST AND CENTER STRAP ANCHOR
3/4" = 1'-0"



3 TENNIS NET AND POST CENTER STRAP ANCHOR
3/4" = 1'-0"

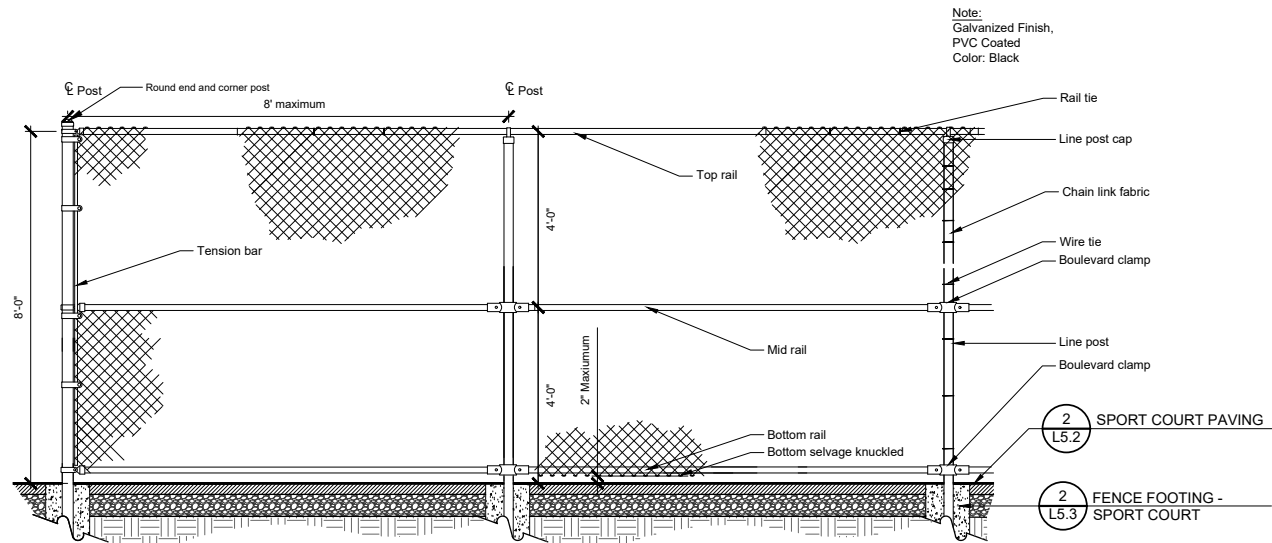
| Chainlink Fence Schedule | | | | | | | | | | | | | | |
|--------------------------|-----------------|-----------------------------|---------------------------------|---------------|------------------|----------------|------------|----------------|----------|-------------|-------------------------|--------------|------------|----------|
| Height | Mid Rail Height | Fabric (Height/ Gauge/Mesh) | Fabric Selvage (top and bottom) | Footing Depth | Footing Diameter | Terminal Posts | Line Posts | Post Spacing | Top Rail | Bottom Rail | Truss Rod w/ Turnbuckle | Tension Wire | PVC Coated | Post Cap |
| 4' | n/a | 9GA / 2" | Knuckle | 42" | 1' | 2 1/2" | 2 1/2" | Max 8'-0" O.C. | 1.50" | 1.50" | n/a | n/a | Black | Dome |
| 8' | 4' | 9GA / 2" | Knuckle | 42" | 1' | 3" | 3" | Max 8'-0" O.C. | 1.50" | 1.50" | n/a | n/a | Black | Dome |
| 10' | 5' | 9GA / 2" | Knuckle | 42" | 1' | 3" | 3" | Max 8'-0" O.C. | 1.50" | 1.50" | n/a | n/a | Black | Dome |

Fence fabric to be exterior facing



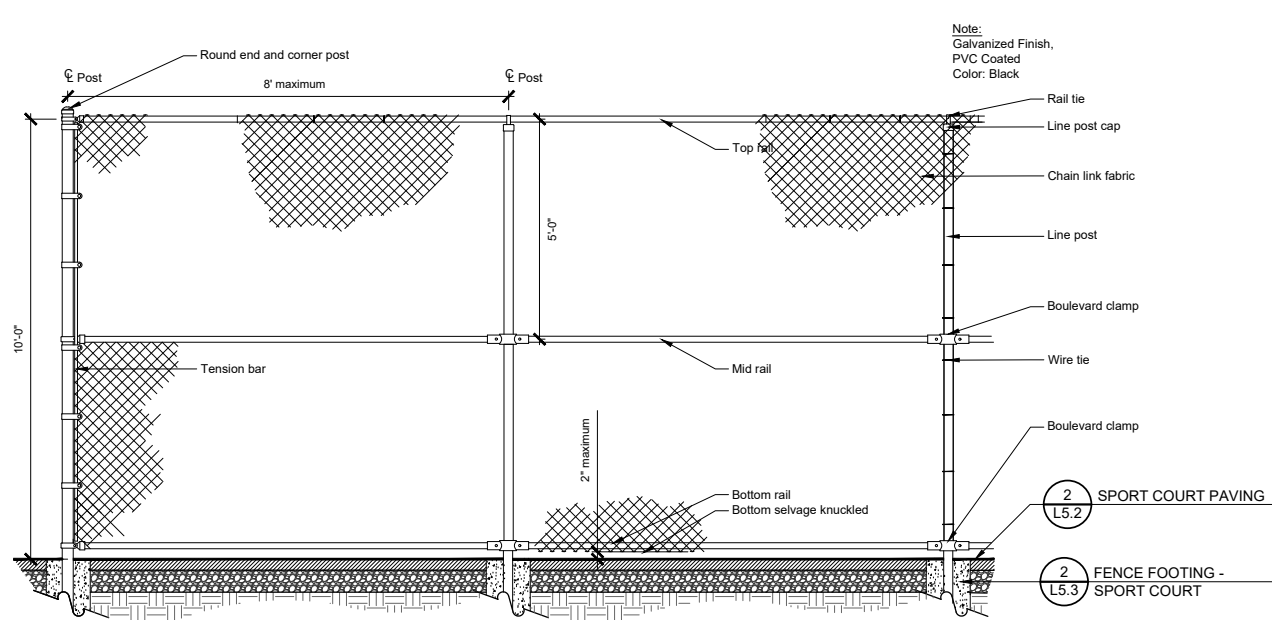
5 CHAINLINK FENCE - 4' HT.

1/2" = 1'-0"



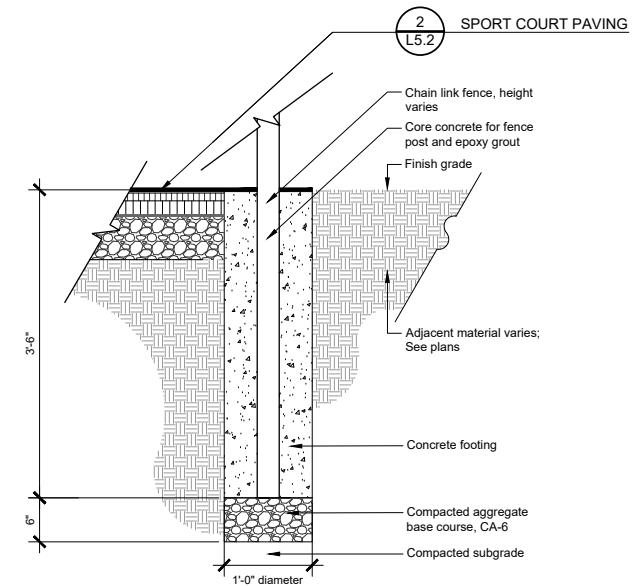
4 CHAINLINK FENCE - 8' HT.

1/2" = 1'-0"



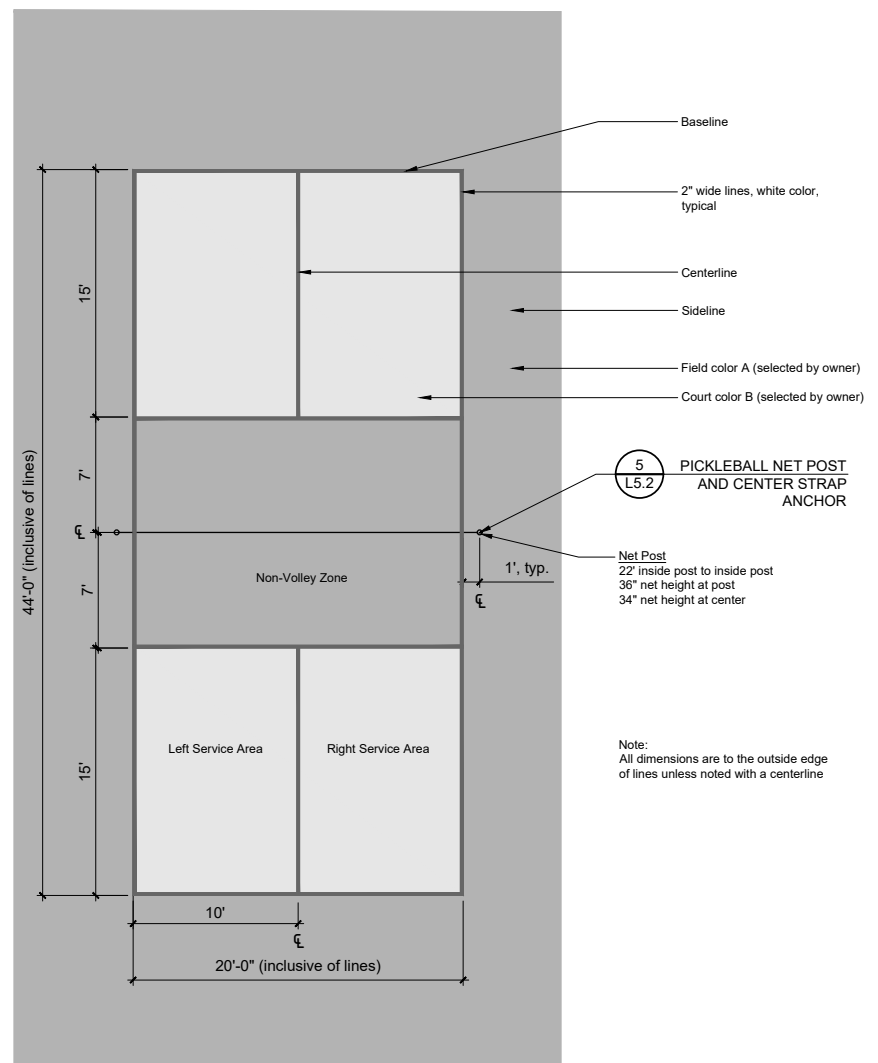
3 CHAINLINK FENCE - 10' HT.

1/2" = 1'-0"



2 FENCE FOOTING - SPORT COURT

1" = 1'-0"



1 PICKLEBALL COURT LAYOUT

3/16" = 1'-0"



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Wood Dale Park District

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Wood Dale, Illinois 60191

PROJECT
Recreation Park

111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS
Civil Engineer
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Chicago, Illinois 60631
T 773.693.9200

Construction Documents
March 25, 2024

| REVISIONS | | |
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| No | Date | Issue |
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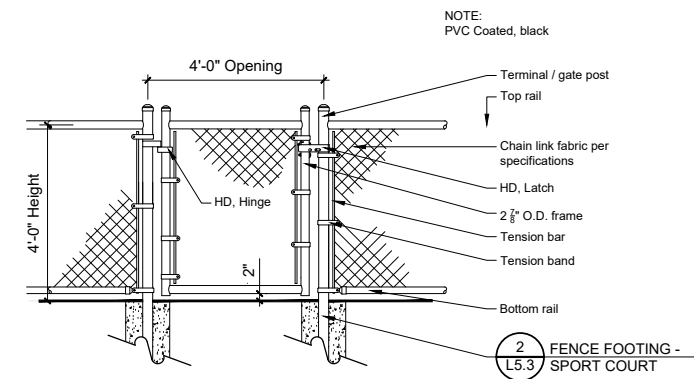
SHEET TITLE
Details

SCALE IN FEET
as noted

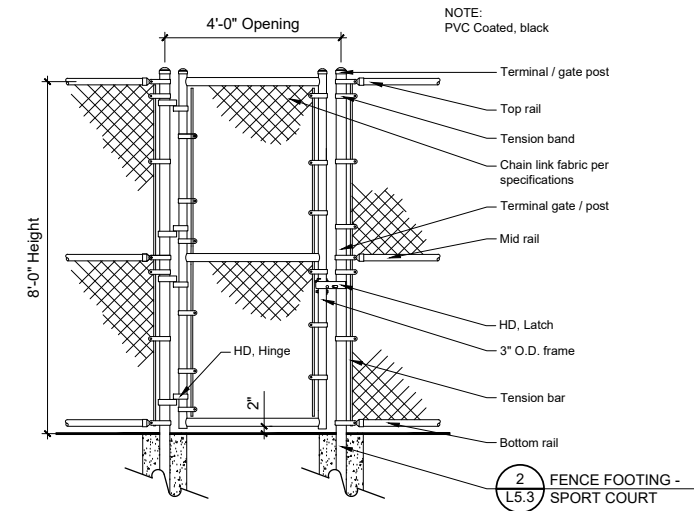
NORTH SHEET NUMBER

Package #119 **L5.3**

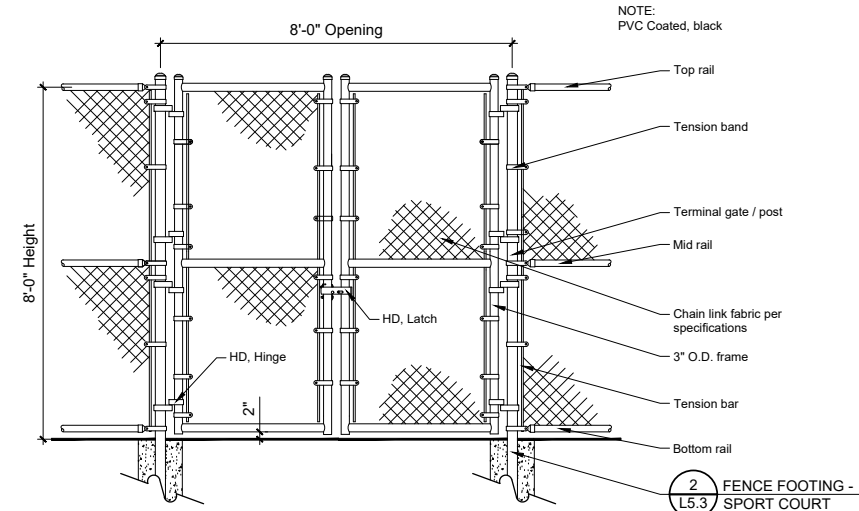
©2023 Hitchcock Design Group



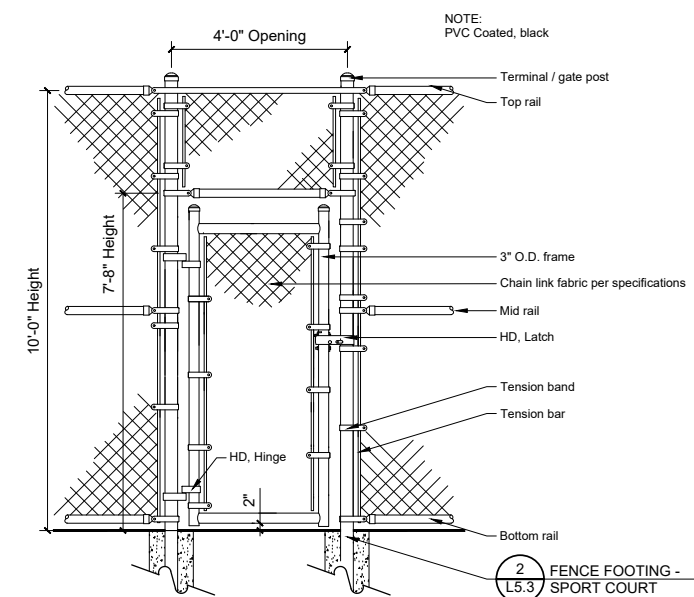
3 SINGLE SWING GATE - 4' HT.
1/2" = 1'-0"



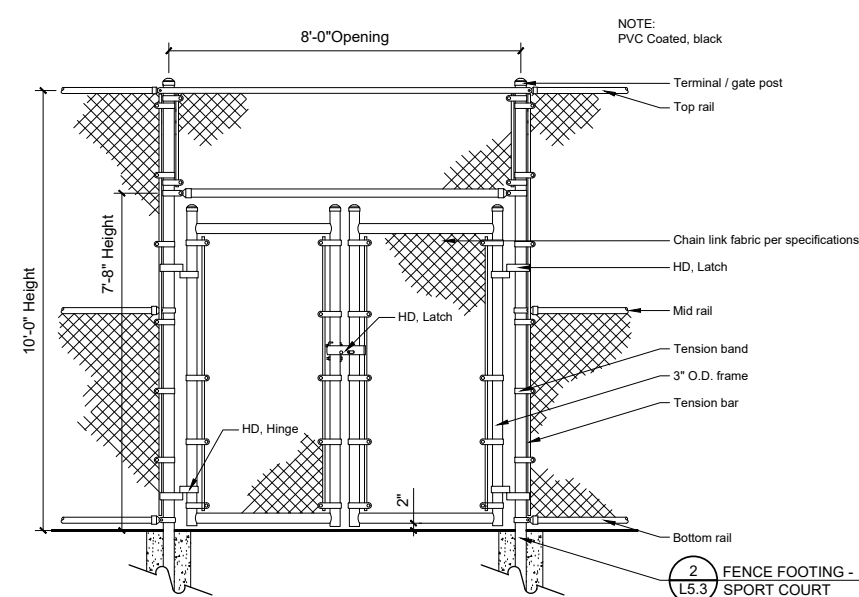
2 SINGLE SWING GATE - 8' HT.
1/2" = 1'-0"



5 DOUBLE SWING GATE - 8' HT.
1/2" = 1'-0"



1 SINGLE SWING GATE - 10' HT.
1/2" = 1'-0"



4 DOUBLE SWING GATE - 10' HT.
1/2" = 1'-0"

REVISIONS

| No | Date | Issue |
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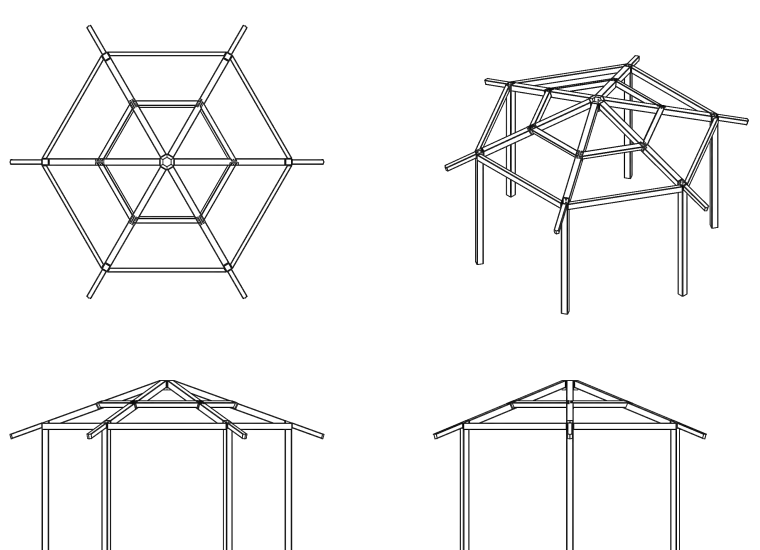
PREPARED FOR
**Wood Dale Park
District**

111 East Foster Avenue
Wood Dale, Illinois 60191

PROJECT
**Recreation
Park**

111 E. Foster Avenue
Wood Dale, Illinois 60191

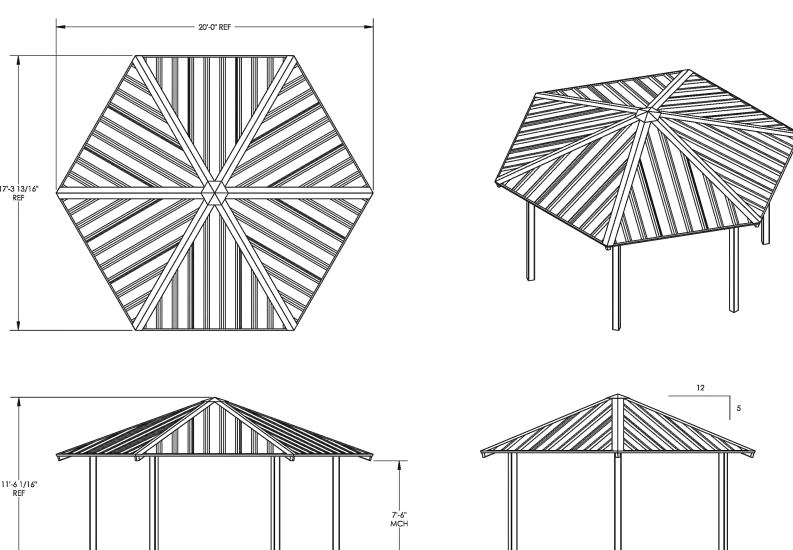
CONSULTANTS
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Chicago, Illinois 60631
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**STOP!!
NOT FOR CONSTRUCTION**
USE FOR PRELIMINARY
PLANNING AND ESTIMATING
ONLY

FINISH GRADE,
MOUNTING VARIES
BASED ON ENGINEERING
REQUIREMENTS.

DRAWING:
STRUCTURAL FRAMING PLAN
DATE: 1/24
SCALE: 1/50
REVISED: A
POLYGON © (616)399-1943
www.polygon.com
by PORTERCORP
CONTRACT NO. 2023-010
PROJECT NO. 2023-010
SHEET 2



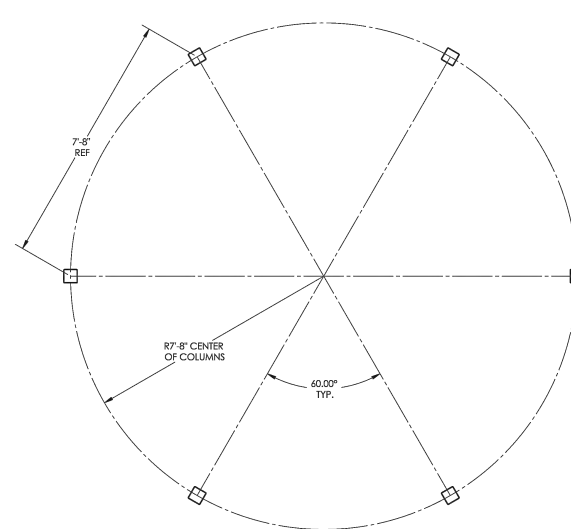
GENERAL ROOF NOTES:

- METAL ROOFING:
 - 24 GAUGE
 - GALVALUME COATED
 - 1" X 1/2" R50 PAINTED
 - TRIM COLOR MATCHES ROOF
- SEE POLYGON.COM FOR COLOR OPTIONS

**STOP!!
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ONLY

FINISH GRADE,
MOUNTING VARIES
BASED ON ENGINEERING
REQUIREMENTS.

DRAWING:
ARCHITECTURAL ELEVATIONS
DATE: 1/24
SCALE: 1/50
REVISED: A
POLYGON © (616)399-1943
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by PORTERCORP
CONTRACT NO. 2023-010
PROJECT NO. 2023-010
SHEET 1

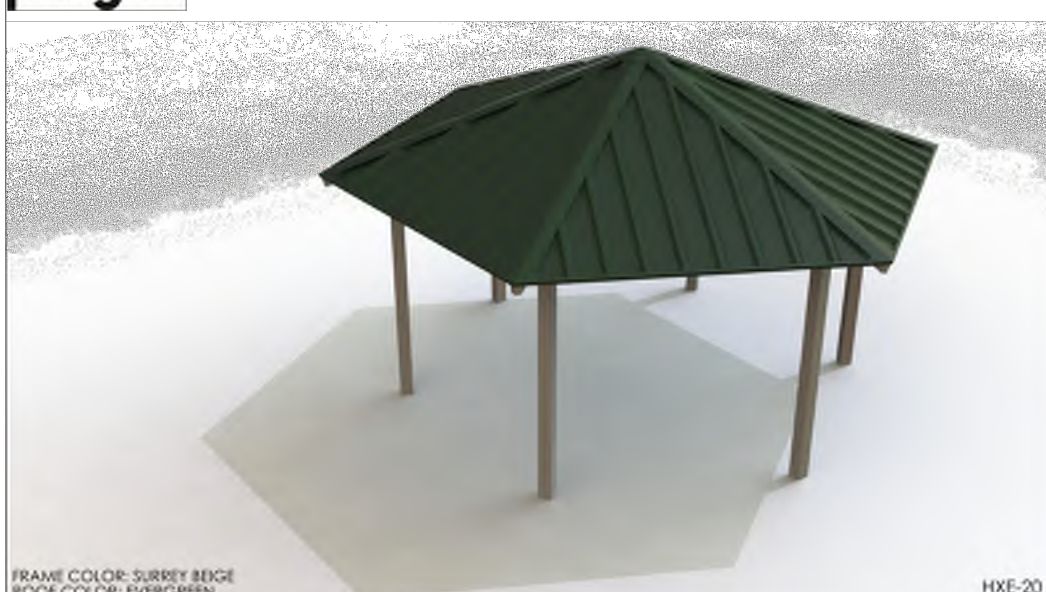


BASEPLATE NOTES:

- POLYGON ENGINEERING WILL DETERMINE REQUIRED BASEPLATE DESIGN AFTER ENGINEERING PACKAGE IS ORDERED.
- CUSTOMER MAY SUGGEST PREFERRED BASEPLATE DESIGN.

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ONLY

DRAWING:
COLUMN LAYOUT
DATE: 1/24
SCALE: 1/24
REVISED: A
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by PORTERCORP
CONTRACT NO. 2023-010
PROJECT NO. 2023-010
SHEET 3



poligon

FRAME COLOR: SURREY BEIGE
ROOF COLOR: EVERGREEN
COLORS SHOWN ARE FOR REFERENCE ONLY
CONTACT BESS@POLYGON.COM TO REQUEST ACTUAL COLOR SAMPLES.

HXE-20

Construction Documents
March 25, 2024

REVISIONS

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SHEET TITLE
Details

SCALE IN FEET
as noted

NORTH SHEET NUMBER

Package #121
L5.5
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District**

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Wood Dale, Illinois 60191

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**Recreation
Park**

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Construction Documents
March 25, 2024

REVISIONS

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DNF

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MBG

SHEET TITLE
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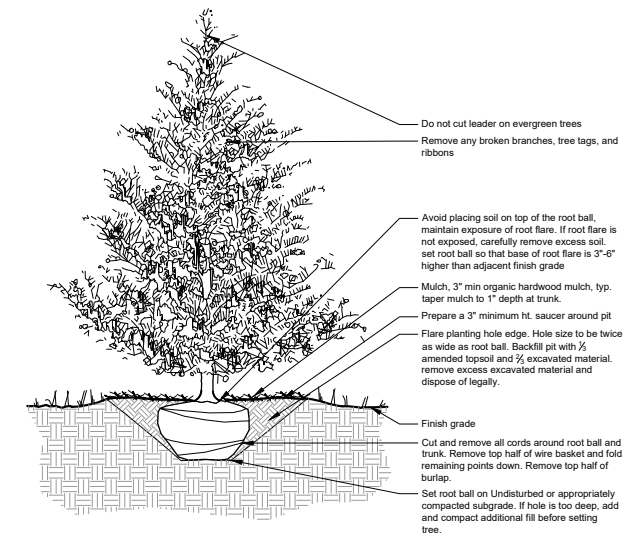
SCALE IN FEET
as noted

NORTH

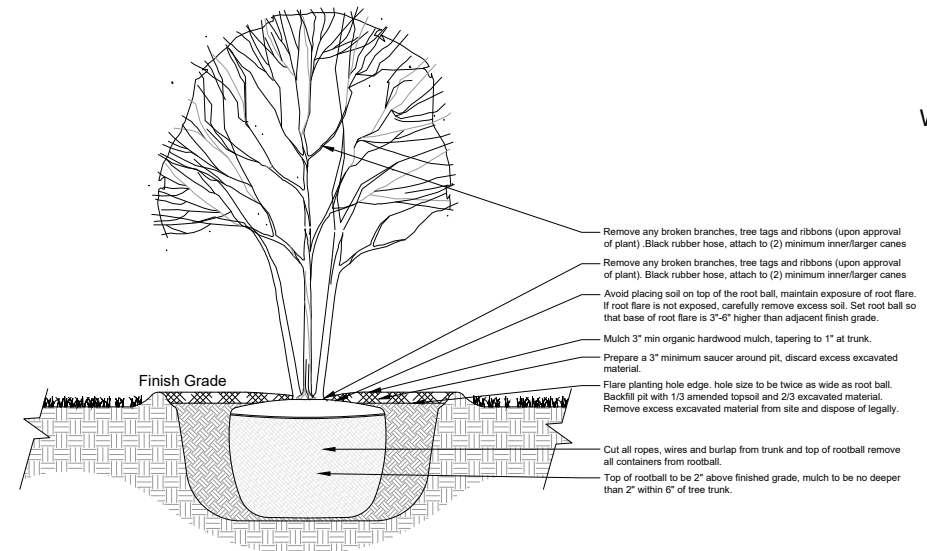
SHEET NUMBER

Package Page #122 **L5.6**

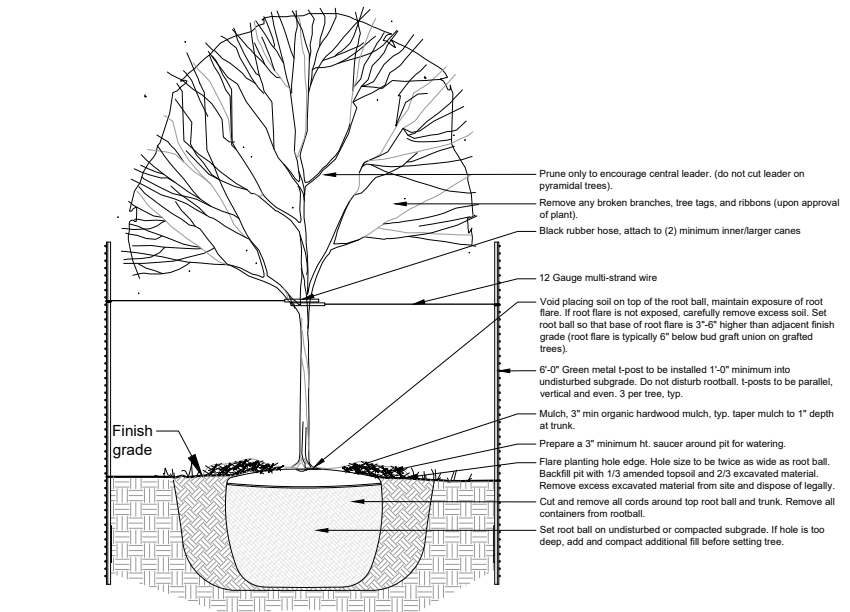
©2023 Hitchcock Design Group



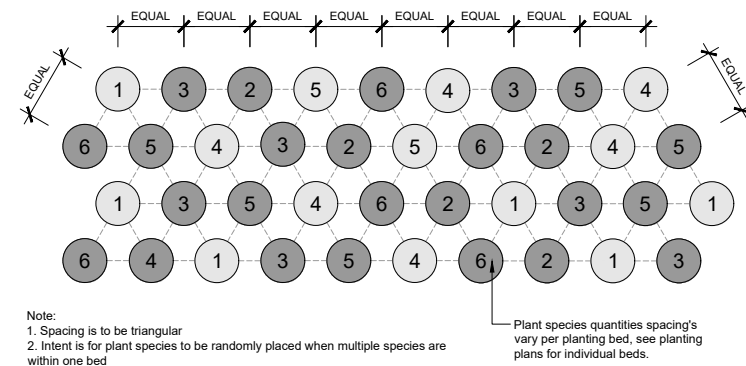
3 EVERGREEN TREE PLANTING
1/2" = 1'-0" P-NN-WDPD-RECR-08



2 ORNAMENTAL TREE PLANTING
1/2" = 1'-0"

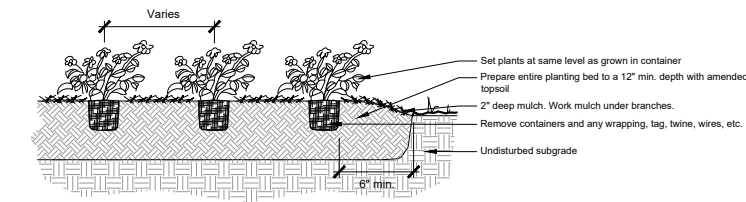


1 SHADE TREE
1/2" = 1'-0"



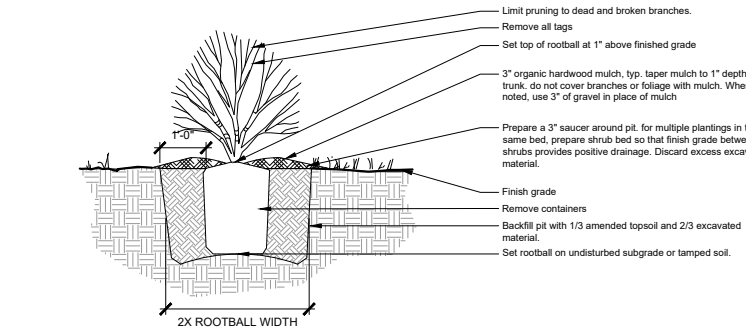
Note:
1. Spacing is to be triangular
2. Intent is for plant species to be randomly placed when multiple species are within one bed

6 PLANT SPACING
1/2" = 1'-0"



Note:
Root mass of pot bound plants should be loosened before planting

5 PERENNIAL PLANTING
1/2" = 1'-0"



4 SHRUB PLANTING
1/2" = 1'-0"



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PROJECT
Recreation Park

111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS
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SEDIMENTATION AND EROSION CONTROL NOTES

All soil erosion and sedimentation control measures shall be in accordance with the "Standard Specifications for Road and Bridge Construction", State of Illinois, Department of Transportation, adopted January 1, 2022, and the codes and ordinances of the local municipal and county agencies.

1. Soil disturbance shall be conducted in such a manner as to minimize erosion. Soil stabilization measures shall consider the time of year, site conditions and the use of temporary or permanent measures.
2. Soil erosion and sediment control features shall be constructed prior to the commencement of disturbance.
3. Temporary soil stabilization shall be applied to disturbed areas within 7 calendar days of the end of the active hydrologic disturbance. Permanent stabilization shall be completed within 14 days after completion of final grading of the soil.
4. All storm sewer facilities that are or will be functioning during construction shall be protected, filtered or otherwise treated to remove sediment.
5. All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization is achieved or after temporary measures are no longer needed. Trapped sediment and other disturbed soil areas shall be permanently stabilized.
6. All temporary and permanent erosion control measures must be maintained and repaired as needed. The Contractor will be responsible for inspection and repair during construction. The Owner will be responsible if erosion control is required after the Contractor has completed the project.
7. The erosion control measures indicated on the plans are the minimum requirements. Additional measures may be required as directed by the Engineer, Owner, or governing agency.
8. All affected tree shall be protected per details.
9. No spoils, building materials, backfill, dumpsters, construction equipment, etc... shall be stored or parked within the parkway tree drip lines.
10. Any work within the tree drip line or within seven (7) feet of the tree requires 24 hour advance notice is given to the Village Forester.

50% Construction Documents
January XX, 2024

REVISIONS

| No | Date | Issue |
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SHEET TITLE

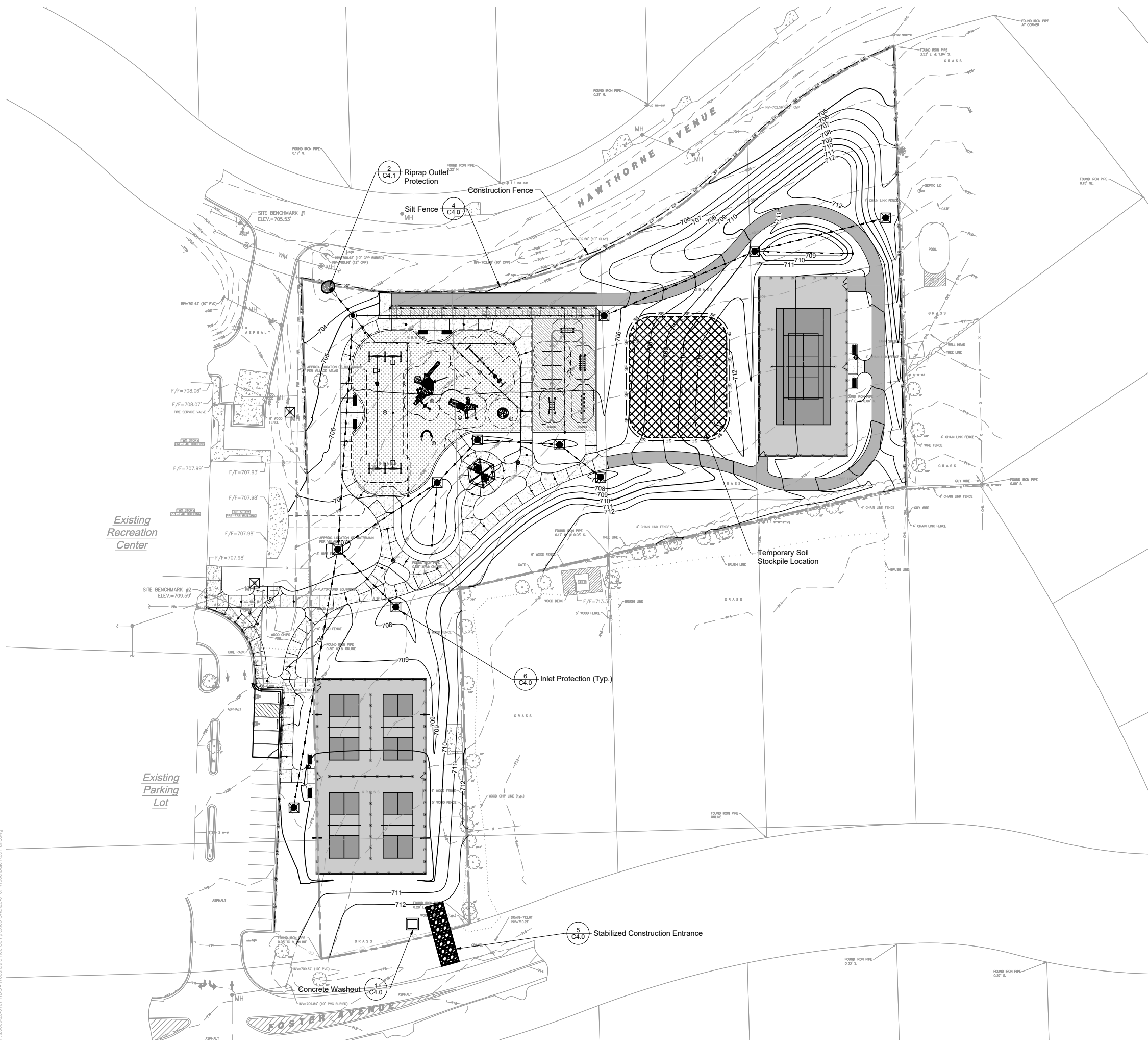
Soil Erosion and Sediment Control Plan

SCALE IN FEET
1" = 30'



NORTH SHEET NUMBER

C1.0



P:\2300023-0107 HDG - Wood Dale Rec Complex\05 CAD\23-0107 Wood Dale Rec Plan.dwg



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EARTHWORK AND GRADING CONSTRUCTION

All work done under this heading will be done in accordance with applicable provisions of the "Standard Specifications for Road and Bridge Construction", State of Illinois, Department of Transportation, adopted January 1, 2022.

1. Work under this section shall include, but not be limited to, the following:
 - a. Clearing and removal of all undesirable vegetative growth within the construction area except as noted otherwise on the plans.
 - b. Placement and construction of structural and non-structural fills.
 - c. Movement and compaction of spoil material from the construction of underground utilities.
 - d. Final shaping and trimming to the lines, grades and cross-sections shown in these plans, and topsoil placement to design finish grade elevations.
 - e. Soil erosion control measures in accordance with the applicable specifications and county requirements.
2. Silt fence as shown in the construction plans shall be erected prior to start of work.
3. It is the Contractor's responsibility to determine all material quantities and the Contractor should be familiar with all site conditions. No claims for extra work will be recognized unless ordered in writing by the Owner.
4. The grading and construction of the site improvements shall not cause ponding of stormwater except as noted on the plans. All areas adjacent to these improvements shall be graded to allow positive drainage.
5. The proposed grading elevations shown on the plans are finish grade. For all landscape areas, a minimum of six inches (6") of topsoil (4" min. in sodded areas) is to be placed before finish grade elevations are achieved, except where noted otherwise.
6. All disturbed areas to be seeded or planted as specified on the Restoration or Planting Plans. Any disturbed areas not specified on the Restoration Plans shall be replaced in kind.
7. Detailed drawings for any sheeting and bracing shall be provided for review to the Owner's representative prior to implementation of the method. A trench box shall be available on the job site at all times and be utilized in accordance with OSHA standards.
8. Suitable excavated materials subject to the review of the Owner's representative may be used to backfill the excavated areas of the site; unless shown otherwise.
9. No underground work shall be covered until it has been reviewed by Engineer.

LEGEND

- Existing 1 ft Contour Lines
- Proposed 1 ft Contour Lines
- Detail Number
- Drawing Number
- Proposed Spot Elevation
- ME Match Existing Elevation
- G Ground Elevation
- P Pavement Elevation
- EP Edge of Pavement Elevation
- SW Sidewalk Elevation
- TC Top of Curb Elevation
- Swale Drainage Arrow
- Ovdrland Flow Drainage Arrow
- Ex. Deciduous Tree
- Ex. Coniferous Tree
- Ex. Bush

50% Construction Documents
January XX, 2024

REVISIONS

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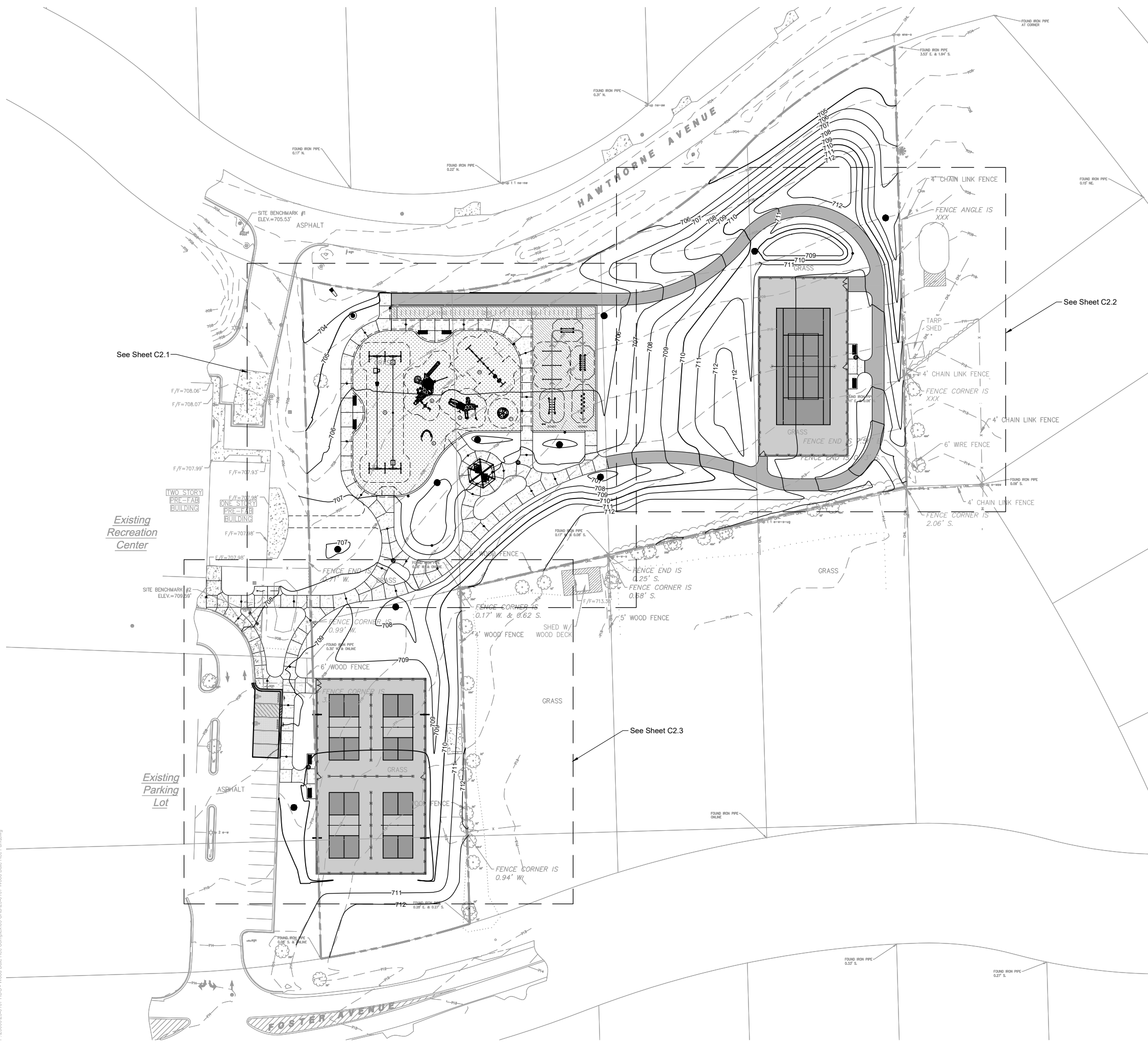
SHEET TITLE

Grading Plan - Overall

SCALE IN FEET
1" = 30'

NORTH SHEET NUMBER

C2.0
Pack Page #124
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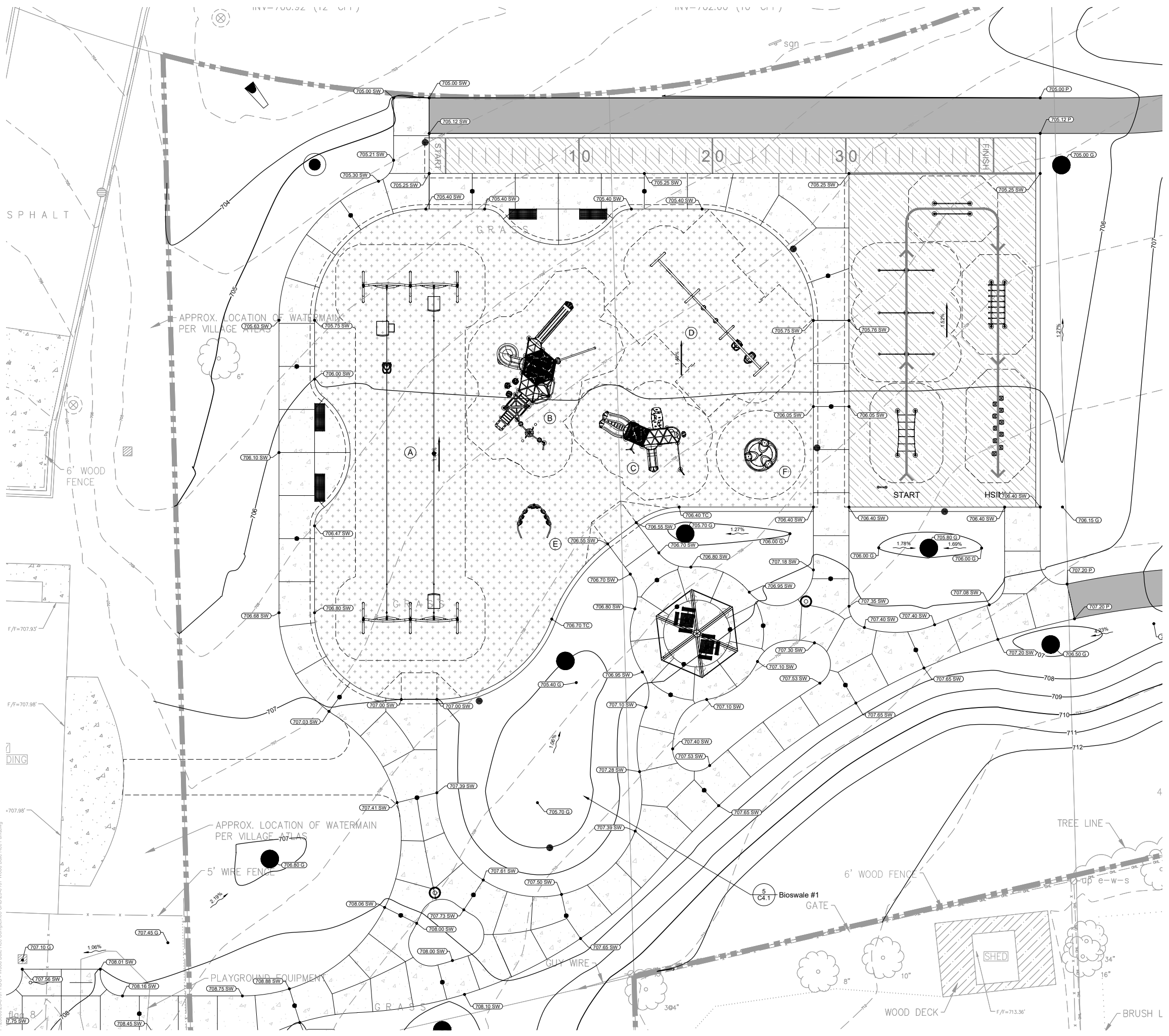
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**Wood Dale Park
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111 East Foster Avenue
Wood Dale, Illinois 60191

PROJECT
**Recreation
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DRAWN BY: MBG

SHEET TITLE

**Grading Plan -
Playground**

SCALE IN FEET
1" = 10'

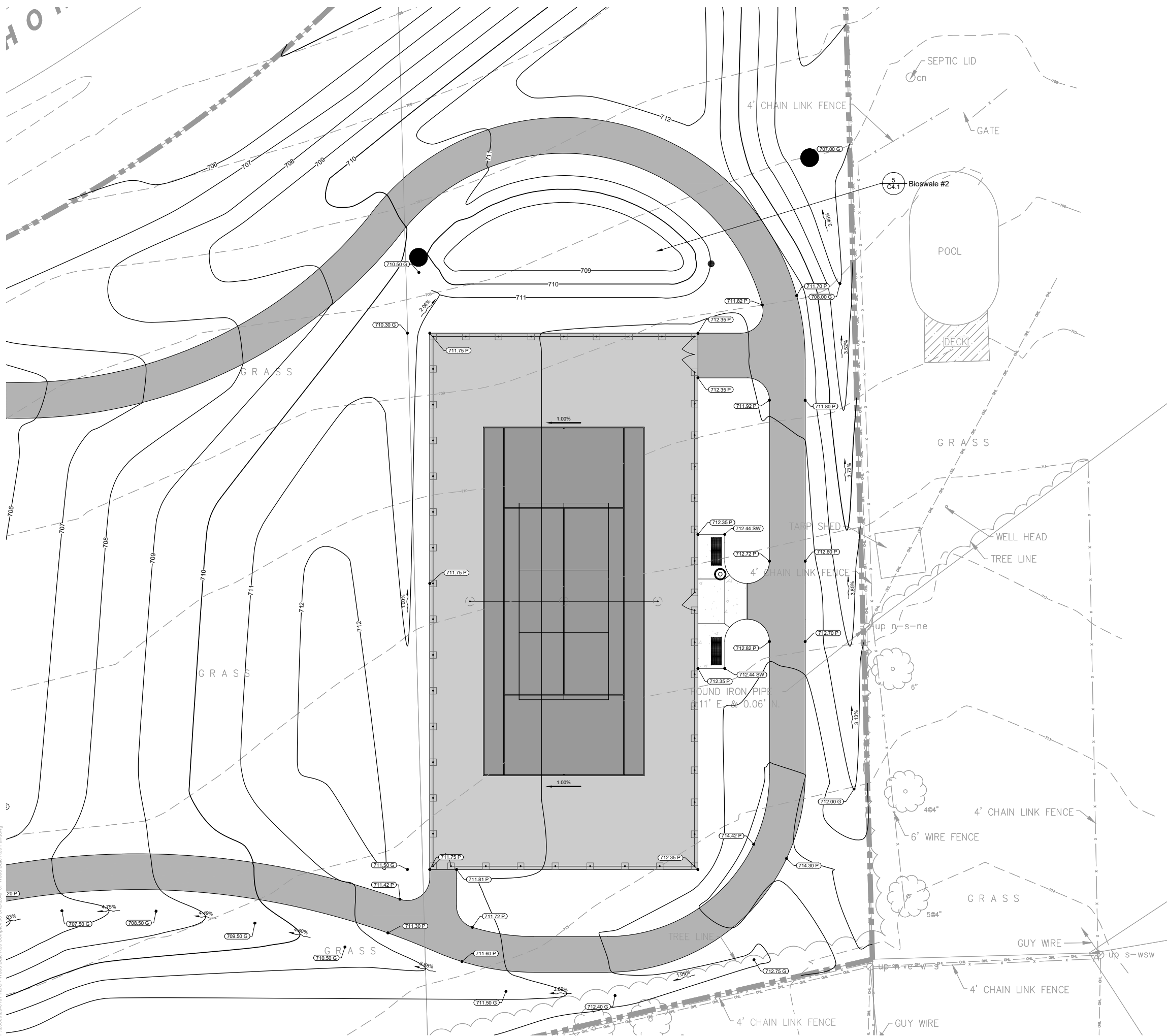


NORTH
SHEET NUMBER

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Package #125
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hitchcockdesigngroup.com

PREPARED FOR
Wood Dale Park District

111 East Foster Avenue
Wood Dale, Illinois 60191

PROJECT
Recreation Park

111 E. Foster Avenue
Wood Dale, Illinois 60191

CONSULTANTS
Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
T 773.693.9200

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January XX, 2024
REVISIONS

| No | Date | Issue |
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CHECKED BY
DNF

DRAWN BY
MBG

SHEET TITLE

**Grading Plan -
Tennis Court**

SCALE IN FEET
1" = 10'

NORTH

SHEET NUMBER

Package #126 **C2.2**
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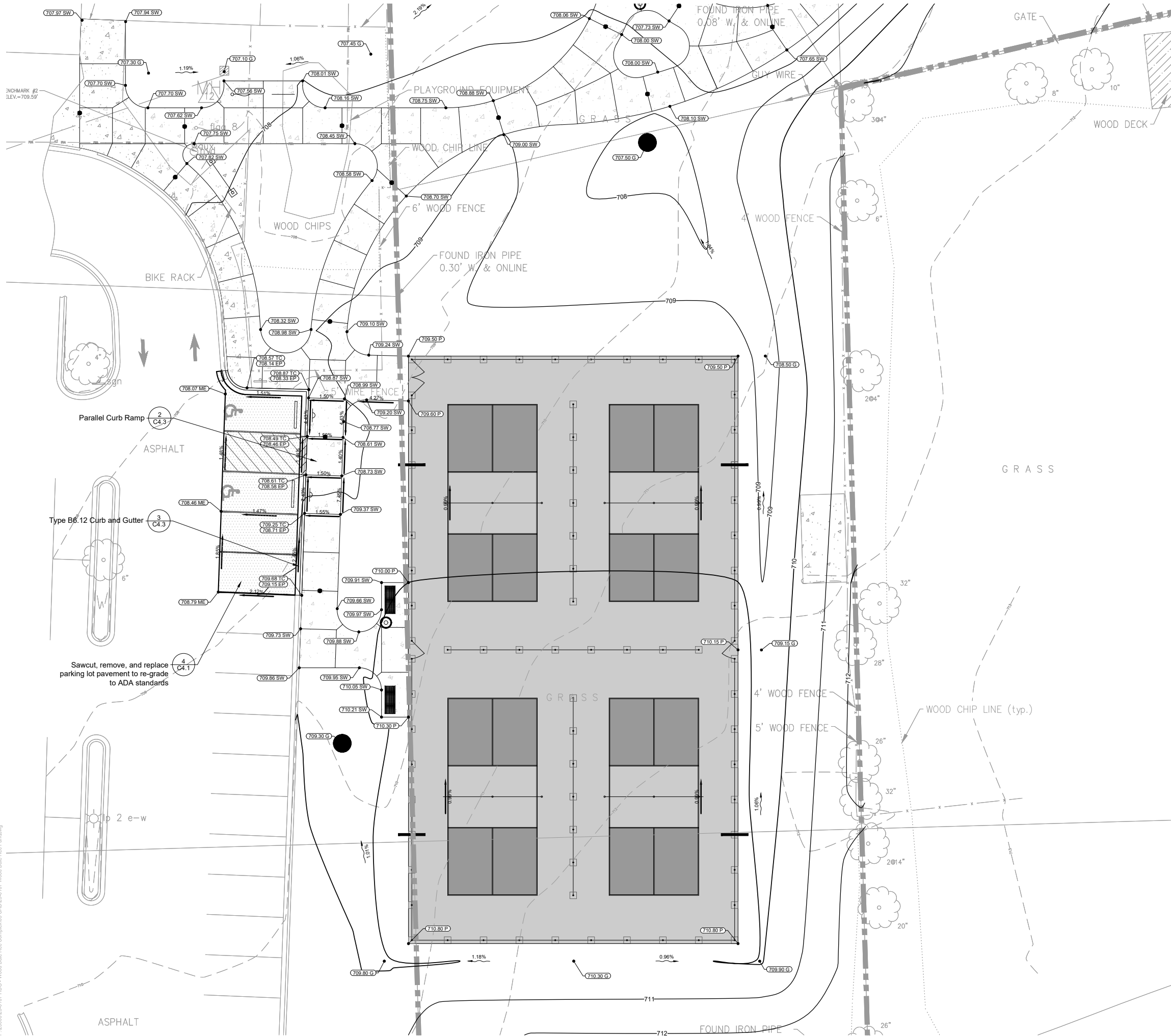
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Wood Dale, Illinois 60191

PROJECT
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CONSULTANTS
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SHEET TITLE

Grading Plan - Entrance

SCALE IN FEET
1" = 10'



NORTH
SHEET NUMBER

Package #127
C2.3
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P:\2300023-0107 HDG - Wood Dale Rec Complex\05 CAD\23-0107 Wood Dale Rec Plan.dwg

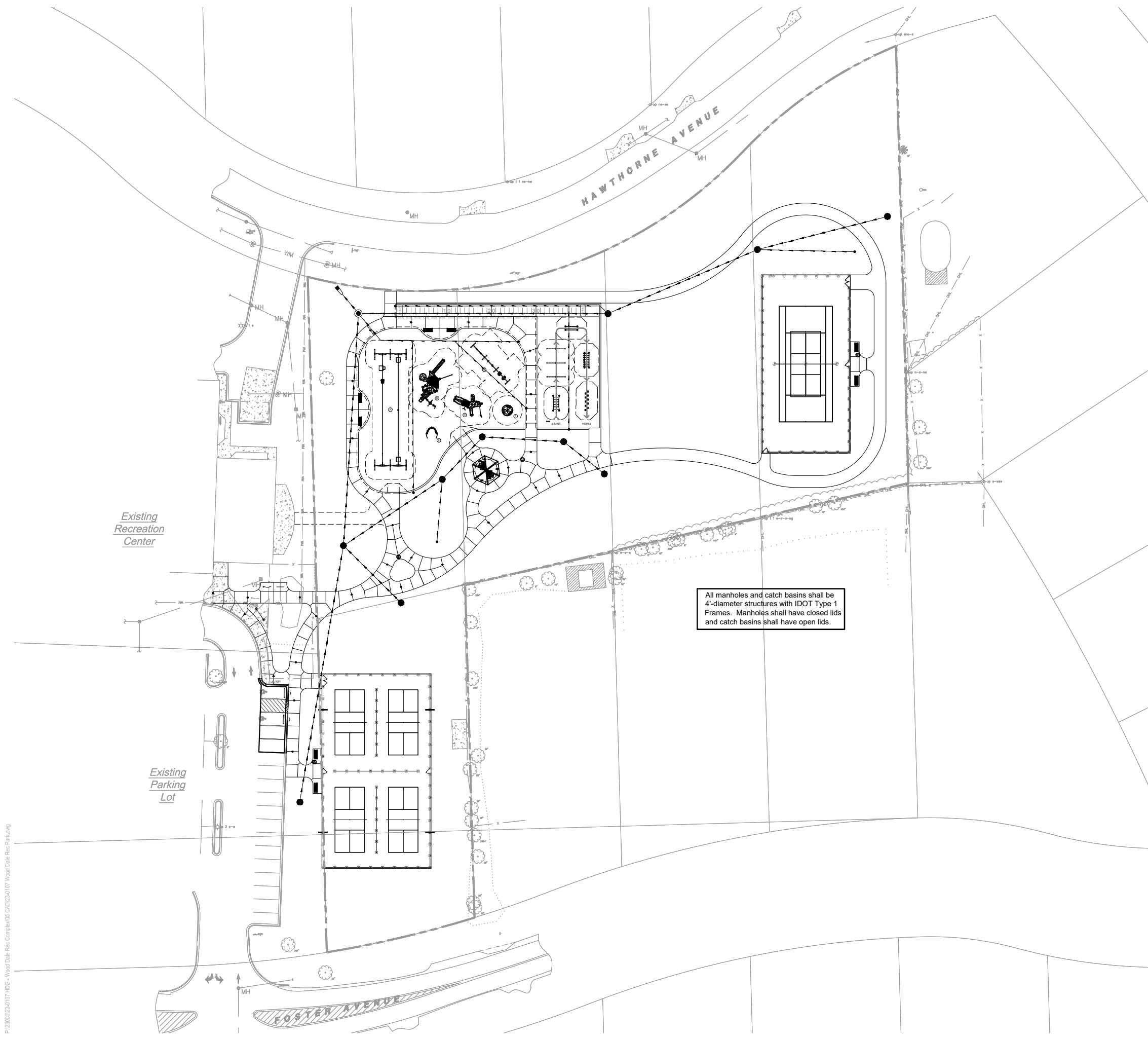
LEGEND

- Existing Storm Sewer
- Existing Sanitary Sewer
- Existing Water Main
- Existing Underground Electric Line
- Existing Gas Main
- Existing Underground Fiber-optic Line
- Existing Underground Telephone Line
- Existing Overhead Telephone Wire
- Existing Underground Cable TV Line
- Existing Fence
- Proposed Storm Sewer (SS)
- Proposed Underdrain (UD)
- Proposed Water Main (WM)
- Ex. Inlet
- Ex. Catch Basin (CB)
- Ex. Storm Manhole (MH)
- Ex. Sanitary Manhole
- Ex. Water Meter
- Ex. Fire Hydrant
- Ex. Valve Vault
- Ex. Power Pole
- Ex. Buffalo Box
- Ex. Light
- Ex. Electric Meter
- Ex. Gas Meter
- Ex. Telephone Manhole
- Ex. Traffic Signal
- Ex. Sign
- Proposed Storm Manhole (MH)
- Proposed Catch Basin (CB)
- Proposed Inlet (INL)
- Proposed Drain Basin (DB)
- Proposed Flared End Section (FES)
- Proposed Fire Hydrant (HYD)
- Utility Crossing

All manholes and catch basins shall be 4'-diameter structures with IDOT Type 1 Frames. Manholes shall have closed lids and catch basins shall have open lids.

Existing
Recreation
Center

Existing
Parking
Lot



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REVISIONS

| No | Date | Issue |
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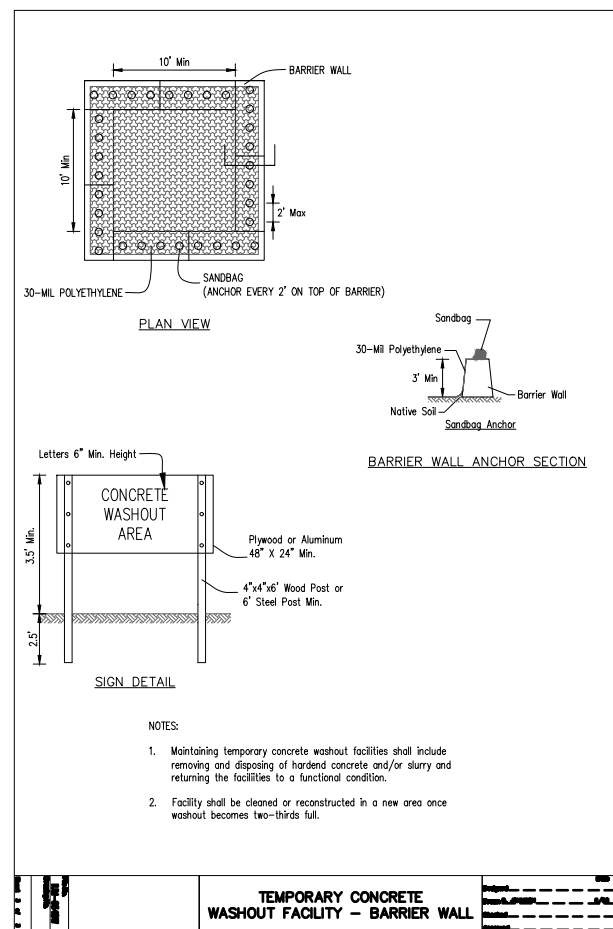
CHECKED BY: DNF DRAWN BY: MBG

SHEET TITLE

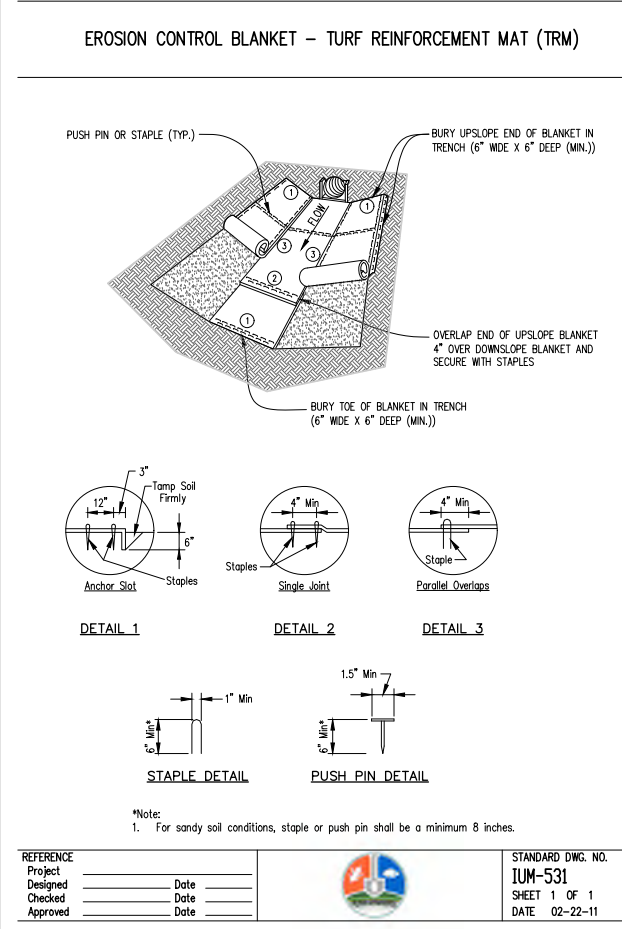
Utility Plan



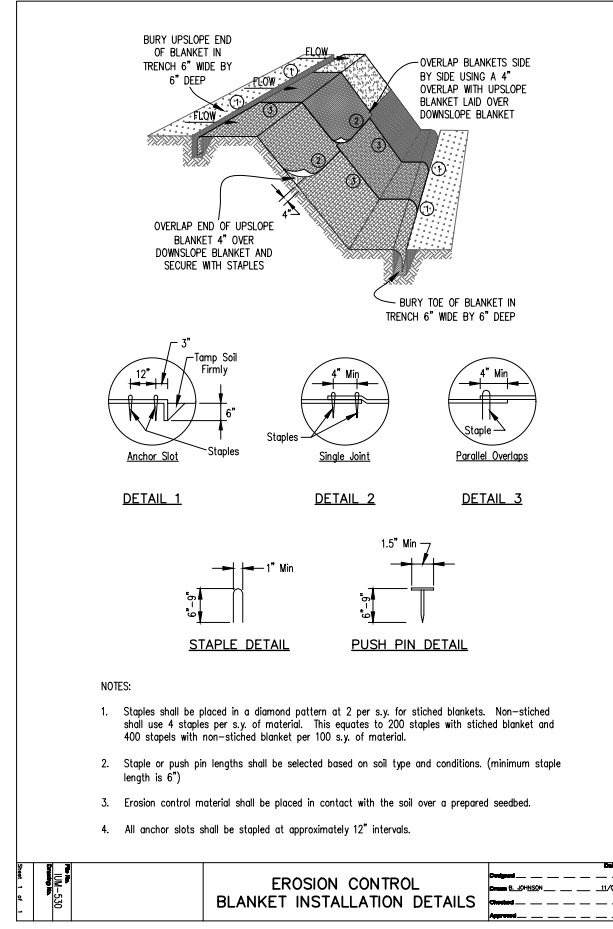
NORTH SHEET NUMBER



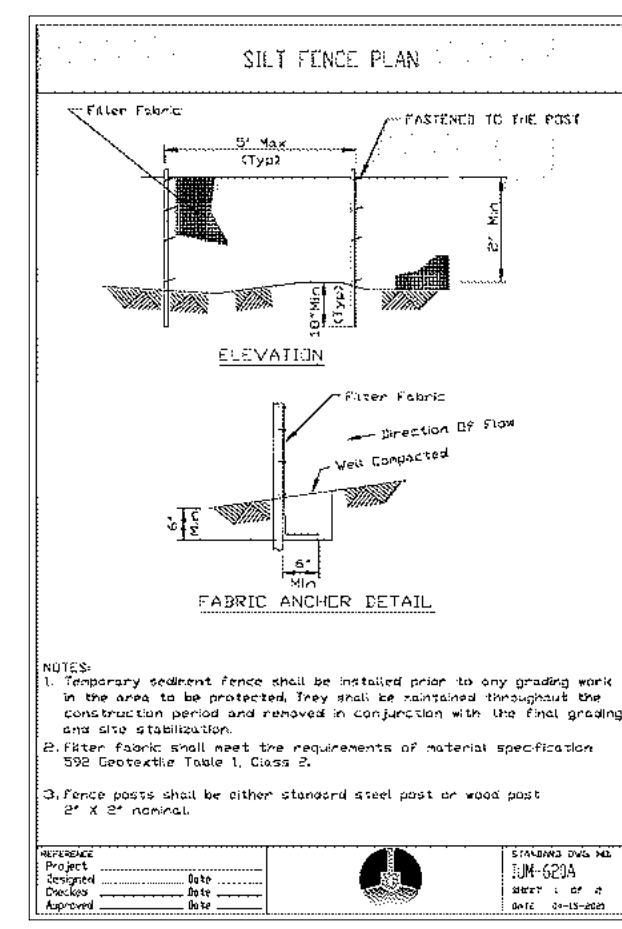
1 Temporary Concrete Washout Detail (Not to Scale)



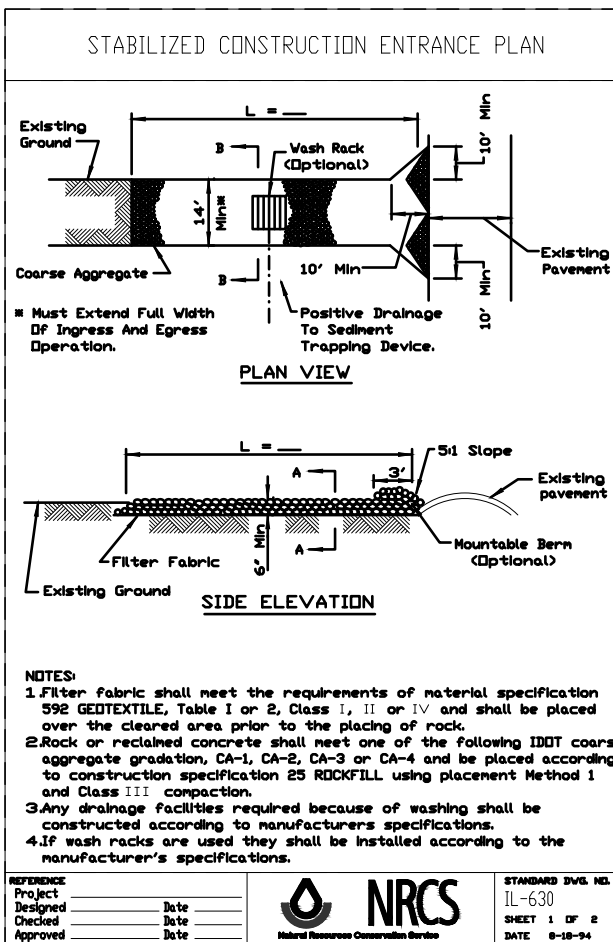
2 Erosion Control Blanket & Turf Reinforcement Mat (TRM) Detail (Not to Scale)



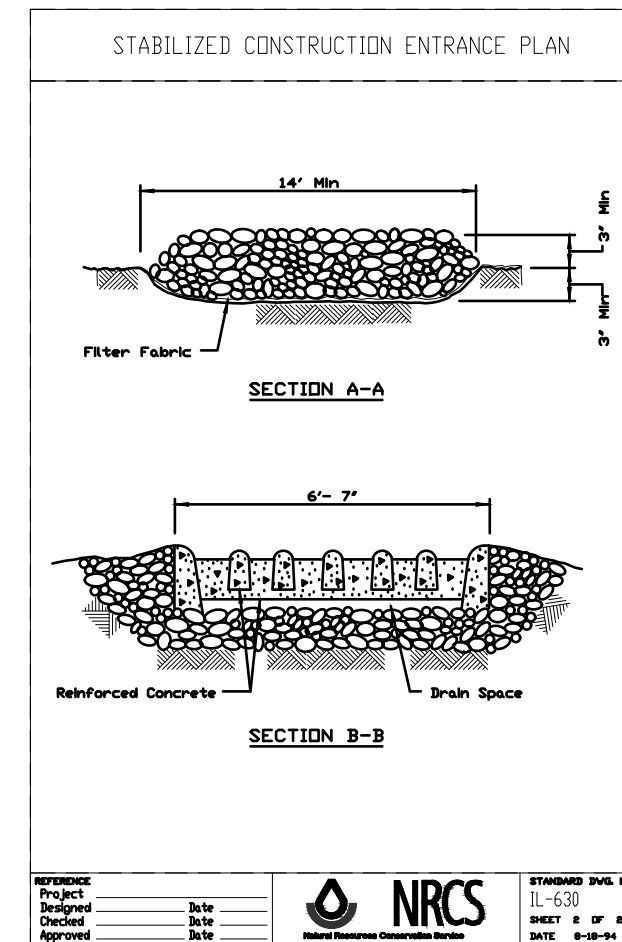
3 Erosion Control Blanket Detail (Not to Scale)



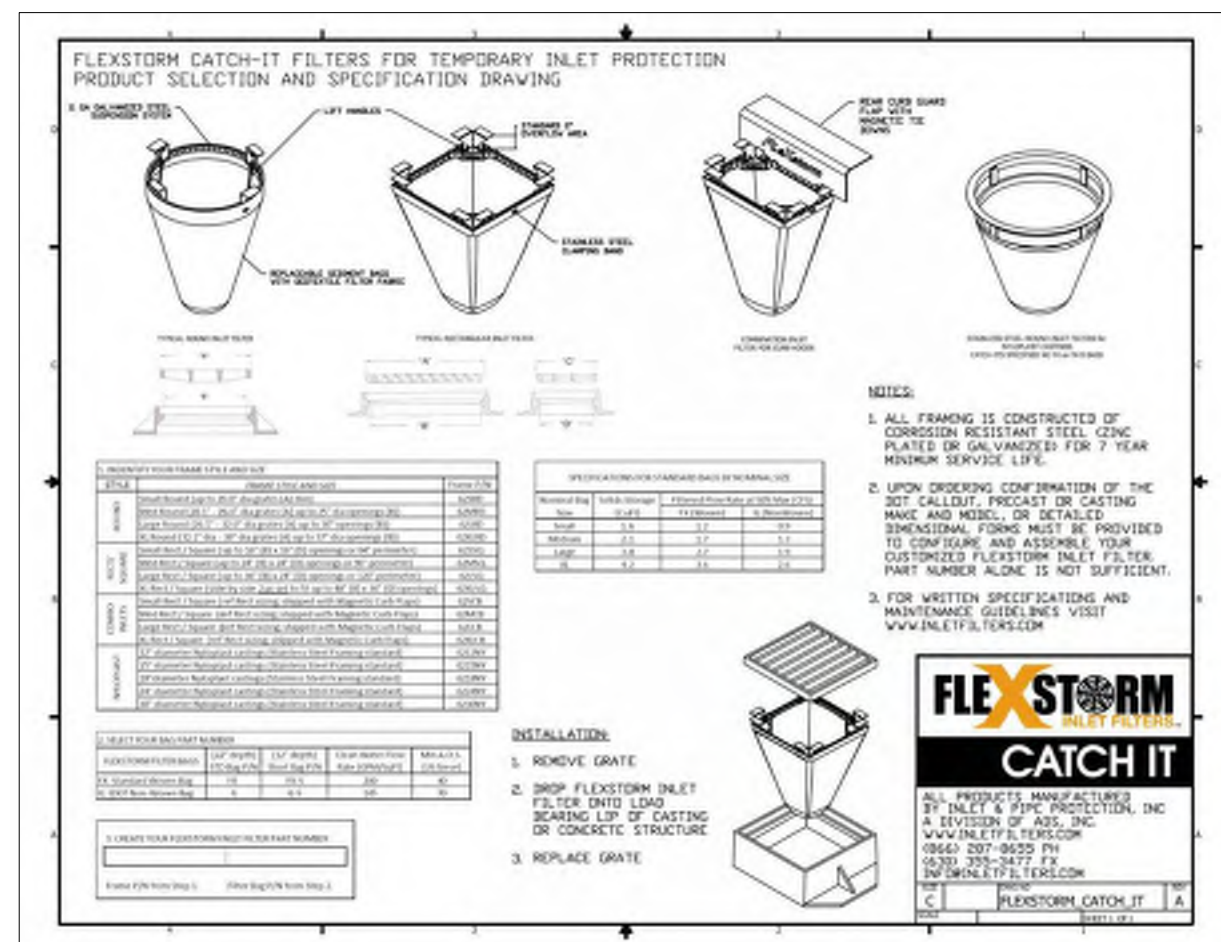
4 Silt Fence Detail (Not to Scale)



5



Stabilized Construction Entrance Detail (Not to Scale)



6

Inlet Protection Detail (Not to Scale)



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Details

SCALE IN FEET

NORTH SHEET NUMBER

Package #129
C4.0
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Soil Protection Chart

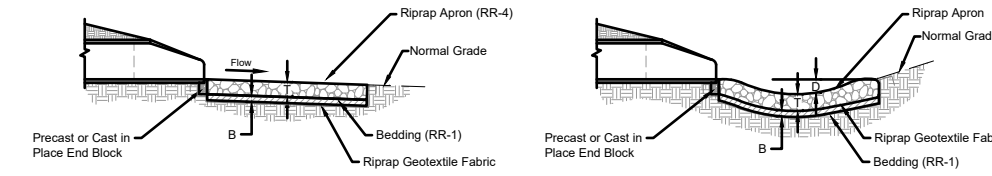
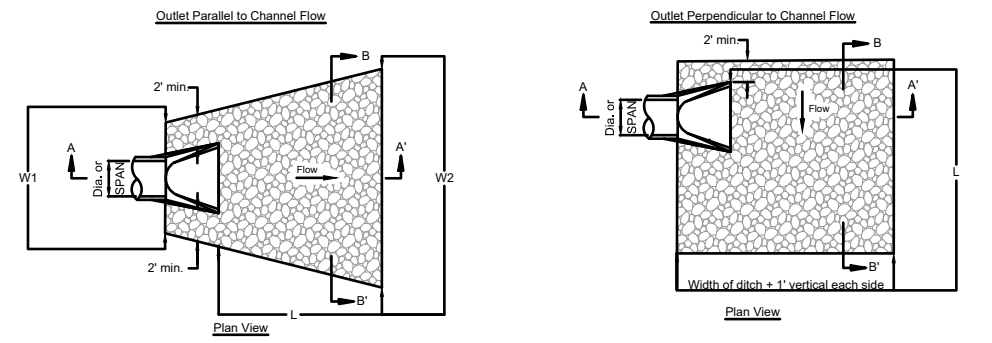
| Stabilization Chart | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec |
|---------------------|-----|-----|------|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| Permanent Seedings | A | | | | | * | * | | * | | | |
| Dormant Seedings | B | | | | | | | | | | B | |
| Temporary Seedings | | | C | | | D | | | | | | |
| Sodding | | | E ** | | | | | | | | | |
| Mulching | F | | | | | | | | | | | |

- A - Kentucky Bluegrass 90 lbs./ac. Mixed with Perennial Ryegrass 30 lbs./ac.
- B - Kentucky Bluegrass 135 lbs./ac. Mixed with Perennial Ryegrass 45 lbs./ac. 2 tons
- C - Spring Oats 100 lbs./ac.
- D - Wheat or Cereal Ry
- E - Sod (Nursery Grown Kentucky Bluegrass)
- F - Straw Mulch 2 tons per acre
- * Irrigation needed during June, July and September
- ** Irrigation needed for 2-3 weeks after sodding

| | |
|---------------------------|---------------|
| ROADSIDE MIXTURE | IDOT 2 |
| 50% ALTA FESCUE OR KY 31 | 100# |
| 25% PERENNIAL RYE GRASS | 50# |
| 20% CREEPING RED FESCUE | 40# |
| 5% RED TOP | 10# |
| | 200#/A |
| TEMPORARY SEED MIX | IDOT 7 |
| 56% SPRING OATS | 64# |
| 44% PERENNIAL RYEGRASS | 50# |
| | 114#/A |

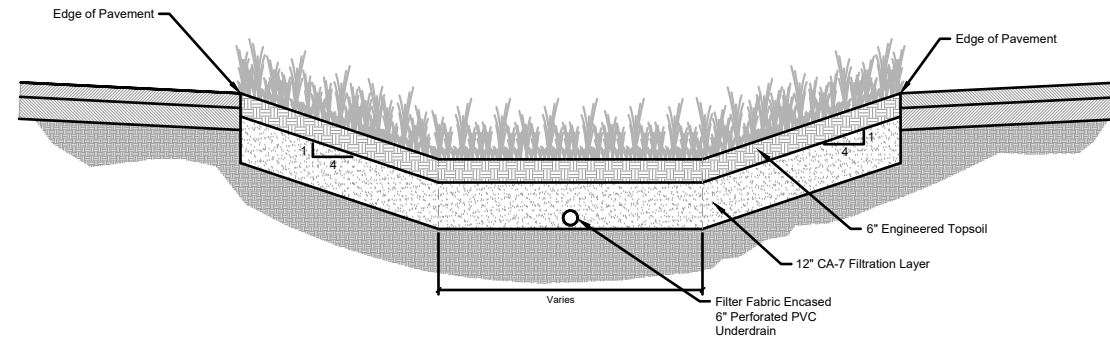
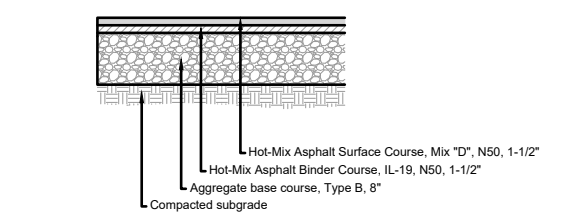
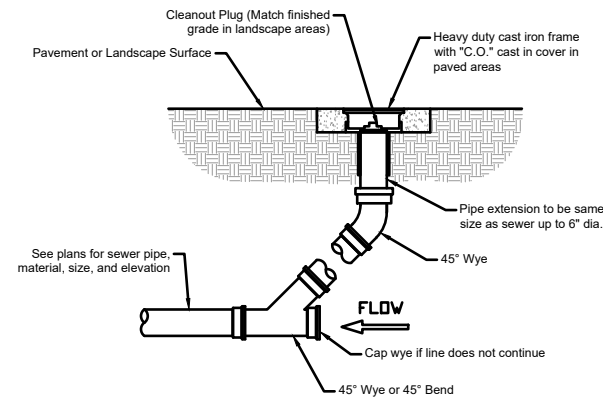
COORDINATE SEED MIX WITH POLYACRYLAMIDE (PAM) POLYMER SPECIFIC TO AREA TO BE STABILIZED.

① Temporary Stabilization During Growing Season (Not to Scale)



| DIA. OF ROUND INLET PIPE (in) | IDOT RIPRAP GRADATION (RR) | RIPRAP APRON THICKNESS (in) | RIPRAP BEDDING THICKNESS (in) | APRON LENGTH (ft) | APRON WIDTH UPSTREAM (ft) | APRON WIDTH DOWNSTREAM (ft) | DEPTH BELOW NORMAL GRADE (in) |
|-------------------------------|----------------------------|-----------------------------|-------------------------------|-------------------|---------------------------|-----------------------------|-------------------------------|
| 12 | RR-3 | 8.0 | - | 12.0 | 5.0 | 11.0 | 6.0 |
| 15 | RR-3 | 8.0 | - | 14.0 | 5.0 | 12.0 | 6.0 |
| 18 | RR-4 | 16.0 | 6.0 | 16.0 | 5.5 | 13.5 | 7.0 |
| 24 | RR-4 | 16.0 | 6.0 | 20.0 | 6.0 | 16.0 | 10.0 |
| 30 | RR-4 | 16.0 | 6.0 | 22.0 | 6.0 | 17.0 | 11.0 |
| 36 | RR-4 | 16.0 | 6.0 | 24.0 | 7.0 | 19.0 | 11.0 |

② Riprap Outlet Protection Detail (Not to Scale)



③ Cleanout Detail (Not to Scale)

④ Parking Lot Pavement Section (Not to Scale)

⑤ Bioswale Detail (Not to Scale)



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PREPARED FOR
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Recreation Park

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CONSULTANTS
Civil Engineer
Hey and Associates, Inc.
Chicago, Illinois 60631
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DRAWN BY: MBG

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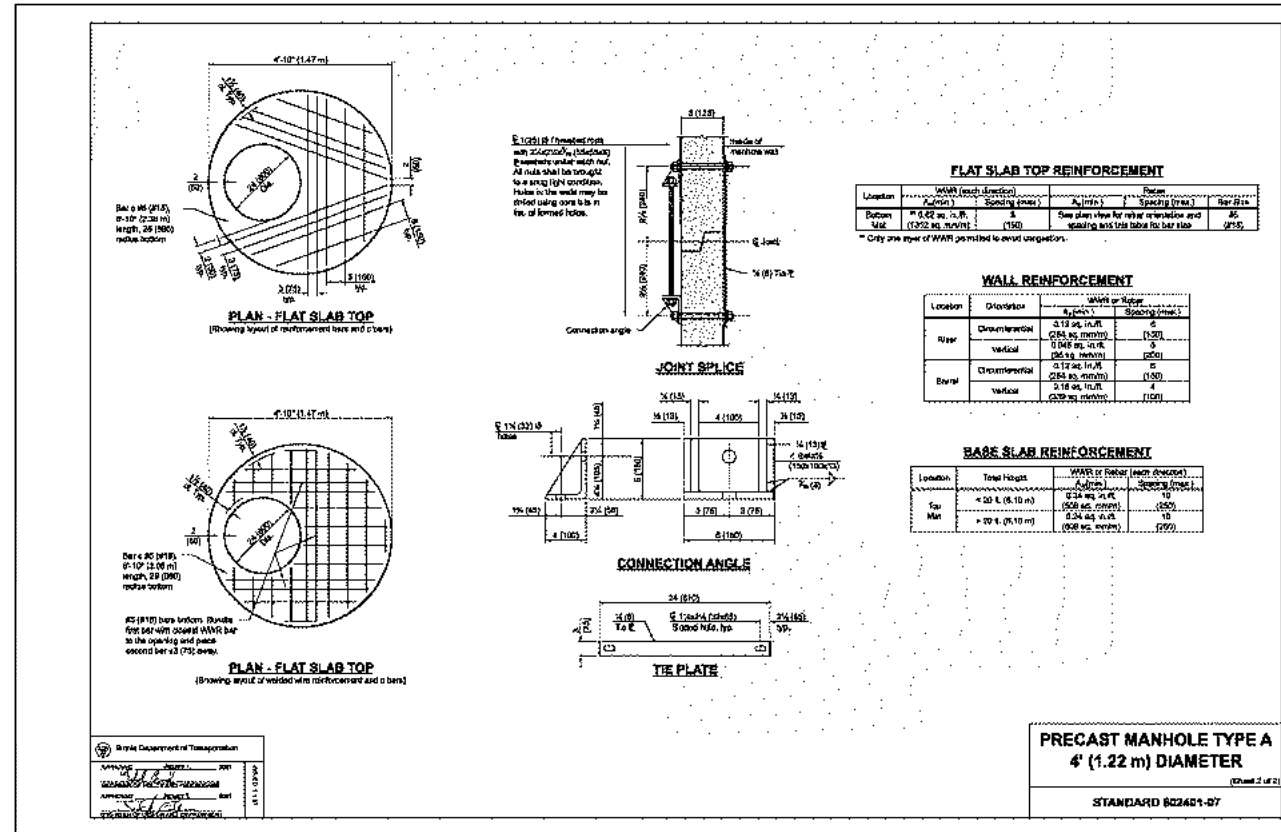
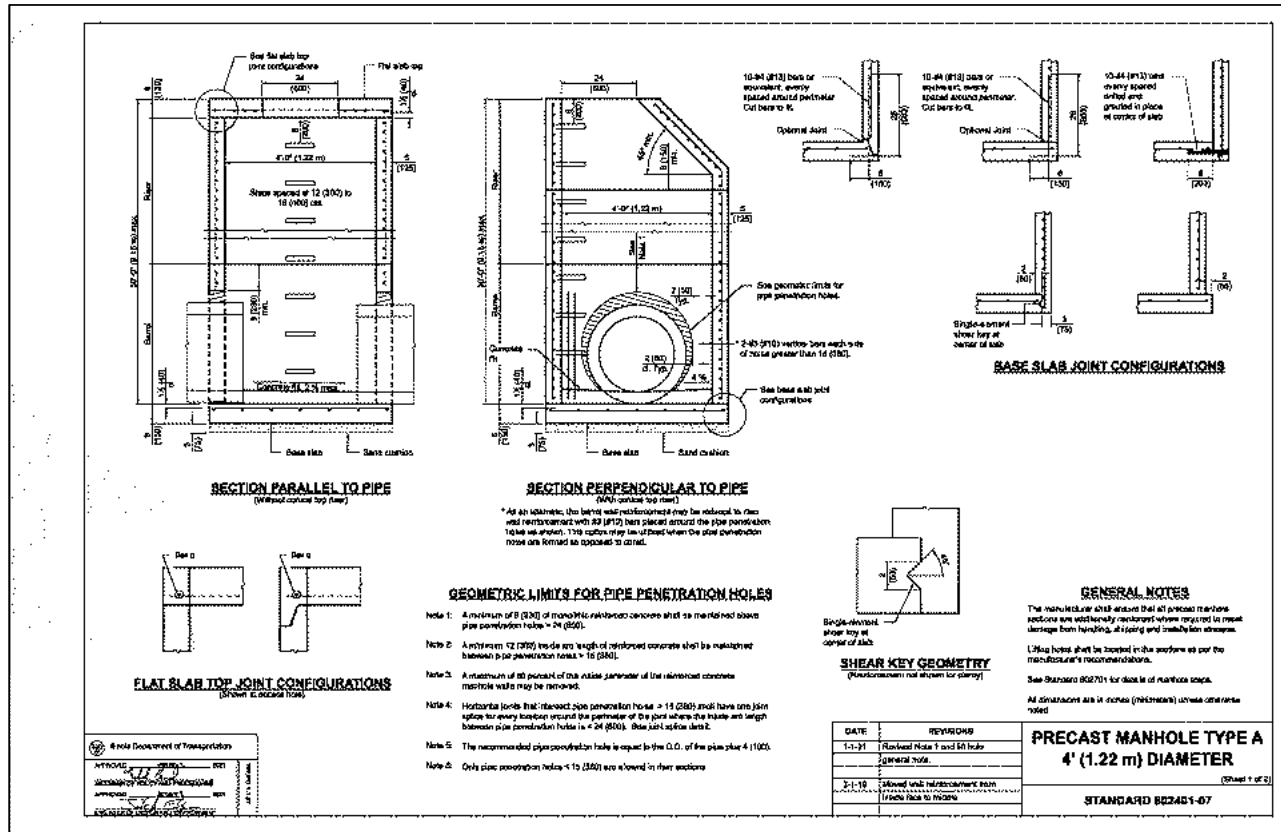
Details

SCALE IN FEET



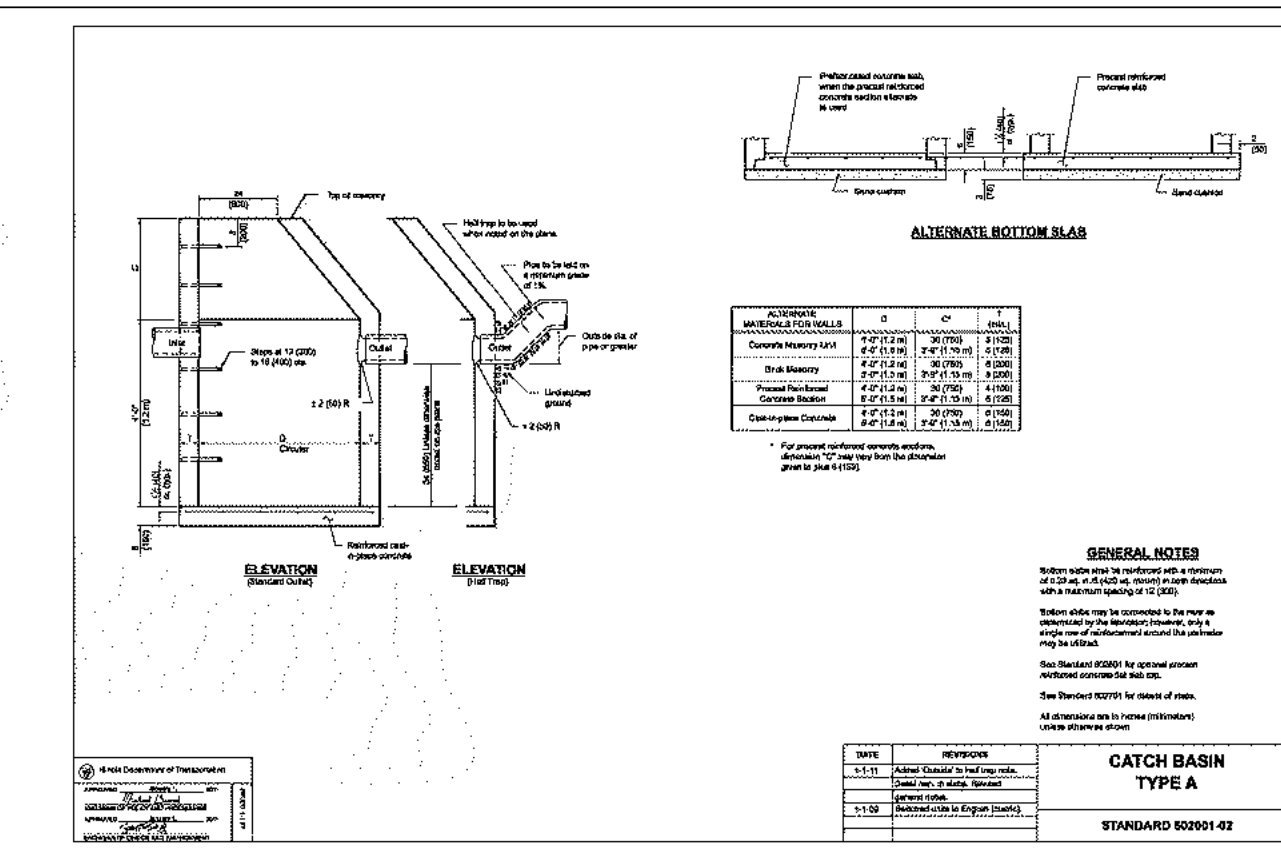
NORTH SHEET NUMBER

Package #130 **C4.1**
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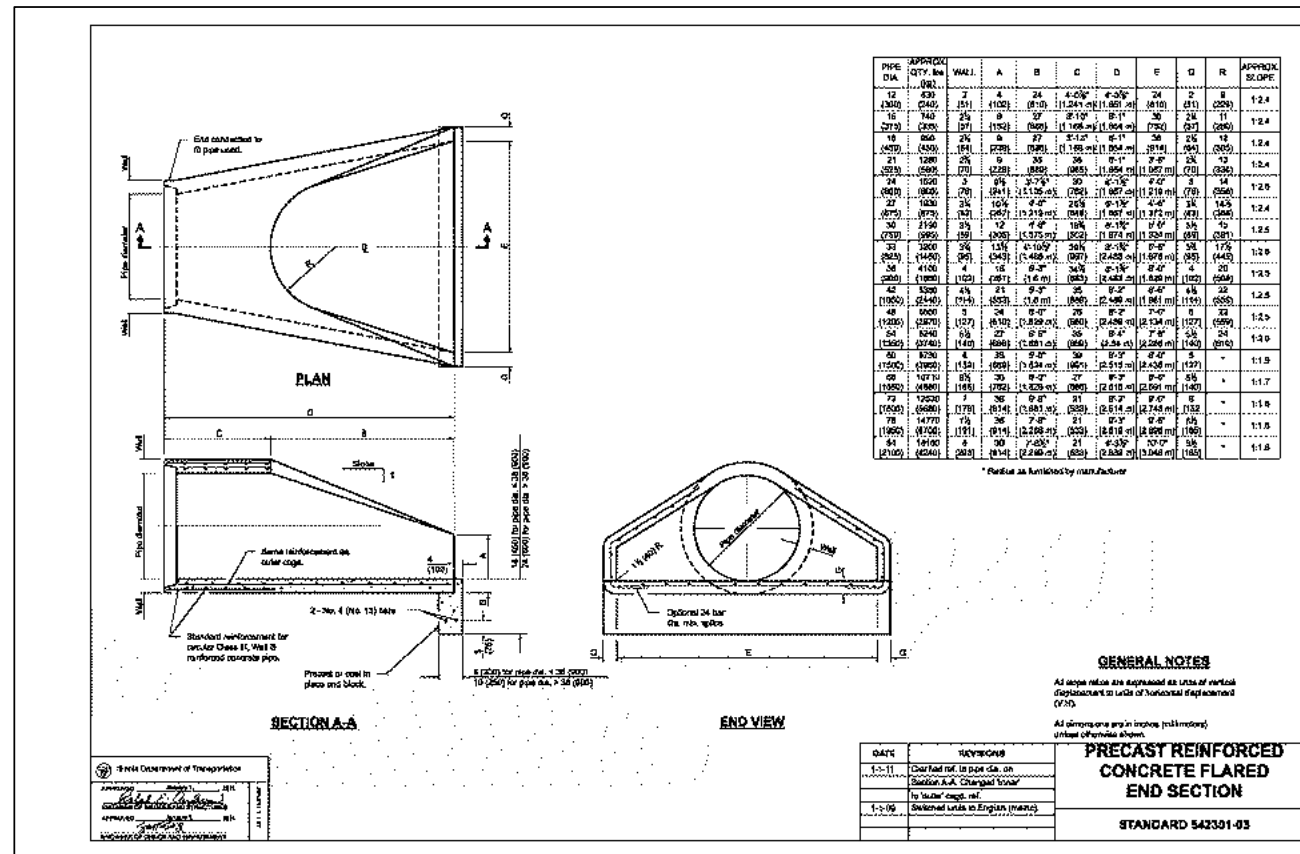
Manhole, Type A, 4'-Diameter
(Not to Scale)

1



Catch Basin, Type A
(Not to Scale)

2



Precast Reinforced Concrete Flared End Section
(Not to Scale)

3

REVISIONS

| No | Date | Issue |
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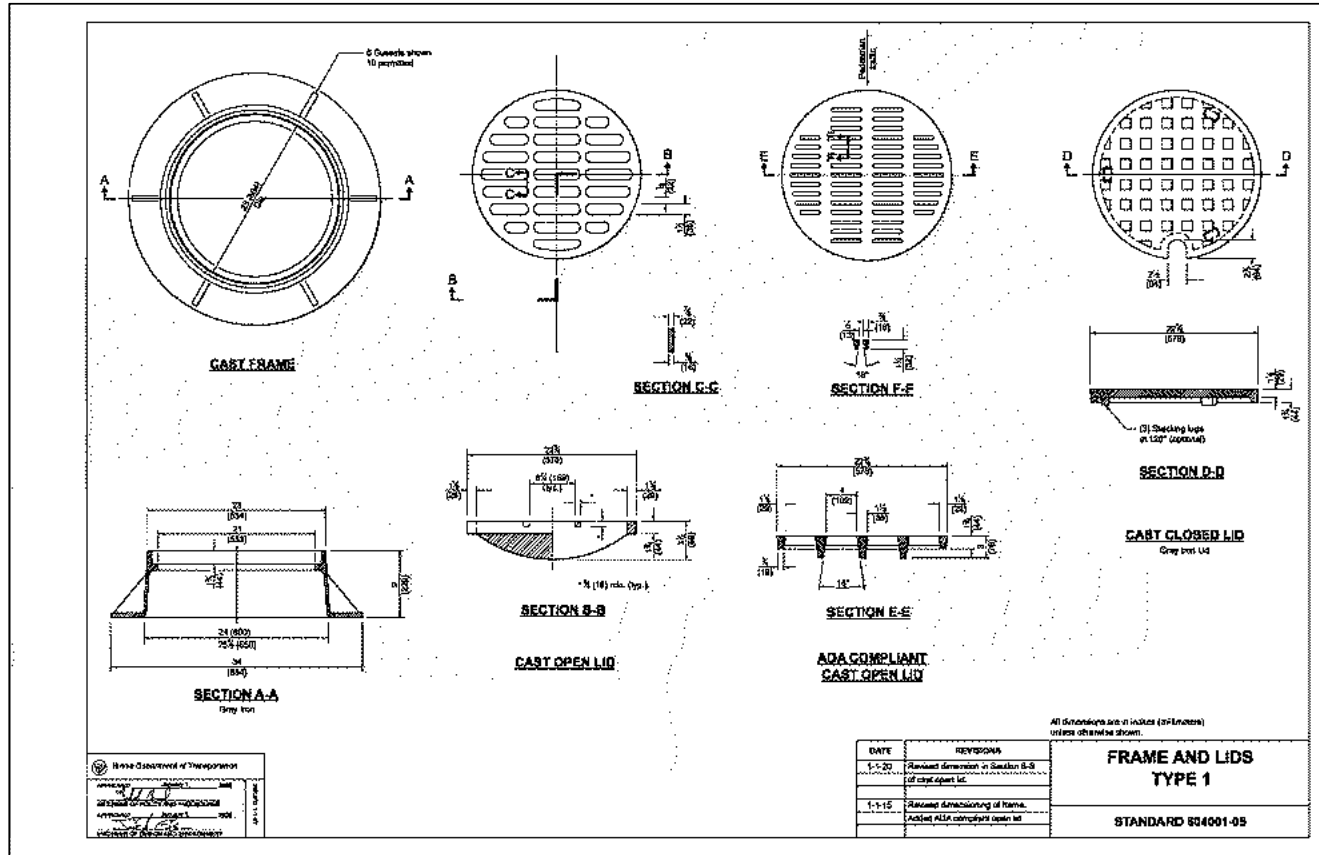
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Details

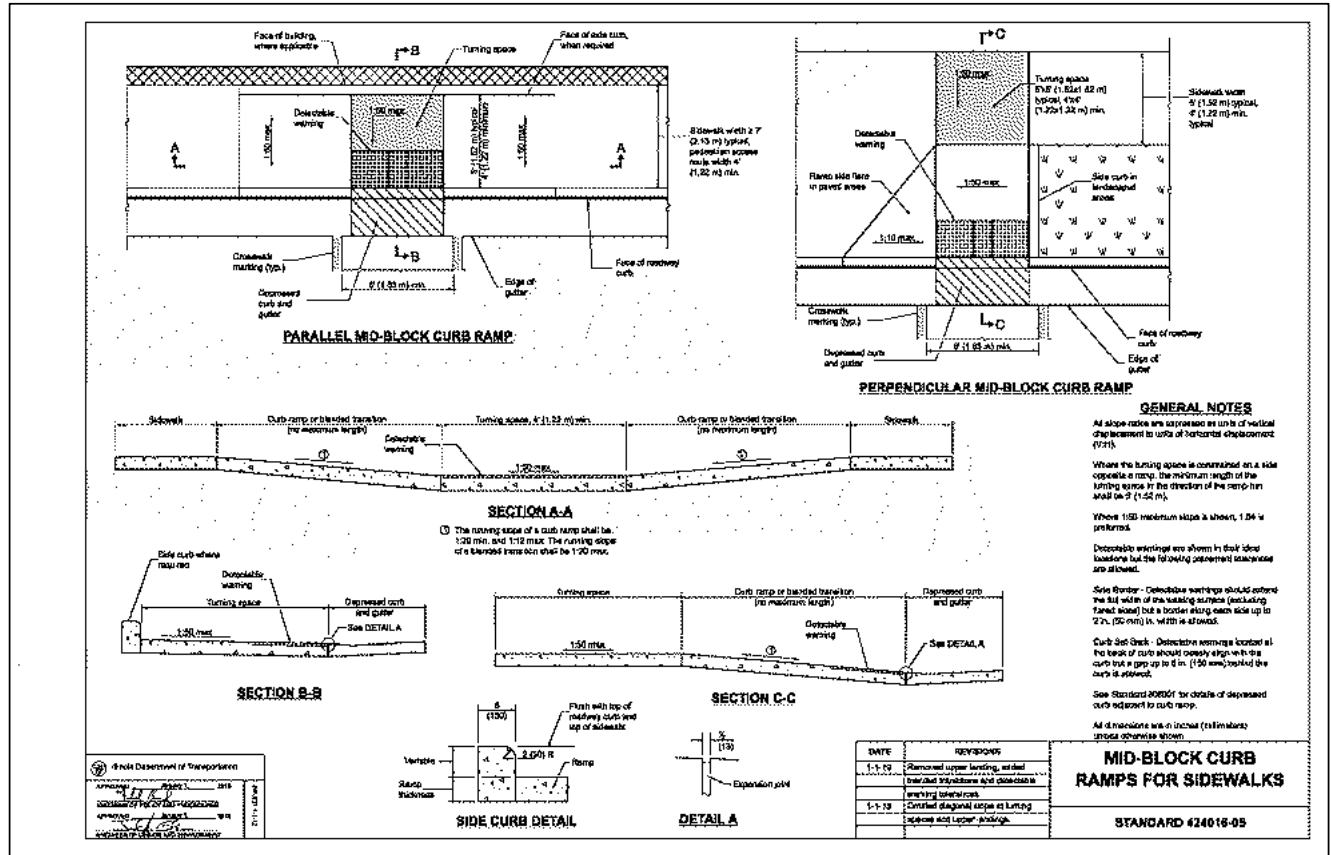
SCALE IN FEET

NORTH

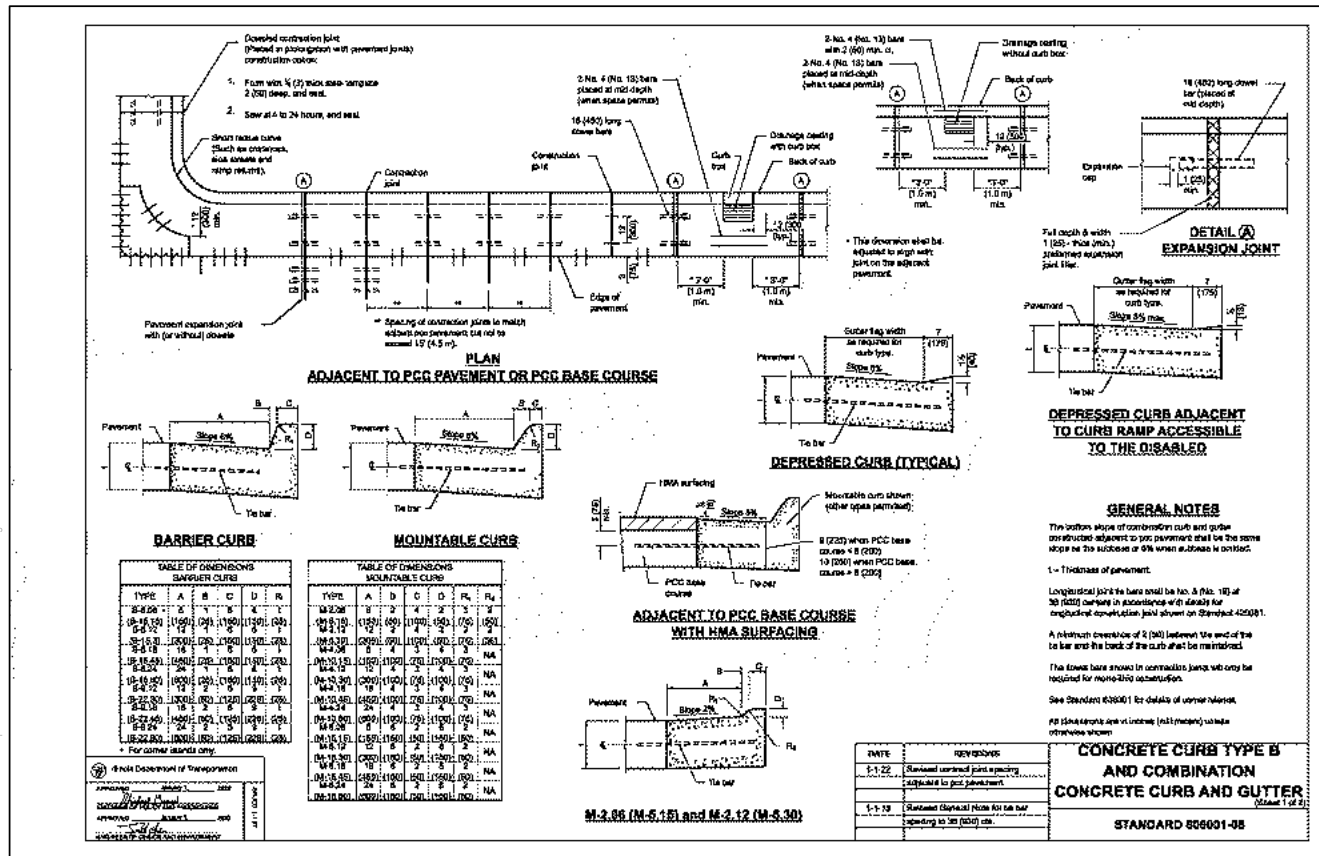
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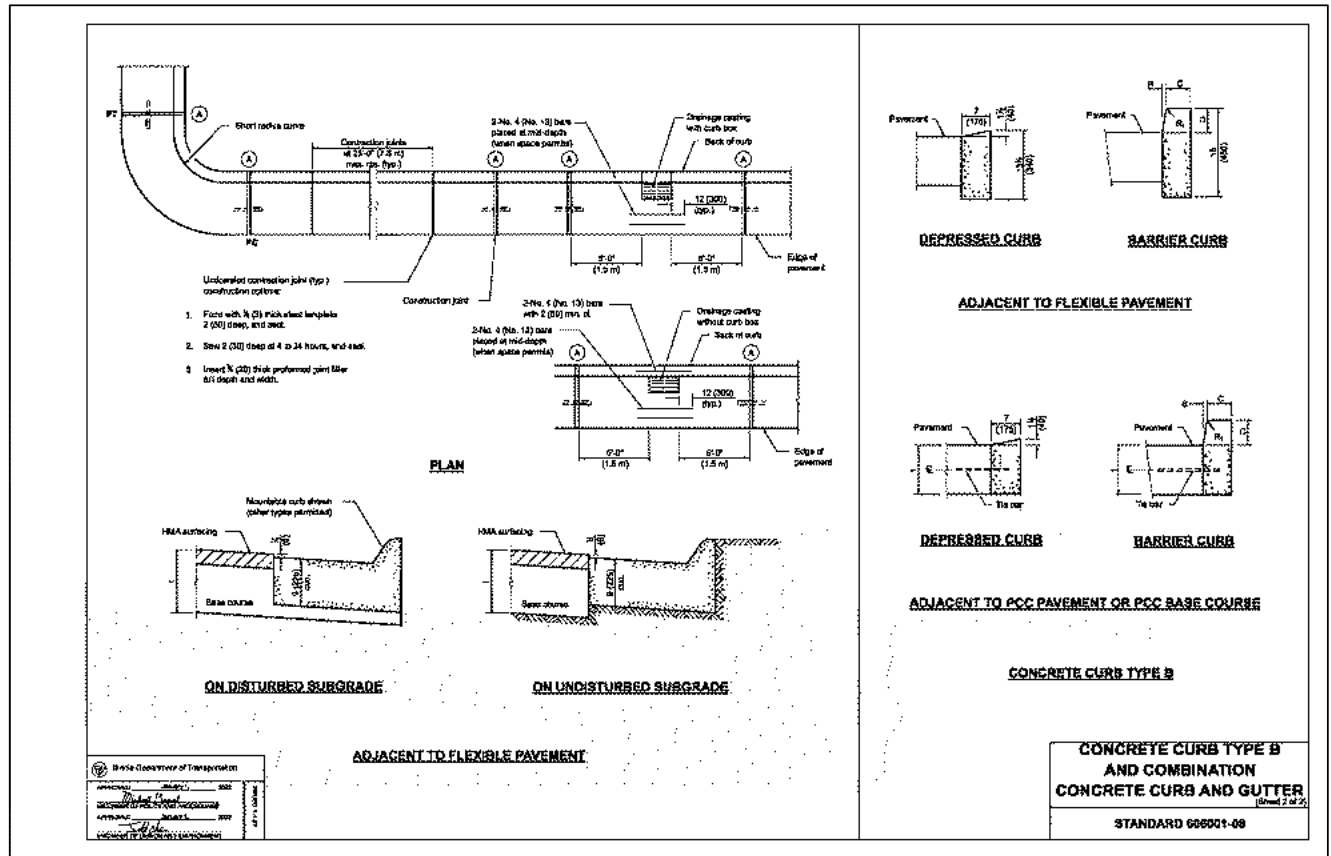
1 Frames and Lids, Type 1 (Not to Scale)



2 Parallel Curb Ramp Detail (Not to Scale)



3 Concrete Curb and Gutter Detail (Not to Scale)



4 Concrete Curb and Gutter Detail (Not to Scale)

| REVISIONS | | |
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| No | Date | Issue |
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Hitchcock Design Group
March 25, 2024
Page 1

Hey and Associates, Inc.
Engineering, Ecology and Landscape Architecture

*26575 W. COMMERCE DRIVE, SUITE 601
VOLO, ILLINOIS 60073
PHONE (847) 740-0888
FAX (847) 740-2888*

MEMORANDUM

TO: Village of Wood Dale

CC: Wood Dale Park District, Hitchcock Design Group

FROM: Dave Kraft, P.E., CFM

DATE: March 25, 2024

RE: Wood Dale Recreation Center – Regulatory Requirements

PROJECT NO. 23-0107

The following is a summary of anticipated regulatory requirements for the referenced project, specifically outlining proposed stormwater management features for consideration and comment during the pending annexation process for the subject property. These are supported by the draft plans included with the annexation request. We understand a full stormwater management report will be required during final permitting. The preliminary information provided below is supplemented by the attached impervious area exhibit. We are requesting general concurrence with the information provided as part of the annexation process to allow for final design and permit documents to be prepared.

City of Wood Dale

- Wood Dale is a Complete Waiver community and it is expected that they will be responsible for site permitting, including stormwater permitting pending the forthcoming annexation.
- The City requires detention for more than 10,000 sq ft (Sec. 10.105.2)
 - Calculations supported by attached exhibits
 - Existing Impervious removals = 21,473 sf
 - Proposed Sidewalk = 8,066 sf
 - Proposed Asphalt Path = 5,676 sf
 - Proposed Tennis Court = 7,200 sf
 - Proposed Pickleball Court = 9,628 sf
 - Total proposed impervious = 30,570 sf

- Net New Impervious = 9,097 sf
- Site Runoff Storage will not be required as the impervious area will not increase more than 25,000 sq. ft compared to the pre-development development site prior to 1992.
- Post Construction Best Management Practices are required pending final quantification of net new impervious surface for the project area. (Sec. 10.105.8.b.1)
 - The required VCBMP volume shall be calculated as the product of the new impervious area and the rainfall depth generated from a 1.25-inch rainfall event occurring over a two (2) hour period. No abstractions are taken on the rainfall depth.
 - Required Volume = 9,097 sf x 1.25 in = 948 cf (0.02 ac-ft)
 - BMP Bioswale Volume = 0.05 ac-ft

Illinois Environmental Protection Agency

- A Stormwater Pollution Prevention Plan (SWPPP) and Notice of Intent (NOI) are required if the project will disturb one (1) acre of land or greater. As the full extent of disturbance is not known at this time for this project, it is unknown if an NOI and SWPPP will be required.

General

- No floodplain or wetlands exist on the site, so no additional permitting will be required for these items.



LEGEND

 Impervious Area Removal (21,473 sf)



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Recreation Park
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CONSULTANTS
Civil Engineer
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SHEET TITLE

Existing Impervious Removals Exhibit

SCALE IN FEET
1" = 30'



NORTH SHEET NUMBER



Package Page #135

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Proposed Impervious Area (30,570 sf)



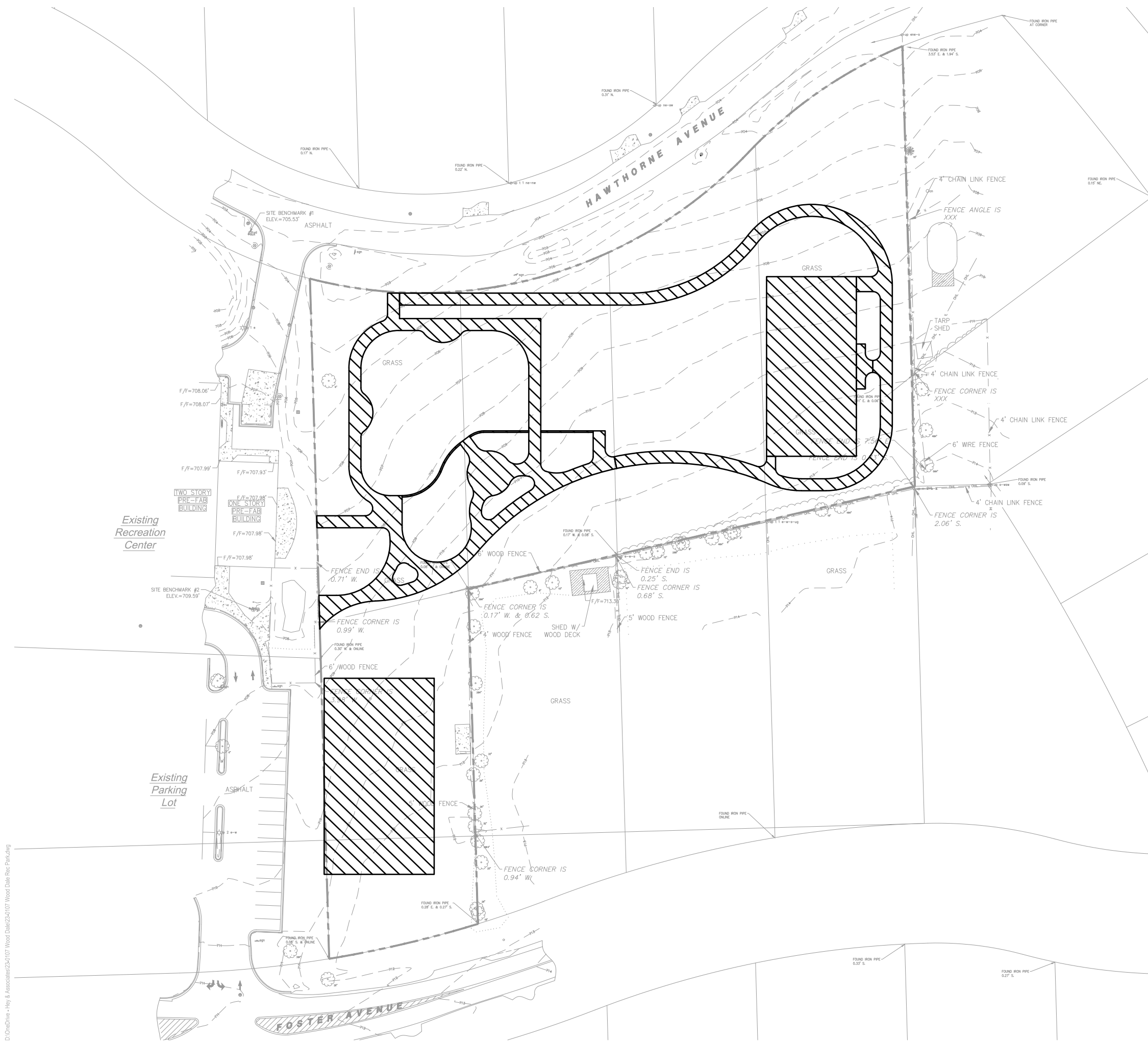
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SHEET TITLE

Proposed Impervious Exhibit

SCALE IN FEET
1" = 30'



NORTH SHEET NUMBER





Memorandum

Date: April 28, 2024
From: Wood Dale Park District (WDPD)
Hitchcock Design Group (HDG)
To: City of Wood Dale (COWD)

RE: Recreation Park – Parking Analysis

To the Community Development Commission,

While developing the 2022 site master plan and current final design for the new space, both Wood Dale Park District and Hitchcock Design group carefully analyzed the parking needs that would be generated by the new outdoor amenities that will be added to the site. The proposed development will be a neighborhood-scale sized new park/open space area adjacent to the Park District's Recreation Complex (an existing facility) with an existing large parking area provided. Neighborhood parks of this similar size and amenity offerings (as determined by the Illinois Department of Natural Resources) are typically "walk-to" destinations and do not generate significant increase in traffic.

Also, a peak use parking study calculation was conducted to determine the number of cars that would need parking provided if and when all new amenities and components were at full use – *please see the attached summary of that calculation*. This study factors in users, spectators, and/or caretakers that would accompany each use. The findings from the study show that (36) parking spaces would be needed to support the park during peak use. The existing parking lot consists of (156) total spaces (147 standard & 9 ADA). Also worth noting, (2) existing spaces are planned to be re-striped and dedicated as accessible parking spaces with a shared access lane and ADA signage at the northeast corner of the existing parking lot, closer to the main entry to the new park and nearby pickleball courts. Based on our discussions with the Park District, current use of the existing parking lot rarely (if ever) reaches full capacity. Additionally, the Park District has confirmed the (48) spaces to the west of the Recreation Complex are rarely utilized and could be designated as an "overflow" parking area once park construction is complete and ready for public use. Furthermore, peak use of the new park will typically occur in the early evening hours during the week and on the weekends, which are separate from peak use of the Recreation Complex (during normal work week hours), so peak use of both will be offset and never occur simultaneously.

As a result of this parking study and analysis of current use, no additional parking is planned to be provided with this project as the existing parking lot provides sufficient capacity for continued use of the existing facility and the addition of the new park.

Sincerely,

Doug Fair, Principal
Hitchcock Design Group

221 W. Jefferson Avenue
Naperville, Illinois 60540
630.961.1787

hitchcockdesigngroup.com



Peak Usage Parking Study

Estimated People Per Car 2.5

Recreation Park

| Sports | | Players/Users | Coaches | Officials / Staff Required | Fans / Spectators Per Player | Spectators | Total People | Cars |
|---------------------|---|---------------|---------|----------------------------|------------------------------|------------|--------------|------|
| Court Sports | | | | | | | | |
| Tennis | 1 | 4 | 0 | 0 | 0.5 | 2 | 7 | 3 |
| Pickleball | 1 | 16 | 0 | 0 | 0 | 0 | 16 | 11 |
| | | | | | | | 23 | 13 |

| Season of Use | | | | | | | |
|---------------|----|--------|----|------|----|--------|---|
| Spring | | Summer | | Fall | | Winter | |
| X | 3 | X | 3 | X | 3 | | - |
| X | 11 | X | 11 | X | 11 | | - |
| | 13 | | 13 | | 13 | | - |

| General Activities | | Capacity | -- | Officials / Staff Required | Parents / Caretakers Per Kid | Kids | Total People | Cars |
|--------------------|---|----------|----|----------------------------|------------------------------|------|--------------|------|
| shelter - small | 1 | 9 | 0 | 0 | 0 | 0 | 9 | 4 |
| playground | 1 | 15 | 0 | 0 | 1.5 | 22.5 | 39 | 16 |
| | | | | | | | 58 | 23 |

| Spring | | Summer | | Fall | | Winter | |
|--------|----|--------|----|------|----|--------|---|
| X | 4 | X | 4 | X | 4 | | - |
| X | 16 | X | 16 | X | 16 | | - |
| | 23 | | 23 | | 23 | | - |

81 36 SP 36 SU 36 FA 36 WI 0

PREPARED FOR:
WOOD DALE PARK DISTRICT
111 FOSTER AVENUE
WOOD DALE, ILLINOIS

AFTER RECORDING MAIL TO:
WOOD DALE PARK DISTRICT
111 FOSTER AVENUE
WOOD DALE, ILLINOIS

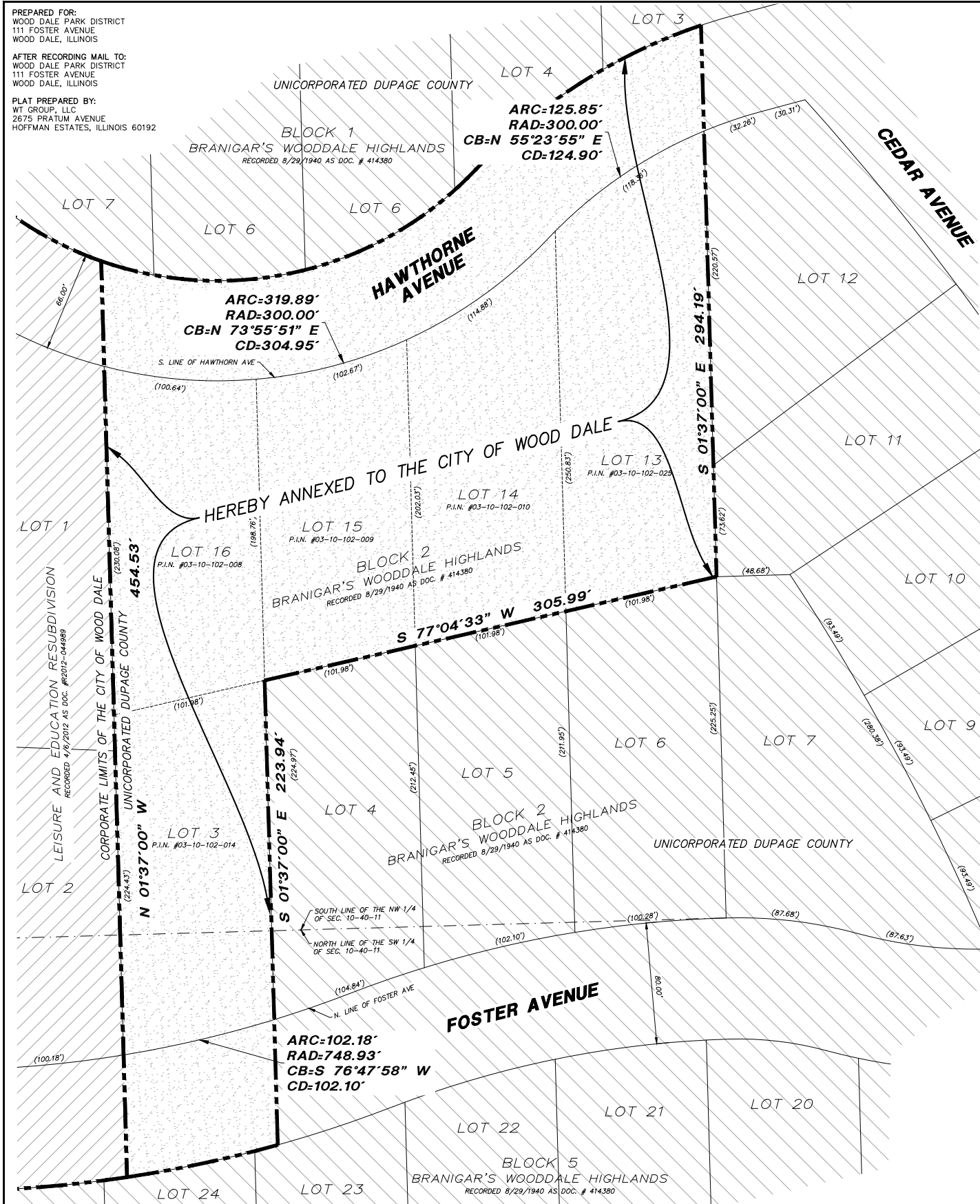
PLAT PREPARED BY:
WT GROUP, LLC
2675 PRATUM AVENUE
HOFFMAN ESTATES, ILLINOIS 60192

PERMANENT INDEX NUMBER (P.I.N. #):
03-10-102-008
03-10-102-009
03-10-102-010
03-10-102-014
03-10-102-025

PLAT OF ANNEXATION

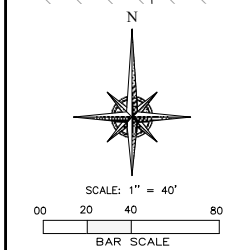
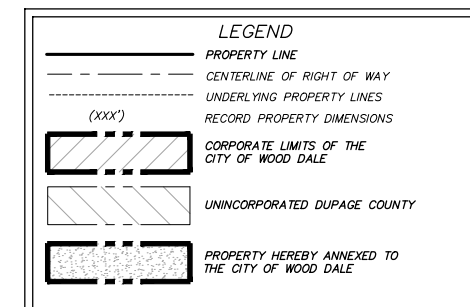
PROPERTY DESCRIPTION
LOT 3 AND LOTS 13 THROUGH 16 IN BLOCK 2 IN BRANIGAR'S WOODDALE HIGHLANDS SUBDIVISION IN SECTION 9 AND 10, TOWNSHIP
40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT H
CDC-2024-0004



SURVEY NOTES:

1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201' ZONE.
2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

PLAT APPROVED BY THE CITY OF WOOD DALE, ILLINOIS.

DATED THIS ____ DAY OF _____

MAYOR _____ ATTEST: _____ CITY CLERK

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE ____ DAY OF _____, A.D. ____ AT ____ O'CLOCK ____ M.

RECORDER OF DEEDS _____

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE LEGAL OWNER OF THE LAND DESCRIBED ON THE ATTACHED PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN ON THE PLAT FOR THE USES AND PURPOSES INDICATED THEREON AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS ____ DAY OF _____

OWNER _____

ADDRESS _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY & STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO CERTIFY THAT, ON BEHALF OF THE WT GROUP, LLC, I, FRANJO I. MATIČIĆ, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE PREPARED THE MAP HEREON FROM OFFICE RECORDS FOR THE PURPOSE OF ANNEXING THE SAME INTO THE CITY OF WOOD DALE, ILLINOIS AND THE MAP HEREON DRAWN IS A CORRECT REPRESENTATION OF THE PROPERTY TO BE ANNEXED.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, A.D. ____

BY: **FOR REVIEW 4/30/24**

FRANJO I. MATIČIĆ - PLS #035-003556 EXPIRES 11/30/2024
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

WT GROUP
Engineering with Precision, Pace and Passion
2675 Pratum Avenue | Hoffman Estates, IL 60192
T: 224.293.6333 | F: 224.293.6444
wtgroup.com

WT Group
Engineering • Design • Consulting

RECREATION PARK
HAWTHORNE & FOSTER AVENUES
WOOD DALE, ILLINOIS

ISSUE

| | |
|--------|---------|
| TO | DATE |
| CLIENT | 4/30/24 |
| | |
| | |
| | |

CHECK: FIM
DRAWN: MWO
JOB: S2300120

PREPARED FOR & AFTER RECORDING MAIL TO:
WOOD DALE PARK DISTRICT
111 FOSTER AVENUE
WOOD DALE, ILLINOIS

PLAT PREPARED BY:
WT GROUP, LLC
2675 PRATUM AVENUE
HOFFMAN ESTATES, ILLINOIS 60192

PIN #s 03-10-102-008
03-10-102-009
03-10-102-010
03-10-102-014
03-10-102-025
03-10-102-035

LOT 1
WOOD DALE
FIRE PROTECTION
DISTRICT
CONSOLIDATION
DOC. #R1992-202985

SCHOOL DISTRICT 7
RE-SUBDIVISION
DOC. #R2012-044989

LOT 1
LEISURE AND EDUCATION RESUBDIVISION
RECORDED 4/6/2012 AS DOC. #R2012-044989

LOT 2
LEISURE AND EDUCATION RESUBDIVISION
RECORDED 4/6/2012 AS DOC. #R2012-044989

LOT 1
LEISURE AND EDUCATION RESUBDIVISION
RECORDED 4/6/2012 AS DOC. #R2012-044989

LOT 2
LEISURE AND EDUCATION RESUBDIVISION
RECORDED 4/6/2012 AS DOC. #R2012-044989

LOT 3
P.I.N. #03-10-102-014

LOT 4
P.I.N. #03-10-102-010

LOT 5
P.I.N. #03-10-102-009

LOT 6
P.I.N. #03-10-102-025

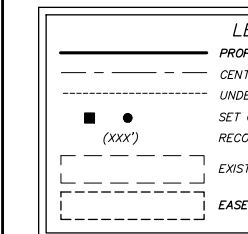
LOT 7
P.I.N. #03-10-102-010

LOT 8
P.I.N. #03-10-102-010

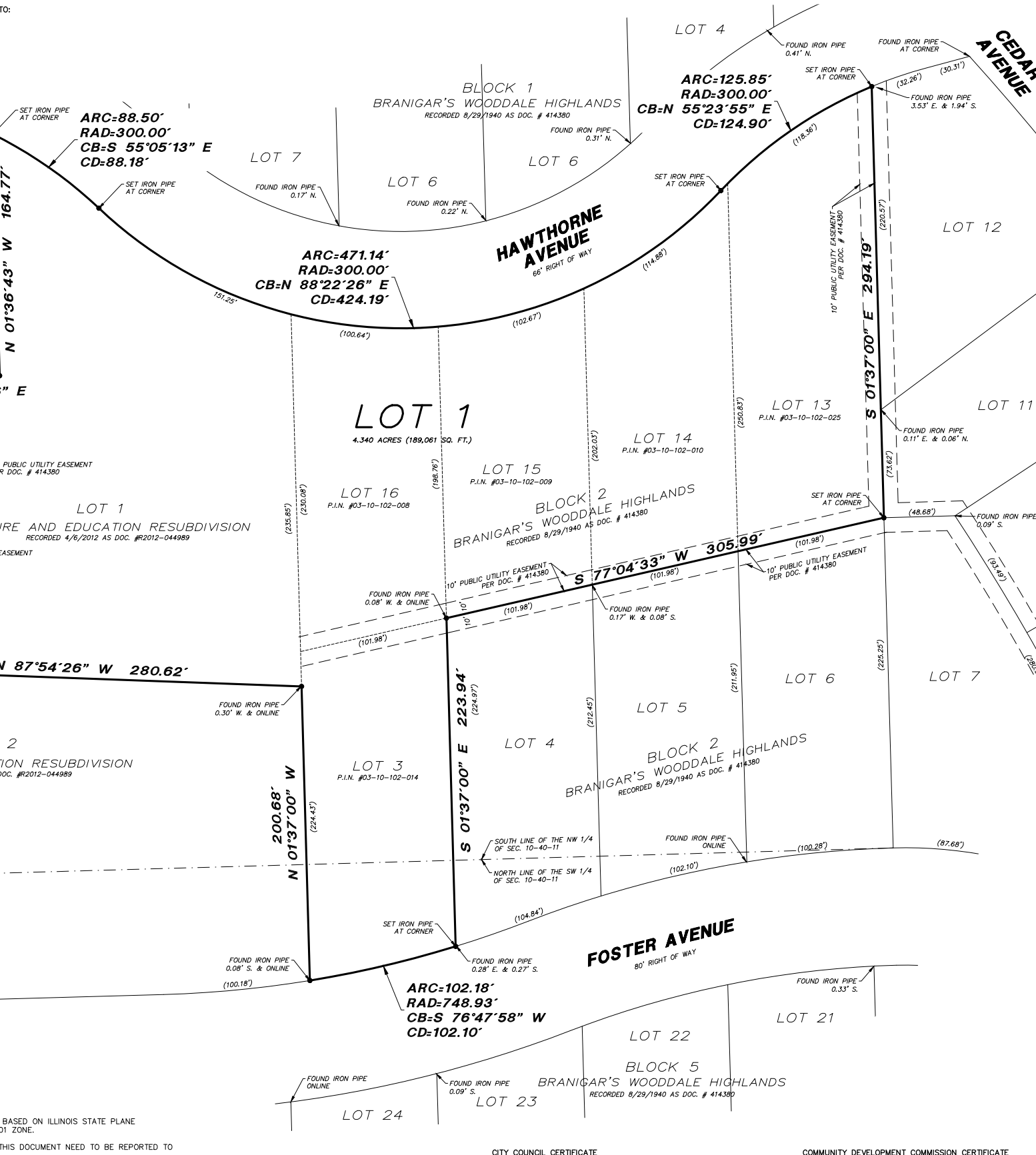
LOT 9
P.I.N. #03-10-102-010

LOT 10
P.I.N. #03-10-102-010

SURVEY NOTES:
1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



SCALE: 1" = 40'
00 20 40 80
BAR SCALE



FINAL PLAT OF RECREATION PARK RESUBDIVISION

BEING A RESUBDIVISION OF LOT 3 AND LOTS 13 THROUGH 16 IN BLOCK 2 IN BRANIGAR'S WOODDALE HIGHLANDS SUBDIVISION IN SECTION 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COUNTY CLERK'S CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL AT DUPAGE COUNTY, ILLINOIS,

THIS ____ DAY OF _____

COUNTY CLERK
DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____, A.D. _____ AT _____ O'CLOCK _____M.

RECORDER OF DEEDS

OWNER'S CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED ON THIS PLAT HEREON DRAWN AND SHOWN AS SUBDIVIDED; THAT THEY HAVE CAUSED SAID LAND TO BE SURVEYED, RESUBDIVIDED, STAKED AND PLATTED AS SHOWN HEREON, FOR THE PURPOSES THEREIN SET FORTH AS ALLOWED AND PROVIDED BY STATUTE, THE RESUBDIVISION TO BE KNOWN AS "RECREATION PARK RESUBDIVISION", CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS AND DOES HEREBY ACKNOWLEDGE AND ADOPT SAME, AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUBDIVISION SUBDIVISION OR PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUB SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.
TO THE BEST OF OUR KNOWLEDGE, THE PROPERTY DESCRIBED HEREIN LIES WITHIN WOOD DALE SCHOOL DISTRICT 7.

DATED THIS ____ DAY OF _____

OWNER
WOOD DALE PARK DISTRICT
111 FOSTER AVENUE, WOOD DALE, IL 60191

NOTARY'S CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY & STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

SURVEYOR'S CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO CERTIFY THAT, ON BEHALF OF THE WT GROUP, LLC, I, FRANJO I. MATICIC, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND PREPARED FOR SUBDIVISION PURPOSES THE PROPERTY LEGALLY DESCRIBED HEREON AS SHOWN BY THE PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SUBDIVISION. ALL DISTANCES ARE SHOWN IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
LOT 3 AND LOTS 13 THROUGH 16 IN BLOCK 2 IN BRANIGAR'S WOODDALE HIGHLANDS SUBDIVISION IN SECTION 9 AND 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.
AND

LOT 1 IN THE FINAL PLAT OF SUBDIVISION OF LEISURE AND EDUCATION RESUBDIVISION BEING A RESUBDIVISION OF PART OF SECTION 9 AND SECTION 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.
WE FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF THE CITY OF WOOD DALE, ILLINOIS WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND WHICH IS EXERCISING THE ILLINOIS MUNICIPAL CODE, IT IS FURTHER CERTIFIED BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP SERVICE CENTER, THIS SITE FALLS WITHIN A ZONE "X" DESCRIBED AS "AREA OF MINIMAL FLOOD HAZARD", PER FEMA PANEL NUMBER 17043C0079J, HAVING AN EFFECTIVE DATE OF 08/01/2019.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, A.D. _____

BY: **FOR REVIEW 5/2/24**
FRANJO I. MATICIC - PLS #035-003556 EXPIRES 11/30/2024
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

CITY COUNCIL CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

PLAT APPROVED BY THE CITY OF WOOD DALE, ILLINOIS.
DATED THIS ____ DAY OF _____

MAYOR
ATTEST: CITY CLERK _____

COMMUNITY DEVELOPMENT COMMISSION CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

PLAT APPROVED BY THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF WOOD DALE, ILLINOIS.
DATED THIS ____ DAY OF _____

COMMUNITY DEVELOPMENT COMMISSION CHAIRMAN

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

WT GROUP
Engineering with Precision, Pace and Passion
2675 Pratum Avenue | Hoffman Estates, IL 60192
T: 224.298.6333 | F: 224.293.6444
www.wtgroup.com
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WT Group
Engineering • Design • Consulting

RECREATION PARK RESUBDIVISION
HAWTHORNE & FOSTER AVENUES
WOOD DALE, ILLINOIS

ISSUE

| | |
|--------|---------|
| TO | DATE |
| CLIENT | 4/30/24 |
| CLIENT | 5/2/24 |

CHECK: FIM
DRAWN: MWO
JOB: S2300120

Packet Page 140

SUB-1
SHEET 1 OF 1
PLAT OF SUBDIVISION



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Final Payment – PW Garage Floor Grinding
Staff Contact: Alan Lange, Public Works Director
Department: Public Works

TITLE: Approval of Final Payment to Cobra Concrete Cutting Services for the Public Works Garage Floor Diamond Grinding Project in the Amount of \$48,972.00

RECOMMENDATION:

Staff Recommends Approval of Final Payment to Cobra Concrete Cutting Services for the Public Works Garage Floor Diamond Grinding Project in the Amount of \$48,972.00.

BACKGROUND:

The City Council approved an agreement with Cobra Concrete Cutting Services on April 4, 2024, to perform diamond grinding and sealing on the concrete floor at the Public Works facility located at 720 N Central Ave. The work has been completed satisfactorily, and the contractor has submitted their final invoice. The work is covered by a 1-year warranty for materials and labor.

ANALYSIS:

The project was awarded in an amount not to exceed \$55,650.00 which is the final contract amount. The project is funded by the remaining contingency funds from the Public Works Facility Improvements Project.

DOCUMENTS ATTACHED

✓ Cobra Invoice

STRATEGIC PLAN ITEM

Yes

No

Objective: Provide Exceptional Services – Public Works ES#7: Complete renovations of Public Works facilities; demolish existing satellite building on Commercial Drive to open for future improvements/community area.



90 E Marquardt Dr
 Wheeling, IL 60090
 (773) 775-1111 Phone

Invoice # 46833

Cobra Job ID: **44712**
 Invoice Date: **05/30/2024**
 PO No: **R-24-13**
 Requisition No: **NA**
 Quote No: **0000031544**
 Name: Floor grinding
 Site Address: 720 Central Ave.
 Wood Dale, IL 60191

Bill To: 0000007186
 Wood Dale Public Works
 790 N Central Ave
 Wood Dale, IL 60191

Terms: **Net 30 Day**

| Description | Total |
|--|--|
| 5/14/24 Work Completed per Estimate #31544 - Floor Grinding \$48,972.00 | |
| | Sub Total: 48,972.00 Tax: 0.00 <hr/> Invoice Total: 48,972.00 |

Thank you for your business!

Please remit payments to **90 E. Marquardt Drive, Wheeling, IL 60090**

Cutting the Industry out of the Stone Age

PHONE: (773) 775-1111 • WWW.COBRACONCRETE.COM

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **087759**
Job No: **044712**
Date of Service: **05/02/2024 - Thursday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|---|
| | 087759 | Lead: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 087759 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: Floor grinding about 300 sqft/day |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **087760**
Job No: **044712**
Date of Service: **05/03/2024 - Friday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|---|
| | 087760 | Lead: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 087760 | Floor Grinding/Polishing | Length: Provide grinding of existing floor Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **087811**
Job No: **044712**
Date of Service: **05/06/2024 - Monday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|--|
| | 087811 | Lead: Daniel Powell | Arrived: 7:00AM Departed: 3:00PM |
| | 087811 | Adtl: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 087811 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: Vacuumed floor then clean with floor cleaner. Sealed area that was finished. |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **087848**
Job No: **044712**
Date of Service: **05/07/2024 - Tuesday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|---|
| | 087848 | Lead: Daniel Powell | Arrived: 7:00AM Departed: 3:00PM |
| | 087848 | Adtl: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 087848 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: Moved stuff to other side to to be able to grind. Swept up big stuff and dumped in garbage. Both of us grind floors with different segments. Vacuum up floor when finished in section. |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **087849**
Job No: **044712**
Date of Service: **05/08/2024 - Wednesday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|--|
| | 087849 | Lead: Daniel Powell | Arrived: 7:00AM Departed: 3:00PM |
| | 087849 | Adtl: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 087849 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **087850**
Job No: **044712**
Date of Service: **05/09/2024 - Thursday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|---|
| | 087850 | Lead: Daniel Powell | Arrived: 7:00AM Departed: 3:00PM |
| | 087850 | Adtl: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 087850 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: Continue grinding , hand grinding edges, vacuum floor, clean floor with floor cleaner a degreaser. Sealed area by office. |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **087851**
Job No: **044712**
Date of Service: **05/10/2024 - Friday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|---|
| | 087851 | Lead: Daniel Powell | Arrived: 7:00AM Departed: 3:00PM |
| | 087851 | Adtl: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 087851 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: Continue grinding, hand grinding, cleaning and sealing. |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **088144**
Job No: **044712**
Date of Service: **05/13/2024 - Monday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|--|
| | 088144 | Lead: Daniel Powell | Arrived: 7:00AM Departed: 3:00PM |
| | 088144 | Adtl: Richard Rocco | Arrived: 7:00AM Departed: 3:00PM |
| 1.00 | 088144 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: Continue grinding, hand grinding, vacuuming and washing floor. |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.

Field Ticket

Cobra Concrete Cutting Services Co
90 E Marquardt Dr
Wheeling, IL 60090

Ticket No: **088145**
Job No: **044712**
Date of Service: **05/14/2024 - Tuesday**
PO No.: **R-24-13**
Requisition No.: **NA**
Locate No:
Job Terms: **Net 30 Day**
Job Name: **Floor grinding**
Ordered By:
Sales Rep.: **Tim Cilio**

Bill To: Wood Dale Public Works
790 N Central Ave
Wood Dale, IL 60191

Work Site: 720 Central Ave.
Wood Dale, IL 60191

Contact: Patrick Hastings
(630) 781-8385

| Qty | WO No. | Item Ref. Number | Description |
|------|--------|--------------------------|--|
| | 088145 | Lead: Daniel Powell | Arrived: 7:00AM Departed: 1:00PM |
| | 088145 | Adtl: Richard Rocco | Arrived: 7:00AM Departed: 1:00PM |
| 1.00 | 088145 | Floor Grinding/Polishing | Length: Depth: Water on Site: Slurry Control: Power on Site: Type of Grinder: Finished grinding. Vacuumed up areas, washed floors with floor scrubber. Sealed remaining area. Pulled out all equipment |

Thank you for your business!

The undersigned represents that it is duly authorized to bind the company, and that the company agrees to pay the charges due to Cobra Concrete Cutting Services, Co. The company agrees to pay interest at 1-1/2% per month on any amount later than 30 days past due. In the event of collections proceedings, company agrees to pay all court costs, attorney fees, collection costs and interest charges. Cobra Concrete Cutting Services, Co assumes no responsibility for layout, buried pipes, conduits, steel beams in or below the floor or wall to be cut. The covering of all openings in floors and walls are to be the sole responsibility of the customer. Down time charges as the result of others will be charged at an hourly rate.



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Final Payment – FY 24 Pavement Patching
Staff Contact: Alan Lange, Public Works Director
Department: Public Works

TITLE: Approval of Final Payment to Chicagoland Paving Contractors, Inc. for the FY 2024 Pavement Patching Program in the Amount of \$12,900.00

RECOMMENDATION:

Staff Recommends Approval of Final Payment to Chicagoland Paving Contractors, Inc. for the FY 2024 Pavement Patching Program in the Amount of \$12,900.00.

BACKGROUND:

The City Council approved an agreement with Chicagoland Paving Contractors, Inc. on July 20, 2023, for sectional patching of several segments of deteriorating roadway, including repairs from water main breaks on County or State routes, in addition to resurfacing the Salt Creek Greenway Trail north of Irving Park Road adjacent to Target. Also included is the grinding of Foster Avenue from the City limits to the end of the curb radius on Central Avenue which was resurfaced as part of the Central Avenue Resurfacing project. The work has now been completed, and the contractor has submitted their final invoice. The work is covered by a 1-year warranty on materials and labor.

ANALYSIS:

The project was awarded in an amount not to exceed \$134,562.50. The total for FY 2024 scope amounts to \$123,383.13. The addition of the Foster Avenue work as well as the repair of Irving Park Road at Edgebrook Avenue caused by a water main break, resulted in a final contract amount of \$140,903.13. These additional costs will be taken from the FY 2025 budget.

DOCUMENTS ATTACHED

✓ Final Invoice

STRATEGIC PLAN ITEM

Yes

No

Objective: Provide Exceptional Services – Public Works ES #14: Prioritize street program and potholes upkeep in a timelier manner.

CHICAGOLAND PAVING CONTRACTORS, INC.

225 TELSER ROAD
 LAKE ZURICH, IL 60047
 (847) 550-9681
 FAX (847) 550-9684

INVOICE

Date: 5/31/2024
 Due Date:

Inv. No.: 238203-F
 Page No.:

City of Wood Dale
 Accounts Payable
 404 N. Wood Dale Road
 Wood Dale, IL. 60191

City of Wood Dale
 FY 2024 Patching Program
 Invoice #3 - Final

| | | | | |
|-----------|-------|--------|-------|-----------|
| REFERENCE | TERMS | YOUR # | OUR # | SALES REP |
|-----------|-------|--------|-------|-----------|

| DESCRIPTION REFERENCE | UNIT MEASURE | QUANTITY | UNIT PRICE | | EXTENDED PRICE |
|--|-----------------|----------|---------------|--|----------------|
| | | | ITEM DISCOUNT | | |
| WORK COMPLETED TO DATE (See Attached Spreadsheet) | | | | | \$140,903.13 |
| LESS 0% RETENTION | | | | | \$0.00 |
| LESS PREVIOUS PAYMENTS - THANK YOU | | | | | (\$128,003.13) |

| | |
|-------------------|--------------------|
| SUB TOTAL | \$12,900.00 |
| TAX | \$0.00 |
| TOTAL | \$12,900.00 |
| NET TO PAY | \$12,900.00 |

THANK YOU VERY MUCH FOR YOUR BUSINESS!

FINAL WAIVER OF LIEN

STATE OF ILLINOIS }
 COUNTY OF LAKE } SS

CPC Project No. 23-82

TO WHOM IT MAY CONCERN:

Escrow # _____

WHEREAS the undersigned has been employed by City of Wood Dale
 to furnish Asphalt Paving / Patching
 for the premises known as FY 2024 Pavement Patching Program
 of which City of Wood Dale is the owner.

THE undersigned, for and in consideration of Twelve Thousand, Nine Hundred Dollars & no/100
 (\$ 12,900.00) Dollars, and other good and valuable considerations, the receipt whereof is hereby acknowledged,
 do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of ILLINOIS,
 relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the
 material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due
 from the owner, on account of all labor, services, material, fixtures, apparatus or machinery, heretofore furnished, or which may be
 furnished at any time hereafter, by the undersigned for the above-described premises, INCLUDING EXTRAS.*

DATE May 31, 2024 COMPANY NAME Chicagoland Paving Contractors, Inc.

ADDRESS 225 Telser Road, Lake Zurich, IL. 60047

SIGNATURE AND TITLE [Signature] V.P.

* Extras include but are not limited to change orders, both oral and written, to the contract.

STATE OF ILLINOIS }
 COUNTY OF LAKE } SS

CONTRACTOR'S AFFIDAVIT

TO WHOM IT MAY CONCERN:

The undersigned William R. Bowes being duly sworn, deposes
 and says that he or she is Vice President
 of Chicagoland Paving Contractors, Inc. who is the
 contractor furnishing Asphalt Paving work on the building
 located at FY 2024 Pavement Patching Program
 owned by City of Wood Dale

That the total amount of the contract including extras* is \$ 140,903.13 on which he has received payment of
 \$ 128,003.13 prior to this payment.

That all waivers are true, correct and genuine and delivered unconditionally and that there is no claim either legal or equitable to defeat the
 validity of said waivers. That the following are the names and addresses of all parties who have furnished material or labor, or both, for said
 work and all parties having contracts or sub contracts for specific portions of said work or for material entering into the construction thereof
 and the amount due or to become due to each, and that the items mentioned include all labor and material required to complete said work
 according to plans and specifications:

| NAMES AND ADDRESSES | WHAT FOR | CONTRACT PRICE INCLDG EXTRAS* | AMOUNT PAID | THIS PAYMENT | BALANCE DUE |
|--------------------------------------|---------------------------|----------------------------------|----------------|-----------------|----------------|
| Chicagoland Paving Contractors, Inc. | Asphalt Patching / Paving | 140,903.13 | 128,003.13 | 12,900.00 | 0.00 |
| | | | | | |
| | | | | | |
| | | | | | |

| | | | | | |
|--|--|------------|------------|-----------|------|
| All materials Taken From Prepaid Stock & Delivered in Company Owned Trucks. All Labor Paid In Full | | | | | |
| Total Labor And Material Including Extras* To Complete | | 140,903.13 | 128,003.13 | 12,900.00 | 0.00 |

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of
 any kind done upon or in connection with said work other than above stated.

DATE May 31, 2024

Signature: [Signature]

Subscribed and sworn before me this 31st day of May, 2024

*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT



Notary

Packet Page #156



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: Code Update for Special Events Committee
Staff Contact: Janelle Silva, Director of Community Relations
Department: Administration Department

TITLE: An Ordinance Amending Chapter 3, Article VIII, Section 3.801 of the Municipal Code of the City of Wood Dale to Provide for the Addition of City Treasurer as an Authorized Special Events Committee Member

RECOMMENDATION:

Since its adoption, this section of the code has only listed the City Clerk, which in practice has not been consistent over the years. Adding *or City Treasurer* clarifies membership status and cleans up this section of the code moving forward.

DOCUMENTS ATTACHED

✓ Ordinance

STRATEGIC PLAN ITEM

- Yes
 No

ORDINANCE NO. O-24-022

AN ORDINANCE AMENDING CHAPTER 3, ARTICLE VIII, SECTION 3.801 OF THE MUNICIPAL CODE OF THE CITY OF WOOD DALE TO PROVIDE FOR THE ADDITION OF CITY TREASURER AS AN AUTHORIZED SPECIAL EVENTS COMMITTEE MEMBER

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City possesses the authority, pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*, to adopt ordinances pertaining to the public health, safety and welfare; and

WHEREAS, the City Council of the City (hereinafter referred to as the “City Council”) is the corporate authority for the City and is authorized by law to exercise all powers and to control the affairs of the City; and

WHEREAS, the City Council possesses full power and authority to approve and pass all necessary ordinances, resolutions, rules and regulations necessary for carrying into effect the objects for which the City was formed, in accordance with the Illinois Municipal Code; and

WHEREAS, the City Code authorizes and establishes the Special Events Committee, consisting of four (4) members, including the Mayor, two (2) Aldermen and the City Clerk; and

WHEREAS, the City desires to provide for the addition of the City Treasurer as an alternate to the City Clerk, as a member of the Special Events Committee; and

WHEREAS, the City has determined that amending its Code to include the City Treasurer as an alternative member of the Special Events Committee accommodates the City’s interests to provide an alternative membership for the Special Events Committee; and

WHEREAS, the City has determined that it is appropriate to amend Chapter 3, Article VIII, Section 3.801, of the City Code, as set forth below, to provide for the addition of the City Treasurer as an alternate to the City Clerk as a member of the Special Events Committee.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wood Dale, DuPage County, Illinois, at a special meeting duly assembled, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: Chapter 3, Article VIII, Section 3.801(A), of the Municipal Code of the City of Wood Dale of 1993, as amended, be and hereby is restated and amended to add the City Treasurer as an authorized alternate member of the Special Events Committee, as follows:

Sec. 3.801. Committee Created; Membership; Terms of Office.

Special Events Committee is hereby authorized and established. The committee shall consist of four (4) members that include the Mayor, two (2) Aldermen, and either the City Clerk or the City Treasurer. Each member shall serve a two (2) year term.

SECTION THREE: All other ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance, are, to the extent of such conflict, expressly repealed.

SECTION FOUR: That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION FIVE: That this Ordinance shall be in full force and effect after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June 2024.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June 2024.

Annunziato Pulice, Mayor

ATTEST:

Lynn Curiale, City Clerk

Published in pamphlet form June 20, 2024.



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2024
Subject: List of Bills
Staff Contact: Brad Wilson, Finance Director
Department: Finance

TITLE: List of Bills – 06/20/2024

RECOMMENDATION:

The Finance Department recommends that the City Council approve bills for the 06/20/24 City Council meeting in the amount of \$903,536.18.

BACKGROUND:

| <u>Fund</u> | <u>Amount</u> |
|---------------------------|---------------|
| General Fund | \$ 330,929.62 |
| Road & Bridge Fund | \$ 6,418.78 |
| Motor Fuel Tax Fund | \$ 7,084.63 |
| Tourism Fund | \$ 5,174.97 |
| Narcotics Fund | \$ 139.45 |
| TIF District #1 | \$ - |
| TIF District #2 | \$ - |
| Capital Projects Fund | \$ 229,109.76 |
| Land Acquisition Fund | \$ - |
| Commuter Parking Lot Fund | \$ 376.94 |
| Sanitation Fund | \$ - |
| Water & Sewer Fund | \$ 305,816.13 |
| CERF | \$ 18,485.90 |
| Special Service Area Fund | \$ - |
| Total of all Funds | \$ 903,536.18 |
| Total Number of Checks: | 74 |
| Check number range | 18964-19037 |

Purchases are made in accordance with the City's purchasing policies and procedures manual.

You will notice that the list appears to "start over", and that some vendors have 2 checks. This is due to the split between fiscal years and how the system handles checks for the different years. Typically, by July we have processed everything for the previous fiscal year.

Items of interest:

IEPA \$165,877.90 - Debt service for ward 2/3 storm water project.

Vehicle Purchases:

Atlas Bobcat \$18,485.90 - Approved by council 2/15/2024.

DOCUMENTS ATTACHED

- ✓ List of Bills

List of Bills - June 20, 2024

| CHECK | VENDOR NAME | FULL DESCRIPTION | AMOUNT | INVOICE | DATE | ACCOUNT | ACCOUNT DESCRIPTION |
|-------|-----------------------------------|--|------------------|-----------------|-----------|----------------|-------------------------------------|
| 18964 | Atlas Bobcat Inc | PW Sidewalk Machine | 18,485.90 | 0A6709 | 3/12/2024 | 70010000 46011 | CERF Vehicles - Governmental |
| | | | <u>18,485.90</u> | | | | |
| 18965 | AEP Energy | Wastewater/Water Dept Electric Services-April 24 | 5,885.88 | 3999900226Apr24 | 5/30/2024 | 63005081 44051 | Utilities Electric Utilities |
| | | Wastewater/Water Dept Electric Services-April 24 | 22,530.23 | 3999900226Apr24 | 5/30/2024 | 63005082 44051 | Sewer Electric Utilities |
| | | | <u>28,416.11</u> | | | | |
| 18966 | Artistic Engraving | 1 Gold Plate/2 Badges | 425.25 | 23104 | 4/30/2024 | 10024041 46466 | PD Police Operating Equipment |
| | | | <u>425.25</u> | | | | |
| 18967 | Bower Group | Mold Testing- City Hall | 2,050.00 | 24-1202 | 5/10/2024 | 50020000 46039 | CIP Police Department Improvements |
| | | | <u>2,050.00</u> | | | | |
| 18968 | Christopher Burke Engineering Ltd | RES-2023-0505, Potter St | 756.25 | 191976 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | COM-2023-0183, 170 W Irving Park Rd | 100.00 | 191975 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | RES-2024-0044, 267 Lincoln | 456.05 | 191974 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | SITE-2024-0003, 101 Mittel Dr | 2,321.47 | 191973 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | COM-2024-0023, 895 Wood Dale Rd | 2,772.50 | 191972 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | RES-2023-0682, 303 W Oak | 213.75 | 191971 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | CDC-2023-0003, CyrusOne | 337.50 | 191970 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | RES-2023-0619, 145 N Elmwood | 232.50 | 191969 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | CDC-2022-0008, 364-376 E Irving Park Rd | 1,351.25 | 191967 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | COM-2022-0155, 855 Lively | 1,322.50 | 191966 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | RES-2022-0355 | 117.50 | 191965 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | RES-2021-0481, 145 Timber Ct | 409.00 | 191964 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | 20200736, 436 Arbor Lane | 547.50 | 191963 | 5/9/2024 | 10 22001 | GF Escrow Account |
| | | On-Call Engineering Services | 362.25 | 191962 | 5/9/2024 | 10012021 42034 | CD Professional Services |
| | | | <u>11,300.02</u> | | | | |
| 18969 | Cirincione | Plumbing Plan Reviews/Inspections- April 2024 | 2,695.00 | April 2024 | 4/30/2024 | 10012021 42034 | CD Professional Services |
| | | | <u>2,695.00</u> | | | | |
| 18970 | Edwards Hospital | 1 Medical Test | 98.00 | 00180941-00 | 4/30/2024 | 10011014 42096 | HR Candidate Medical Exams |
| | | 1 Physical Exam | 167.00 | 00180780-00 | 4/30/2024 | 10011014 42096 | HR Candidate Medical Exams |
| | | | <u>265.00</u> | | | | |
| 18971 | Fountain Pros, LLC | New Fountain Motor and Installation | 1,340.50 | 1717 | 8/22/2023 | 10035052 42106 | Streets Landscaping - City Property |
| | | | <u>1,340.50</u> | | | | |
| 18972 | GHC Mechanical, Inc. | PD Boiler Repairs | 710.30 | W32349 | 4/30/2024 | 10012025 42404 | Bldg Maint B/G - 404 WD |
| | | | <u>710.30</u> | | | | |
| 18973 | HR Green | Building Plan Reviews/Inspections- April 2024 | 17,026.84 | 174943 | 5/16/2024 | 10012021 42034 | CD Professional Services |
| | | Potter St | 3,571.15 | 8-175358 | 5/28/2024 | 50010000 46034 | CIP Storm Sewer |
| | | New Traffic Signal- Irving Park Rd/Central Ave | 15,114.52 | 9-175370 | 5/29/2024 | 50030000 46035 | CIP Signalization |
| | | Elizabeth Dr Bridge | 12,991.84 | 5-175371 | 5/29/2024 | 50030000 46033 | CIP Bridge Improvements |
| | | | <u>48,704.35</u> | | | | |
| 18974 | Kathleen W Bono Csr Ltd | CDC-2024-0004- Foster Ave | 310.00 | 9409 | 3/26/2024 | 10 22001 | GF Escrow Account |
| | | | <u>310.00</u> | | | | |

List of Bills - June 20, 2024

| CHECK | VENDOR NAME | FULL DESCRIPTION | AMOUNT | INVOICE | DATE | ACCOUNT | ACCOUNT DESCRIPTION |
|-------|--------------------------------|---------------------------------------|------------------|-----------------|-----------|------------------------|-----------------------------|
| 18975 | Microsystems, Inc. | Document Scanning- CD | 8,404.40 | 088463 | 5/15/2024 | 10012021 42034 CD | Professional Services |
| | | | <u>8,404.40</u> | | | | |
| 18976 | Nite Beam Products LLC | 15 Road Flare Kits | 1,309.60 | 5318 | 4/26/2024 | 10024041 46466 PD | Police Operating Equipment |
| | | | <u>1,309.60</u> | | | | |
| 18977 | Ray O'Herron Co Inc | Uniform Allowance | 158.36 | 2344224 | 5/20/2024 | 10024041 44021 PD | Uniforms |
| | | | <u>158.36</u> | | | | |
| 18978 | Robbins Schwartz | 2023 BOR | 33.34 | 981007 | 5/30/2024 | 10011013 42062 Legal | Legal - General Fund |
| | | | <u>33.34</u> | | | | |
| 18979 | Robinson Engineering, Ltd | Ward 1 Stormwater Improvements | 18,310.00 | 24010134 | 1/15/2024 | 50010000 46034 CIP | Storm Sewer |
| | | | <u>18,310.00</u> | | | | |
| 18980 | SAFEbuilt, LLC Lockbox # 88135 | Building Inspections- April 2024 | 3,004.15 | 360280 | 4/30/2024 | 10012021 42034 CD | Professional Services |
| | | | <u>3,004.15</u> | | | | |
| 18981 | Wood Dale Fire Protection Dist | COC Inspections- April 2024 | 3,640.00 | COC2024-04 | 4/30/2024 | 10 33015 GF | Commercial Activity |
| | | Plan Reviews- April 2024 | 350.00 | CWD2024-04 | 4/30/2024 | 10 33002 GF | Building Permits |
| | | | <u>3,990.00</u> | | | | |
| 18982 | AEP Energy | 377 Gilbert Dr | 2,190.25 | 3021259896may24 | 5/29/2024 | 21035059 44051 MFT | Electric Utilities |
| | | 377 Gilbert Dr | 1,323.29 | 3021259874may24 | 5/30/2024 | 21035059 44051 MFT | Electric Utilities |
| | | 377 Gilbert Dr | 33.36 | 3021259885may24 | 5/29/2024 | 21035059 44051 MFT | Electric Utilities |
| | | | <u>3,546.90</u> | | | | |
| 18983 | Al Warren Oil Co Inc | 1,407 Gals of Unleaded Gas | 5,435.39 | W1655695 | 5/28/2024 | 10 13001 GF | Gasoline Inventory |
| | | 745.3 Gals of Diesel | 2,170.09 | W1655696 | 5/28/2024 | 10 13001 GF | Gasoline Inventory |
| | | | <u>7,605.48</u> | | | | |
| 18984 | Allscape Inc. | Contracted Landscaping Maintenance | 507.00 | 24-1333 | 5/25/2024 | 10035052 42106 Streets | Landscaping - City Property |
| | | | <u>507.00</u> | | | | |
| 18985 | Ansar Ahmed | RES-2024-0138, Refund for overpayment | 70.00 | 7962 | 6/3/2024 | 10 33002 GF | Building Permits |
| | | | <u>70.00</u> | | | | |
| 18986 | Chiappetta | CDC Minutes- 05/20/2024 | 150.00 | 2024-5 | 5/24/2024 | 10 22001 GF | Escrow Account |
| | | | <u>150.00</u> | | | | |

List of Bills - June 20, 2024

| CHECK | VENDOR NAME | FULL DESCRIPTION | AMOUNT | INVOICE | DATE | ACCOUNT | ACCOUNT DESCRIPTION |
|-------|-----------------------------------|---|-----------|------------------|-----------|----------------|-------------------------------|
| 18987 | Christopher Burke Engineering Ltd | SITE-2024-0004, 133 Center St | 763.75 | 192383 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2024-0111, 463 Dunlay St | 763.75 | 192382 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | SUB-2024-0001, Potter St | 235.00 | 192381 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2022-0154, 141 Forest Glen | 232.50 | 192380 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | COM-2024-0039, 1401 N Wood Dale Rd | 705.00 | 192379 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | SITE-2024-0005, Wood Dale Park District | 1,163.75 | 192378 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | SITE-2024-0003, 101 Mittel Dr | 1,751.25 | 192377 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2023-0505, 150 Timber Ct | 155.00 | 192376 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | CDC-2023-0003, CyrusOne | 4,320.97 | 192375 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2023-0643, 356 West Forest Preserve | 859.50 | 192374 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2023-0619, 145 N Elmwood | 757.50 | 192373 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | CDC-2022-0008, 364-376 E Irving Park Rd | 646.25 | 192372 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2022-0479, 133 West Center | 2,003.75 | 192371 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | COM-2022-0155, 855 Lively | 117.50 | 192370 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2022-0478, 131 West Center | 1,538.75 | 192369 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2021-0481, 145 Timber Ct | 811.75 | 192368 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | 20210123, 414-420 E Irving Park Rd | 681.25 | 192367 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | 20200736, 436 Arbor Lane | 506.25 | 192366 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | RES-2024-0030, 389 Preserve Lane | 1,351.25 | 192365 | 5/30/2024 | 10 22001 | GF Escrow Account |
| | | ROW-2024-0010, Summit IG | 573.00 | 192384 | 5/30/2024 | 10015051 42050 | PW Admin Engineering Services |
| | | | 19,937.72 | | | | |
| 18988 | Cintas Corp | Traffic Mat- PW | 72.63 | 4194993050 | 6/6/2024 | 10012025 42919 | Bldg Maint MA - 790 Central |
| | | | 72.63 | | | | |
| 18989 | Cirincione | Plumbing Plan Reviews/Inspections- May 2024 | 3,205.00 | May 2024 | 5/31/2024 | 10012021 42034 | CD Professional Services |
| | | | 3,205.00 | | | | |
| 18990 | Clarke Environmental Mosquito | Moth Spraying | 11,825.00 | 001032710 | 5/27/2024 | 10035052 42047 | Streets Mosquito Abatement |
| | | | 11,825.00 | | | | |
| 18991 | Commonwealth Edison | Street Lights | 647.41 | 8950141222may24 | 6/4/2024 | 21035059 44051 | MFT Electric Utilities |
| | | L/S Street Lights | 767.62 | 9390842111may24 | 5/7/2024 | 21035059 44051 | MFT Electric Utilities |
| | | Sign Mary Jane Lane | 29.23 | 7438144000june24 | 5/31/2024 | 21035059 44051 | MFT Electric Utilities |
| | | 475 Arbor | 76.66 | 7083979000june24 | 5/31/2024 | 63005081 44051 | Utilities Electric Utilities |
| | | 152 Janis | 42.18 | 6781541222june24 | 5/31/2024 | 63005081 44051 | Utilities Electric Utilities |
| | | 387 Preserve | 111.95 | 0580531222june24 | 5/31/2024 | 63005082 44051 | Sewer Electric Utilities |
| | | 790 N Central Ave | 39.65 | 0368987000june24 | 5/31/2024 | 21035059 44051 | MFT Electric Utilities |
| | | Clock Tower | 627.09 | 1658981222june24 | 5/30/2024 | 21035059 44051 | MFT Electric Utilities |
| | | Sign Devon Ave | 31.70 | 1243653000june24 | 5/30/2024 | 21035059 44051 | MFT Electric Utilities |
| | | 269 Irving | 13.95 | 9563823000june24 | 5/30/2024 | 21035059 44051 | MFT Electric Utilities |
| | | 948 Edgewood | 16.70 | 2776723333june24 | 5/30/2024 | 21035059 44051 | MFT Electric Utilities |
| | | 121 E Irving Lights | 1,296.39 | 2804032000june24 | 5/30/2024 | 21035059 44051 | MFT Electric Utilities |
| | | SS Irving | 376.94 | 9467540100june24 | 5/30/2024 | 60 44051 | Metra Electric Utilities |
| | | 411 Irving | 62.61 | 6947264000june24 | 5/30/2024 | 21035059 44051 | MFT Electric Utilities |
| | | 970 Lively | 5.38 | 2026721222june24 | 5/30/2024 | 21035059 44051 | MFT Electric Utilities |
| | | | 4,145.46 | | | | |

List of Bills - June 20, 2024

| CHECK | VENDOR NAME | FULL DESCRIPTION | AMOUNT | INVOICE | DATE | ACCOUNT | ACCOUNT DESCRIPTION |
|-------|---------------------------------|---------------------------------------|------------|------------------|-----------|----------|---|
| 18992 | Daily Herald | Bid Notice- Sidewalk Replacement | 92.00 | 290650 | 5/29/2024 | 10035052 | Streets Sidewalk Maintenance |
| | | Public Hearing- CDC-2024-0004 | 101.20 | 289008 | 5/6/2024 | 10 22001 | GF Escrow Account |
| | | | 193.20 | | | | |
| 18993 | DuPage Habitat for Humanity | RES-2023-0564, Cash Bond Refund | 1,000.00 | 7712 | 6/3/2024 | 10 22003 | GF Builders Cash Bond |
| | | | 1,000.00 | | | | |
| 18994 | DuPage Water Commission | City Water Purchase | 203,815.08 | 01-2300-00June24 | 5/31/2024 | 63005081 | 44053 Utilities DPWC Water Purchase |
| | | | 203,815.08 | | | | |
| 18995 | Evoqua Water Technologies LLC | Skimmer Arm Repair | 2,434.47 | 906462273 | 5/13/2024 | 63005082 | 42015 Sewer Maintenance - Other Equipment |
| | | | 2,434.47 | | | | |
| 18996 | Federal Express | 1 Express Shipment | 65.19 | 8-501-08255 | 5/15/2024 | 10024041 | 44002 PD Postage |
| | | | 65.19 | | | | |
| 18997 | Fountain Pros, LLC | Weekly Fountain Maintenance- May 2024 | 2,380.00 | 1904 | 6/4/2024 | 10035052 | 42106 Streets Landscaping - City Property |
| | | | 2,380.00 | | | | |
| 18998 | Galls, LLC. | 1 Battle Belt for K9- PD | 139.45 | 027840000 | 5/2/2024 | 23024046 | 44049 Narcotics Canine Unit |
| | | | 139.45 | | | | |
| 18999 | Gauden Polvi | RES-2022-0355 Escrow/Cash Bond Refund | 423.25 | 1 | 5/14/2024 | 10 22001 | GF Escrow Account |
| | | RES-2022-0355 Escrow/Cash Bond Refund | 5,000.00 | 1 | 5/14/2024 | 10 22003 | GF Builders Cash Bond |
| | | | 5,423.25 | | | | |
| 19000 | Gemini Group LLC | CCR Management Services | 6,609.84 | 124-15478 | 5/8/2024 | 63005081 | 42005 Utilities Printing |
| | | | 6,609.84 | | | | |
| 19001 | GHC Mechanical, Inc. | Furnace Repairs- City Hall | 399.60 | W32748 | 5/29/2024 | 10012025 | 42404 Bldg Maint B/G - 404 WD |
| | | | 399.60 | | | | |
| 19002 | Hahn and Associates Ltd | Social Services Program- June 2024 | 1,185.00 | June 2024 | 6/10/2024 | 10024041 | 42037 PD Township Social Services |
| | | | 1,185.00 | | | | |
| 19003 | Hawkins Inc | Wastewater Supplies | 2,261.74 | 6767687 | 5/16/2024 | 63005082 | 44063 Sewer Chemical Supplies |
| | | | 2,261.74 | | | | |
| 19004 | Heartland Business Systems, LLC | CSP Monthly- May 2024 | 4,262.63 | 696816-H | 5/22/2024 | 10011015 | 42105 IT IT - Software Licenses & M/As |
| | | | 4,262.63 | | | | |

List of Bills - June 20, 2024

| CHECK | VENDOR NAME | FULL DESCRIPTION | AMOUNT | INVOICE | DATE | ACCOUNT | ACCOUNT DESCRIPTION |
|-------|--|--|-------------------|-------------|-----------|----------------|-----------------------------------|
| 19005 | HR Green | Elevated Water Storage Tank | 3,323.50 | 175253 | 5/23/2024 | 63005085 46046 | Water CIP Water |
| | | | <u>3,323.50</u> | | | | |
| 19006 | IL Secretary of State Police | License Plate Renewal- 2014 Ford Taurus | 151.00 | 21 | 5/20/2024 | 10024041 42017 | PD Maintenance - Vehicles |
| | | | <u>151.00</u> | | | | |
| 19007 | | License Plate Renewal- 2017 Ford Explorer | 151.00 | 22 | 5/20/2024 | 10024041 42017 | PD Maintenance - Vehicles |
| | | | <u>151.00</u> | | | | |
| 19008 | | License Plate Renewal- 2011 Ford Taurus | 151.00 | 23 | 5/20/2024 | 10024041 42017 | PD Maintenance - Vehicles |
| | | | <u>151.00</u> | | | | |
| 19009 | | License Plate Renewal- 2021 Ford Explorer | 151.00 | 24 | 5/20/2024 | 10024041 42017 | PD Maintenance - Vehicles |
| | | | <u>151.00</u> | | | | |
| 19010 | Illinois Environmental Protect | Principal/Interest Payment- IEPA | 130,199.57 | L17-5840-05 | 5/15/2024 | 50030000 45050 | CIP Principal - CIP |
| | | Principal/Interest Payment- IEPA | 35,678.33 | L17-5840-05 | 5/15/2024 | 50030000 47050 | CIP Interest - CIP |
| | | | <u>165,877.90</u> | | | | |
| 19011 | Infosend, Inc. | Utility Billing/28-Notices- April/May 2024 | 638.51 | 263847 | 5/31/2024 | 63005081 42032 | Utilities Data Processing Service |
| | | Utility Billing/28-Notices- April/May 2024 | 86.39 | 263847 | 5/31/2024 | 63005081 42032 | Utilities Data Processing Service |
| | | Utility Billing/28-Notices- April/May 2024 | 637.75 | 263847 | 5/31/2024 | 63005081 42032 | Utilities Data Processing Service |
| | | Utility Billing/28-Notices- April/May 2024 | 1,345.33 | 263847 | 5/31/2024 | 63005081 44002 | Utilities Postage |
| | | Utility Billing/28-Notices- April/May 2024 | 174.28 | 263847 | 5/31/2024 | 63005081 44002 | Utilities Postage |
| | | Utility Billing/28-Notices- April/May 2024 | 1,318.84 | 263847 | 5/31/2024 | 63005081 44002 | Utilities Postage |
| | | Utility Billing/28-Notices- April/May 2024 | 1,345.33 | 263847 | 5/31/2024 | 63005082 44002 | Sewer Postage |
| | | Utility Billing/28-Notices- April/May 2024 | 174.28 | 263847 | 5/31/2024 | 63005082 44002 | Sewer Postage |
| | | Utility Billing/28-Notices- April/May 2024 | 1,318.84 | 263847 | 5/31/2024 | 63005082 44002 | Sewer Postage |
| | | | <u>7,039.55</u> | | | | |
| 19012 | IPBC - Intergovernmental Personnel Benefit Coopera | Monthly Insurance Premium- June 2024 | 51,827.20 | June-24 | 5/31/2024 | 10011011 42061 | Admin Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 1,357.04 | June-24 | 5/31/2024 | 10012021 42061 | CD Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 4,877.51 | June-24 | 5/31/2024 | 10012022 42061 | Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 4,331.66 | June-24 | 5/31/2024 | 10013000 42061 | Finance Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 8,563.30 | June-24 | 5/31/2024 | 10024041 42061 | PD Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 37,869.45 | June-24 | 5/31/2024 | 10024042 42061 | Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 7,546.52 | June-24 | 5/31/2024 | 10024043 42061 | Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 2,365.81 | June-24 | 5/31/2024 | 10024044 42061 | Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 4,783.84 | June-24 | 5/31/2024 | 10024045 42061 | Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 9,007.67 | June-24 | 5/31/2024 | 10015051 42061 | PW Admin Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 12,646.55 | June-24 | 5/31/2024 | 10035052 42061 | Streets Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 4,549.53 | June-24 | 5/31/2024 | 10015053 42061 | VGM Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 11,946.34 | June-24 | 5/31/2024 | 63005081 42061 | Utilities Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 20,786.28 | June-24 | 5/31/2024 | 63005082 42061 | Sewer Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 674.97 | June-24 | 5/31/2024 | 22010000 42061 | Tourism Health Insurance |
| | | Monthly Insurance Premium- June 2024 | 141.25 | June-24 | 5/31/2024 | 10011014 42034 | HR Professional Services |
| | | Monthly Insurance Premium- June 2024 | -68.75 | June-24 | 5/31/2024 | 10011014 42034 | HR Professional Services |
| | | | <u>183,206.17</u> | | | | |

List of Bills - June 20, 2024

| CHECK | VENDOR NAME | FULL DESCRIPTION | AMOUNT | INVOICE | DATE | ACCOUNT | ACCOUNT DESCRIPTION |
|-------|----------------------------------|--|-----------|-------------------|-----------|----------|---------------------------------------|
| 19013 | IPRF - Illinois Public Risk Fund | WC/Admin Fee- July 2024 | 22,130.25 | 90484 | 5/30/2024 | 10011014 | Insurance Premiums |
| | | WC/Admin Fee- July 2024 | 7,376.75 | 90484 | 5/30/2024 | 63005082 | 42043 Sewer Insurance Premiums |
| | | | 29,507.00 | | | | |
| 19014 | Kaluzny Bros, Inc. | 2024 Prairie Fest Cooking Oil Refuse | 300.00 | 3 | 6/4/2024 | 22040000 | 49203 Tourism Prairie Fest |
| | | | 300.00 | | | | |
| 19015 | KSK Landscaping & Handyman Corp | Senior Grass Cutting Program- May 2024 | 5,900.00 | May2024 | 5/31/2024 | 50010000 | 46056 CIP Strategic Plan |
| | | | 5,900.00 | | | | |
| 19016 | Kwik-print Inc | 1500 Blank Stock | 175.40 | 75839 | 5/28/2024 | 10024041 | 42005 PD Printing |
| | | | 175.40 | | | | |
| 19017 | Lakeshore Recycling Systems | City Street Sweeping | 5,992.50 | PS605554 | 5/31/2024 | 20035058 | 42110 RB Street Sweeping |
| | | | 5,992.50 | | | | |
| 19018 | Lester McNeely | Balloon Art- Pfest 2024 | 2,800.00 | 4 | 5/22/2024 | 22040000 | 49203 Tourism Prairie Fest |
| | | | 2,800.00 | | | | |
| 19019 | Michael and Mary Zappa | DEMO-2023-0006, Cash Bond Refund | 5,000.00 | 6635 | 6/3/2024 | 10 | 22003 GF Builders Cash Bond |
| | | | 5,000.00 | | | | |
| 19020 | Nicor Gas | 277 Edgebrook | 42.23 | 63335878946june24 | 5/22/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | 331 Edgewood | 51.71 | 77616386478june24 | 5/24/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | 180 Brookhurst | 158.14 | 59430900007june24 | 5/23/2024 | 63005082 | 44052 Sewer Natural Gas Utilities |
| | | 256 Mittel | 42.96 | 69653763057june24 | 5/22/2024 | 63005082 | 44052 Sewer Natural Gas Utilities |
| | | 429 Knollwood | 42.23 | 99560406466june24 | 5/22/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | 890 Lively | 42.96 | 61032393516june24 | 5/22/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | 269 Irving | 46.80 | 44347800003june24 | 5/22/2024 | 63005082 | 44052 Sewer Natural Gas Utilities |
| | | 269 Irving - A | 600.17 | 21347800001june24 | 5/22/2024 | 63005082 | 44052 Sewer Natural Gas Utilities |
| | | 150 Janis | 42.87 | 38546902156june24 | 5/22/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | 388 Irving | 42.87 | 46617400000june24 | 5/22/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | 387 Preserve | 50.99 | 05465097177june24 | 5/24/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | Royal Oaks | 426.28 | 28882900005june24 | 5/9/2024 | 20035058 | 44052 RB Natural Gas Utilities |
| | | 444 Potter | 152.34 | 53400900006june24 | 5/21/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | 412 Park | 53.16 | 55400900001june24 | 5/21/2024 | 63005081 | 44052 Utilities Natural Gas Utilities |
| | | | 1,795.71 | | | | |
| 19021 | Olympik Signs, Inc. | Permit Cancelled-Contractor Reg Refund | 100.00 | 8101 | 6/3/2024 | 10 | 33013 GF Contractor's Registration |
| | | | 100.00 | | | | |
| 19022 | James Ostrander | Insurance Refund | 1,592.52 | 1 | 6/12/2024 | 10011011 | 42061 Admin Health Insurance |
| | | | 1,592.52 | | | | |
| 19023 | PACE SUBURBAN BUS | City Bus Service- June 2024 | 100.00 | 636690 | 5/25/2024 | 22010000 | 42038 Tourism Public Transportation |
| | | | 100.00 | | | | |

List of Bills - June 20, 2024

| CHECK | VENDOR NAME | FULL DESCRIPTION | AMOUNT | INVOICE | DATE | ACCOUNT | ACCOUNT DESCRIPTION |
|-------|------------------------------------|--|--------------------------|------------|-----------|--------------------------|--------------------------------|
| 19024 | PuroClean Disaster Services | Mold Remediation- City Hall | 5,294.35 | INV-11233 | 5/28/2024 | 50020000 46039 CIP | Police Department Improvements |
| | | | <u>5,294.35</u> | | | | |
| 19025 | R.C. Topsoil Inc | 1 Load of Pulverized Dirt | 544.21 | 2400267 | 5/28/2024 | 63005081 44013 Utilities | Maintenance - Water Mains |
| | | | <u>544.21</u> | | | | |
| 19026 | RJN Group, Inc. | FY24-25 Engineering Services | 7,309.74 | 37080302 | 6/6/2024 | 63005085 46047 Water CIP | Wastewater |
| | | | <u>7,309.74</u> | | | | |
| 19027 | Suburban Laboratories Inc | Wastewater Water Lab Testing | 2,322.85 | 225587 | 5/31/2024 | 63005082 42033 Sewer | Laboratory Services |
| | | | <u>2,322.85</u> | | | | |
| 19028 | Superior Ground Service, Inc | Installation of Summer Annuals | 14,908.45 | 5669 | 5/28/2024 | 10035052 42106 Streets | Landscaping - City Property |
| | | Bed Maintenance- Various Locations | 5,179.55 | 5696 | 6/5/2024 | 10035052 42106 Streets | Landscaping - City Property |
| | | | <u>20,088.00</u> | | | | |
| 19029 | Susan Valiunas | Face Painter- PFest 2024 | 1,300.00 | 1 | 6/4/2024 | 22040000 49203 Tourism | Prairie Fest |
| | | | <u>1,300.00</u> | | | | |
| 19030 | Sweet Baby Rays Barbecue | COM-2022-0097, Cash Bond Refund | 5,000.00 | 3536 | 6/3/2024 | 10 22003 GF | Builders Cash Bond |
| | | | <u>5,000.00</u> | | | | |
| 19031 | Terrace Supply Company | Gas Cylinder Rental | 29.45 | 0001059805 | 5/31/2024 | 63005082 42022 Sewer | Equipment Rental |
| | | | <u>29.45</u> | | | | |
| 19032 | Third Millennium Assoc Inc | Programming and Set-Up for 2024 Vehicle Stickers | 10,736.78 | 31466 | 5/22/2024 | 10013000 42005 Finance | Printing |
| | | | <u>10,736.78</u> | | | | |
| 19033 | Toscas Law Group | Building Code/Ordinance Violations- 05/13/24 | 625.00 | 0513242 | 5/14/2024 | 10012021 42034 CD | Professional Services |
| | | | <u>625.00</u> | | | | |
| 19034 | Town Square Publications | Half Page in GOA Magazine | 249.00 | 79832 | 6/4/2024 | 10011011 49006 Admin | Conferences/Meetings - Legis |
| | | | <u>249.00</u> | | | | |
| 19035 | Tree Towns | Poster Paper | 81.00 | 0000312780 | 5/1/2024 | 10015051 49099 PW Admin | Miscellaneous |
| | | | <u>81.00</u> | | | | |
| 19036 | Salvatore Ursino | 20200753, 10% Maintenance Fee Refund | 880.83 | 20200753 | 5/28/2024 | 10 22003 GF | Builders Cash Bond |
| | | RES-2022-0058, RES-2021-0445 Refunds | 1,493.80 | 2 | 5/28/2024 | 10 22003 GF | Builders Cash Bond |
| | | | <u>2,374.63</u> | | | | |
| 19037 | Wood Dale Fire Protection Dist | COC Inspections- May 2024 | 2,970.00 | COC2024-05 | 5/31/2024 | 10 33015 GF | Commercial Activity |
| | | Plan Reviews- May 2024 | 150.00 | CWD2024-05 | 5/31/2024 | 10 33002 GF | Building Permits |
| | | | <u>3,120.00</u> | | | | |
| | Grand Total | | <u><u>903,536.18</u></u> | | | | |
| | Total number of checks - 74 | | | | | | |

EXECUTIVE SESSION

June 20, 2024 --- *Tape Recording is the Law!*

Pursuant to Illinois Open Meetings Act, 5ILCS120/2-1 *et seq.* to discuss:

- 1. Semi-Annual Review of Executive Session Official Minutes (Pursuant to 5ILCS120/2(c)(21))**
2. Land Acquisition (Pursuant to 5ILCS120/2(c)(5))
3. Land Disposition (Pursuant to 5ILCS120/2(c)(6))
- 4. Pending Litigation (Pursuant to 5ILCS120/2(c)(11))**
5. Probable Litigation (Pursuant to 5ILCS120/2(c)(11))
6. Collective Bargaining (Pursuant to 5ILCS120/2(c)(2))
7. Personnel (Pursuant to 5ILCS120/2(c)(1))