



STREETSCAPE AND ECONOMIC ENHANCEMENT COMMITTEE **AGENDA**

Date & Time: January 8, 2018 at 6:30 PM
Location: Wood Dale City Hall
Executive Session
404 N. Wood Dale Road
Wood Dale, IL 60191
Members: Chairperson Ald. Art Woods, Vice-Chair Ald. Sonny Sorrentino,
Mike Melone, Steve Mikos, Shirley Siebert, Linda Lucania,
Mitchell Tau
Staff Liaison: Kelley Chrisse

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **APPROVAL OF MINUTES**

Approval of Meeting Minutes from June 5, 2017.

IV. **OLD BUSINESS**

V. **NEW BUSINESS**

a. *JB's Inn (146 W Irving Park Rd) Façade Grant Application*

b. *Update on Committee Powers and Duties*

VI. **ADJOURNMENT**



STREETSCAPE AND ECONOMIC ENHANCEMENT COMMITTEE **MINUTES**

Committee Date: June 5, 2017
Present: Ald. Art Woods, Ald. Sonny Sorrentino, Linda Lucania,
Mitchell Tau
Absent: Mike Melone, Steve Mikos, Shirley Siebert
Also Present: Kelley Chrissie
Meeting Convened at: 6:30 p.m.

CALL TO ORDER

Alderman Woods called the meeting to order. A quorum was present.

APPROVAL OF MINUTES

Mr. Woods motioned to approve the minutes of the March 6, 2017 meeting, which was seconded by Ms. Lucania. The minutes were unanimously approved as presented via voice vote.

NEW BUSINESS

A. Streetscape Character Considerations for Thoroughfares in Wood Dale

Ms. Chrissie began the discussion by explaining that the reason this item is before the Streetscape Committee is to get feedback on the desired character of the thoroughfares in Wood Dale. With staff considering text amendments that could impact the streetscape character, it is important to understand from this Committee what elements are most important.

Mr. Tau stated that his ideal street is Central Avenue north from Irving Park Road. Ms. Luciana stated currently in the Woodside Subdivision there are no sidewalk or streetlights. Ald. Sorrentino stated ideally there would be no discrepancies from one street to next and would want consistency. Ald. Sorrentino also stated streetlights should be required and not an option for residents to choose.

Committee stated that there should be administrative flexibility in regards to sidewalks, trees, lights, curbs and gutter. Install them where practical and possible to do so. Committee stated they do not like existing situation where some streets have a sidewalk on one side and nothing on the other side of the street. Have it where there is sidewalk on both side or sidewalk on one side and a trail (i.e. bike trail) on the other side.



The Committee states they want to promote safety as reason for requiring installing lighting and sidewalks along all streets. Would also like prefer to connect sidewalks to larger trail system and have striped bike lanes on other roads.

The Committee does not think Wood Dale Road should go on a “road diet” that would result in the road being reduced down to one lane in each direction. But would consider some type of road reduction. The Committee also prefers landscaped medians.

The goal of this committee is to require these elements when the City undertakes road projects. Staff indicated that this feedback will be incorporated into future text amendments related to thoroughfare regulations.

ADJOURNMENT

A motion to adjourn was made by Mr. Woods, seconded by Mr. Sorrentino, and carried by voice vote. The meeting adjourned at 8:22 pm.

The next meeting is scheduled for April 3, 2017.

Minutes taken by Kelley Chrisse

CITY OF WOOD DALE

Community Development



MEMO

DATE: January 8, 2017

TO: Streetscape & Economic Enhancement Committee

FROM: Kelley Chrise, AICP, Assistant Community Development Director

SUBJECT: Façade Improvement Grant for JB's Inn, 146 W Irving Park Rd.

Overview

An application has been submitted requesting reimbursement for façade and site improvements at 146 W Irving Park Road, JB's Inn, after completion of the project. The site improvements include installing a new conforming monument sign, installing a dumpster enclosure, installing landscaping, expanding the outdoor seating and adding of greenspace where a curb cut on Irving Park use to be. Façade improvements include new siding and stone veneer, painting the exterior of the building, adding windows, construction of a garden wall and construction of a new front vestibule.

Submittals

Exhibit A – Project Narrative & Scoring Sheet
Exhibit B – Contractor's Project Estimates
Exhibit C – Plat of Survey & Site Plan

Analysis

The subject property is located at the southeast corner of West Irving Park Road and Oakwood Drive. The property is zoned TCB, Town Center Business, and is improved with a one story bar, outdoor seating, and surface parking lot. Restaurant with outdoor cafes are permitted uses in the TCB zoning district.

Façade Improvements

The building was originally constructed in 1938 with major remodeling occurring in 1961, 1976 and 1991. The outdoor seating area was constructed in 2007. The proposed work will significantly improve the exterior aesthetics of the building making it more inviting and having a positive impact on the Irving Park Rd. streetscape, which is one of the City's major commercial corridor and thoroughfare.

Project Cost

The applicant has received the following proposals for the proposed improvements:

	ADR Custom Builders	Campbell Construction	Emerald Inc.
General Contracting	\$15,000	\$19,500	\$21,000
Materials & Labor [#]	\$118,775	\$133,035	\$142,750
Monument Sign Allowance*	\$35,000	\$30,000	\$35,000
Architect Costs**	\$2,000	\$2,000	\$2,000
Permit Costs***	\$4,000	\$4,000	\$5,000
Total:	\$174,775	\$188,535	\$205,750

[#]Materials & Labor includes costs for parking lot paving and repairs. The repairs would be needed due to the construction activity and would be considered an eligible expense.

*The applicant has worked with a sign contractor for the new proposed monument sign.

**Architect Costs are not included as part of the Contractor's Proposal but have been included in this table as they are part of the project's overall expenses.

***Community Development Department provided permit cost estimates.

Project Schedule

ADR Custom Builders has provided a project schedule that aims to complete all improvements within 90 days of the project commencing.

Reimbursable Expenses

All proposed improvements are eligible expenses that can be reimbursed as part of the grant agreement.

Façade Improvements

Pictures of the existing conditions and proposed architectural renderings have been provided on pages 3 and 4 respectively for review and comparison.

1. Façade Renovation: The street-facing façades will both have improvements done to them including painting and installation of new siding and a brick wainscot with a garden wall
2. Entrance Feature: A new vestibule will replace the existing entrance on Irving Park Road.
3. Windows & Doors: New windows and doors will be installed along Irving Park Road and additional windows will be added along Oakwood Drive. The new windows will also meet the required energy efficiency ratings.
4. Architectural Elements: The proposed improvements will drastically change the design of the building. A brick stone veneer will be installed at the base of the building and the installation of new windows will become the prominent exterior feature along the street façades. New exterior lighting will be installed to provide adequate illumination at night. The proposed improvements combined will enhance and create a more welcoming curb appeal.

Existing Conditions:



Proposed Architectural Renderings:



① FRONT (NORTH) ELEV
1/8" = 1'-0"

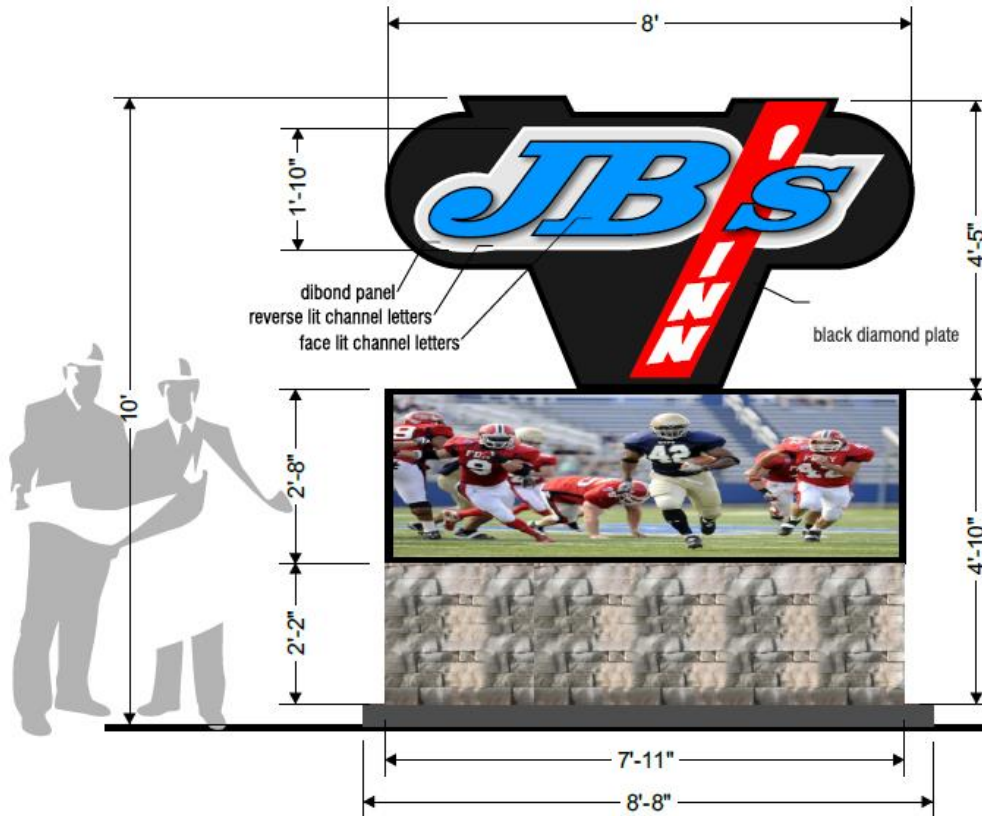


③ SIDE (WEST) ELEV
1/8" = 1'-0"



Signage (see Proposed Monument Sign)

1. A new conforming monument sign will be installed along Irving Park Road replacing the non-conforming pole sign. The monument sign will be ten feet (10') tall with a stone base. The monument sign will include an electronic message board (EMB) that is approximately 24 ft.² in area and a "JB's Inn" business logo, which is reminiscent of commercial signage that was common in the 1950's and 1960's.



Landscaping

1. Planter beds will be installed around the north, south, and portion of the west walls. This will provide for greenery and color to the site and contrast with the gray/stone color scheme of the building. Sod will be added where the old driveway off Irving Park Road was located.

Other Site Improvements

1. Wall mounted decorative lighting will be installed around the perimeter of the building.
2. A dumpster enclosure will be installed to provide screening of the dumpster.
3. A new sidewalk will be installed to provide a pathway from the parking lot to the new front accessible entrance.

Façade Improvement Scoring:

Criteria	Score
Visual Impact:	
1. Improved Curb Appeal	3
The curb appeal of the property is being vastly improved. The proposed improvements creates an aesthetically pleasing building, the various features such as the planter beds, stone veneers, and new windows make the building more inviting and modern. Sod will be planted where the old driveway off Irving Park Road was located. The new monument sign will also improve the curb appeal, as it is a unique sign that brings back the design and look of signs from the 1950s era while incorporating it with an Electronic Message Board (EMB).	
2. Improved Pedestrian Experience	3
A new sidewalk is being installed on site that will provide better access from the parking lot to the front entrance as well as now providing an accessible route where one was not provided before. A sidewalk is also being installed along Irving Park Road connecting this site with the adjacent properties. New landscaping is also being installed providing pedestrians with visual appeal. The outdoor lighting will provide illumination for pedestrians at night.	
3. Significant Visual Improvement	4
A new vestibule will be constructed facing Irving Park Road and making it a prominent entrance and replacing the single door that is currently door. New windows are being installed throughout the street-facing façades. These windows will become a prominent architecture feature on the street-facing façades rather than having a solid wall as it is currently. The installation of the new entrance, windows, siding, stone veneer, and painting of the exterior walls modernize the building and make it more inviting.	
Financial Impact:	
4. Leveraging Private Investment	1
The proposed improvements are limited to items which are eligible for grant funding. No other exterior or interior work which are not eligible for grant funding is proposed.	
5. Comprehensive Project	3
The proposed project improves the both the building façade and the site. The building was originally built in 1938 with minor renovations occurring to the property over the years. The one major renovation was the construction of the outdoor seating deck area. The proposed project will completely change the design and aesthetic of the building and the site.	
Property Use:	
6. Restaurant & Entertainment	3
JB's Inn is a Bar.	
Total:	
17	

Recommendation

Based on that the proposed improvement exceeds a construction value of \$10,000 or greater, the subject property is 79 years old, and the scoring of the proposed project, Staff is recommending entering into a grant agreement to reimburse the applicant fifty percent (50%) of eligible costs. Based on the lowest estimate provided by the applicant, the total reimbursement value shall not exceed \$88,387.50.

Although the applicant has requested reimbursement to occur through partial payments, the direction from City Council was to reimburse after completion of the project. AS such, Staff cannot recommend approval of the requested reimbursement schedule.

December 31, 2017

JAN 02 2018

Dear City of Wood Dale,

We have been working hard to try to get everything in order to improve JB's located at 146 W. Irving Park Road. We are now ready to formally ask for your help!

JB's has been in business for over 25 years, but our building is dated back to the 1930's. With that being said, we are looking for a façade lift to help the new Irving Park/downtown Wood Dale area look even more attractive and to improve the scenery of the city. We would love to change our stale, out-dated look, so we are hoping the City will be on board in assisting us with this project. By adding a brick façade, new windows, landscaping, lighting, new signage and making our business ADA compliant, we are sure you will be as excited about this project as we are.

We have met with and have received bids from 3 contractors. We believe that ADR Custom Builders is the best contractor for us to be working with. Luckily, their bid is also the most reasonable of the bids. All foreseeable expenses have been calculated and the grand total for the project will be \$176,525. At this time, we are requesting that the City of Wood Dale will grant us 50% of the cost for this project which will be \$88,262.50.

We would like to begin this project in March after all permits have been secured, and everything has been approved by the City of Wood Dale. We believe the construction for this project will take no longer than 90 days. If we begin in March, we believe that construction will be completed in June.

We would like to also be considered for being reimbursed in 2 equal payments for this project. Since we are a small business, it would help greatly to be able to use this money to continue the project without exhausting all of JB's funds. We are hoping that with a score of 17 (according to the city's Façade Improving Scoring Criteria), we will qualify to receive the full 50% of the grant reimbursement. Once the inspections for the deck and the windows and door installation is complete, we are hoping that we can receive the first of the 2 payments, equaling \$44,131.25. The final reimbursement would be requested after the completion of the project and all inspections have been passed. We feel that a façade renovation will help to approve the curb appeal on Irving Park Road greatly. It will also help improve the pedestrian experience. Right now, people are unclear which door they should use to enter JB's along Irving Park Road and the current façade has little appeal to potential customers. The plan to add a vestibule on Irving Park Road will help to attract customers and avoid confusion. We strongly believe that adding a vestibule and updating all doors and windows along Irving Park Road will be a significant improvement to the building appearance located in downtown Wood Dale. If this 2 payment reimbursement is not possible, we would still like to be considered for the grant to be paid at the end of construction.

In addition to the grant request, we would like to also give consent to have Kelly M. Bender, our daughter in law and manager of JB's Inn, to be granted the authority to make any and all decisions regarding JB's Inn and this project.

Thank you for considering us for this grant and we look forward to helping to improve our city appearance.

Sincerely,



James Bender

Owner of JB's Inn



Mary Bender

Owner of JB's Inn.

JB'S

JAN 02 2018

200 STATE ROAD 100, SUITE 100
DEVELOPMENT

Façade Improvement Scoring Criteria

CRITERIA	POINTS
Visual Impact	
Improved curb appeal of subject property (replacement of (or change in) façade material, replacement of windows or doors, landscaping, signage, exterior lighting, etc.)	
Excellent	(3)
Good	2
Fair	1
Poor	0
Improved pedestrian experience (architectural details, awnings/canopies, exterior lighting, sidewalk, ADA improvements, etc.)	
Excellent	(3)
Good	2
Fair	1
Poor	0
N/A	0
Significant visual improvements (added prominent entry feature, new windows or doors where none currently exist, and/or change in massing/scale that complements the existing corridor)	
Excellent	(4)
Good	3
Fair	2
Poor	0
N/A	0
Financial Impact	
Leveraging more private investment than required to obtain grant funding	
Yes	3
No	(1)
Project is part of a larger project that improves both the façade and site	
Yes	(3)
No	1

Façade Improvement Scoring Criteria

CRITERIA	POINTS
Property Use	
Mixed Use with 1st Floor Retail	4
Retail	4
Restaurant & Entertainment	3
Lodging	3
Office	2
Automotive Service	1

Project funding recommendations will be based on the total points accumulated as follows:

Maximum Grant Award*	Point Total
12.5%	1-5
25.0%	6-10
37.5%	11-15
50.0%	16-20

*Maximum grant award is based on eligible project costs, up to \$130,000.

DEC 21 2017

Exhibit B
Contract Proposal

LAUREL COUNTY
CLERK

ADR Custom Builders, Inc.

300 E. Center St.

Itasca, IL 60143

630-936-0124

Dannystojanovic@gmail.com

Date: December 19th, 2017

We, ADR Custom Builders, Inc., propose to furnish all materials, labor and equipment necessary for the completion of an exterior building renovation / beautification at JB's Bar, located at 146 W. Irving Park Rd., Wood Dale, IL as per Architectural Plans prepared by Thomas Architects, dated 06.16.2016; pages A1, A2, A3, A4, A5, A6, and A7; its subsequent revisions and updates, owner's specifications, requests and instructions as well as manufacturer's recommendations and instructions. The above stated shall further consist of the following:

1. Excavation.	\$3,650.00
2. Foundation.	\$12,760.00
3. Demolition.	\$1,650.00
4. Masonry. Allowance \$7.00 / SF	\$35,675.00
5. Framing w / materials.	\$1,650.00
6. Store Front Doors / Windows.	\$12,980.00
7. Roofing.	\$3,750.00
8. Insulation w/ materials.	\$550.00
9. Hardy Siding Materials.	\$5,286.00
10. Siding Labor.	\$4,445.00
11. Establishment Sign Allowance.	\$35,000.00
12. Electrical	\$2,775.00
13. Light Fixtures Allowance.	\$1,700.00
14. Parking Lot Paving Repairs.	\$2,200.00
15. Trim Materials and Labor.	\$610.00
16. Drywall and Painting w/ materials.	\$1,180.00
17. Tiles Allowance.	\$300.00
18. Tiles Labor w / installation materials.	\$700.00
19. Redo Existing and New Decking w / materials.	\$12,370.00
20. Garbage enclosure w / materials.	\$3,990.00
21. Landscaping.	\$1,300.00
22. Overhead.	\$9,254.00
23. Permit (expected)	\$4,000.00
24. General Contracting.	\$15,000.00

ADR Inc., to coordinate all activities, as well as materials procurement and general oversight.
ADR Custom Builders, Inc. agrees to perform above stated at a cost of \$172,775.00

Total for the overall project is proposed at: \$ 172,775.00

All materials and labor are included and accounted for. Necessary receipts, waivers, certifications, and such will be promptly provided upon request. All work performed is to pass all required inspections and it will have one year unconditional warrantee.

Should you have any further questions on this matter please feel free to contact me at the above listed number.



Sincerely,
Danny Stojanovic, Owner
ADR Custom Builders, Inc.

Accepted by: _____

Date: _____

Project time schedule and Payment Plan

Project completion estimated not to exceed 90 days.

Activity	Time Frame (From-To)	Scheduled	Actual	Status
Excavation / Demo	Day 1			
Foundation	Day			
Framing / Decking	Day			
Roofing	Day			
Store front door / windows	Day			
Pavement Repairs	Day			
Electrical	Day			
Masonry	Day			
Siding	Day			
Drywall	Day			
Tiles	Day			
Landscaping	Day			
Trim / Painting	Day			
Garbage Enclosure Fence	Day			
Clean-up	Day			

Payment Plan:

20% Deposit upon Acceptance

40% Upon Store Front Doors / Windows Installation

40% Final Upon Full Completion

CAMPBELL CONSTRUCTION PROPOSAL

December, 19, 2017

1N080 Delano St
Wheaton, IL, 60187

Cell: 630-973-3201

Campbell.kevin11@gmail.com

PROPOSAL SUMMITTED TO
JB's Bar

WORK TO BE PERFORMED AT
146 W Irving Park Road
Wood Dale IL

Architect

Thomas Architects dated 06/16/2016

**We hereby propose to perform all the work necessary for the completion of above job
per architectural plans dated 06/16/2016
All prices are per plan**

NOTE: Work to be performed is stated below

Excavation	\$4,125.00
Foundation	\$14,290.00
Concrete flat work	\$3,650.00
Demolition	\$1,850.00
Masonry/stone	\$37,375.00
Framing labor and materials	\$2,350.00
Commercial grade	
Windows and door	\$13,385.00
Roofing labor and materials	\$3,850.00
Insulation	\$535.00
Electrical	\$2,875.00
Drywall	\$1,250.00
Tiles labor	\$850.00
Trim with labor & materials	\$775.00
Siding materials	\$5,350.00
Siding labor	\$4,750.00
Asphalt repairs to	

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WOOD DALE COMMUNITY
CAMPBELL

Sidewalk/parking lot	\$2,750.00
Redo old decking, pergola, Railing and new deck	\$15,275.00
Garbage enclosure	\$4,175.00
Repair landscaping	\$1,500.00
Overhead	\$11,775.00
General contractor	\$19,500.00
Permits	\$4,000.00

Allowances

SIGN

\$30,000.00

Light fixtures

\$2000

Tiles

\$300

Stone

\$7 per square foot

All the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workman like manner for the sum of **\$186,535.00**(one hundred and eighty six thousand, five hundred, thirty five).With payments made as follows.

20% on acceptance

20% after concrete is poured

40% after windows/door are installed

20% on completion



Respectfully submitted Kevin Campbell

Any alteration or deviation from above specifications involving extra costs will be executed only on written order and will become an extra charge over and above the estimate, all agreements contingent upon strikes, accidents or delays beyond our control.

The estimated time for completion of said job should not take more than 90 days from start.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and accepted.

Emerald Inc.

20 Monaco Dr
Roselle, IL 60172
630-529-9781
Fax 630-529-9782

RECEIVED

DEC 21 2017

WOOD Dale COMMUNITY
08311727

Proposal

To: J.B.Bar

Property: 146 W, Irving Park Rd, Wood Dale

This bid is for the remodel of the exterior of the bar at this address.

*Demo	\$3,200.00
*Excavation	\$4,100.00
*Foundation	\$13,800.00
*Framing	\$3,150.00
*Masonry	\$29,900.00 (\$6 per sq ft allowance)
*Door & Window	\$15,300.00
*Siding (Hardie Board)	\$10,300.00
*Roofing	\$3,900.00
*Insulation	\$950.00
*Electrical	\$4,850.00
*Parking lot repair	\$2,800.00
*Trim material/labor	\$1,300.00
*Drywall	\$900.00
*Painting	\$1,800.00
*Tile material and labor	\$1,400.00 (standard tile)
*Landscaping	\$3,600.00
*Redo deck	\$21,900.00
*Garbage enclosure	\$4,600.00
*Sign allowance	\$35,000.00
*Contingency	\$15,000.00
*General fee	\$21,000.00
*Permit	\$5,000.00

Proposal Total \$203,750.00

Project completion not to exceed 120 days.

Need Owner info prior to work beginning.

Payment: 20% deposit required before work begins. 40% within 5 days of completion of drywall and 40% within 5 days of completion of job. No exceptions. If payment is not made and Emerald has to seek legal remedies to collect payment, Owner agrees to pay all legal costs Emerald incurs. Price does not include anything not listed. Owner/General to provide payout info prior to work beginning.

Price based on plans given to us, any deviation may result in price adjustment. Any onsite changes requested may result in additional charges. By signing below, Owner agrees to hire Emerald to provide the labor & specified material detailed above. Owner also agrees to proposal terms and payment terms. This proposal is the only agreement in place between Emerald and Owner and is considered valid if Owner has Emerald perform the work, regardless of signature.

Emerald

7-7-17
Date

J.B. Bar

print

Date

JB'S BAR - EXTERIOR ALTERATIONS



2800 S RIVER RD. # 105
DES PLAINES, IL 60018
O: 847.235.6815
THOMAS@THOMASARCH.COM

PROJECT DATA

PROJECT NAME
EXTERIOR ALTERATIONS

PROJECT ADDRESS
146 W. IRVING PARK RD, WOOD DALE, IL

USE
B - BUSINESS (BAR)

ZONING
#146 - TCB, C-1 (SMALL COMMERCIAL SHOP, TYPE 11)

LOT INFORMATION
LOT AREA: 11,948 SF

MAX BUILDING COVERAGE: 9,559 SF (80%)
PROPOSED BLDG COVERAGE: 614 SF
BUILDING: 2,178 SF
PATIO: 614 SF
PLANTING BEDS: 274 SF
RETUSE SCREEN: 80 SF

TOTAL: 3,146 (26%)

MAX HEIGHT: 35 FT
MAX STORIES: 2
PROPOSED HEIGHT: 13'-1"

PARKING REQ: 1 SPACE PER 2 SEATS
PARKING PROVIDED: 35 SPACES

GOVERNING CODES
ALL WORK SHALL BE IN COMPLIANCE WITH, BUT NOT LIMITED TO THE REQUIREMENTS OF THE FOLLOWING AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION.

2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL FUEL GAS CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL FIRE CODE
2011 NATIONAL ELECTRICAL CODE
2014 ILLINOIS PLUMBING CODE
ILLINOIS ACCESSIBILITY CODE, LATEST EDITION
ALL AS AMENDED
VILLAGE OF WOOD DALE CODE OF ORDINANCES
VILLAGE OF WOOD DALE UNIFIED DEVELOPMENT ORDINANCE

OWNER
RON BENDER
146 W. IRVING PARK RD, WOOD DALE, IL
630.654.1275
bender22@me.com

ARCHITECT
THOMAS BUDZIK ARCHITECTURE PC
THOMAS BUDZIK
211 S. MAPLE LN., PROSPECT HEIGHTS, IL 60070
847.235.4815
THOMAS@THOMASARCH.COM

INTERIOR FINISH CLASSIFICATION

WALLS & CEILINGS
VERTICAL EXITS & PASSAGEWAYS A
EXIT ACCESS CORRIDORS B
ROOMS & ENCLOSED SPACES C

INTERIOR FLOORS CLASS B

DECORATIONS & TRIM C

SCOPE OF WORK

SCOPE OF WORK LIMITED TO THE FOLLOWING:
- REMOVAL OF EXISTING EXTERIOR WALL CLADDING AND REPLACED WITH NEW STOREFRONT, VESTIBULE, AND LANDSCAPING BED.
- REMOVAL OF PATIO ENCLOSURE AND INSTALLATION OF NEW PATIO AND ENCLOSURE

SITE NOTES

- GENERAL CONTRACTOR TO KEEP CONSTRUCTION SITE FREE OF EXCESSIVE CONSTRUCTION DEBRIS AT ALL TIMES.
- GENERAL CONTRACTOR TO PROVIDE ON-SITE PORT-A-POTTYS.
- SITE INSPECTION REQUIRED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION WORK.

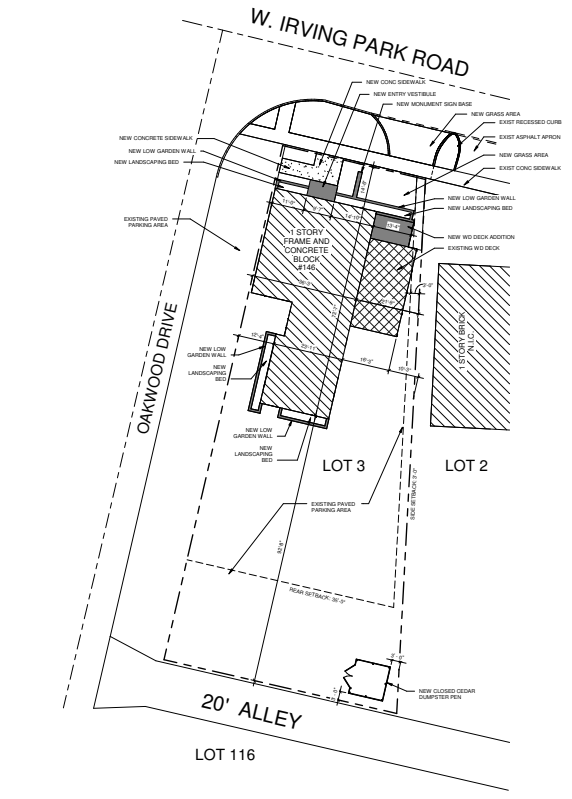
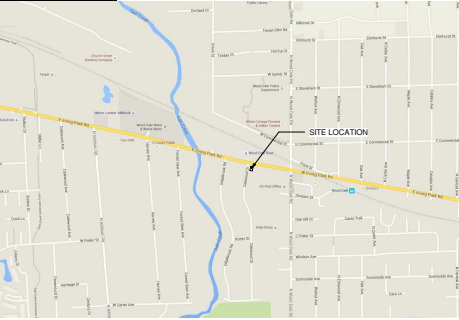
GENERAL NOTES

- ALL WINDOW GLASS, MIRRORS, FLOORS AND WALL TILE SHALL BE CLEANED AND WASHED UPON COMPLETION OF THE PROJECT BY THE GENERAL CONTRACTOR.
- THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF CONSTRUCTION (ALL CONTRACTORS AND SUB CONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS, AND LEAVE THE PROJECT IN A BROOM SWEEP FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THE PROJECT).
- THE ENTIRE INSTALLATION SHALL BE PERFORMED IN A FIRST CLASS WORKMANSHIP LIKE MANNER. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.
- ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCE. PRESERVE MAXIMUM HEAD ROOM AND AVOID OMISSIONS.
- ALL WORK PERFORMED MUST COMPLY WITH THE VILLAGE OF WOOD DALE MUNICIPAL CODE.
- THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE ENTIRE SITE TO BE PROTECTED AND AT ANY INTERIOR FLOOR OPENINGS THAT MIGHT CAUSE A HAZARD TO ALL.
- ALL CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES, AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY. EACH AS REPRESENTATIVES OF THEIR EMPLOYERS SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE WITHIN GOOD SAFETY PRACTICES AND MEET ALL CONCERNED REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS OR DAMAGE. IF UNSATISFIED, THE CONTRACTOR SHALL INDICATE WHAT SO EVER ACTIONS OR DEVICES NECESSARY TO RENDER SAFETY CONDITIONS FOR LIFE AND PROPERTY AS ARE RELATED TO THEIR ACTIVITY. IF THE WORK OF OTHER PARTIES OUTSIDE OF THEIR ORGANIZATION IS UPON INSPECTION FOUND AT ANY TIME TO BE UNSAFE, THEY SHALL STOP WORK IMMEDIATELY AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNINGS OF WORK SHALL INDICATE SATISFACTION. ACCEPTANCE OF A CONTRACT SHALL INDICATE ACCEPTANCE OF THESE REQUIREMENTS.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION OTHER THAN SHOWN ON THESE DRAWINGS.
- INTERIOR FINISHES SHALL NOT EXCEED CLASS 1, 0-25 FLAME SPREAD, 200 SMOKE.
- THIS SET OF PLANS IS PROTECTED UNDER UNITED STATES GOVERNMENT COPYRIGHT LAWS AND MAY NOT BE REPRODUCED, REPRINTED OR COPIED IN ANY MANNER, EXCEPT BY APPROVAL OF ARCHITECT IN WRITING. ANY PERSON OR FIRM KNOWINGLY REPRODUCING, REPRINTING OR PHOTOCOPYING ANY OF THIS WORK SHALL BE SUBJECT TO LAWSUITS AND SUCH PENALTIES AS THE LAW ALLOWS.
- GENERAL CONTRACTOR SHALL OBTAIN SOILS REPORT BY GEOTECHNICAL ENGINEER LISTING SOIL BEARING CAPACITY. REPORT SHALL BE SUBMITTED TO ARCHITECT AND AUTHORITY HAVING JURISDICTION PRIOR TO CONCRETE PLACEMENT. SOILS REPORT SHALL BE AVAILABLE ON-SITE DURING FOOTING INSPECTION.
- GENERAL CONTRACTOR SHALL OBTAIN SPOT FOUNDATION SURVEY BY LICENSED SURVEYOR AND SHALL SUBMIT SURVEY TO AUTHORITY HAVING JURISDICTION PRIOR TO ANY FRAMING.
- APPROVED BUILDING PLANS SHALL BE AVAILABLE ON-SITE FOR ALL INSPECTIONS.

GENERAL NOTES

- INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL CONDITIONS FOR CONSTRUCTION," AIA DOCUMENT A-201, ARTICLE 1 THROUGH 14 INCLUSIVE.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR AND HIS SUB CONTRACTORS SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT IN A FIRST CLASS WORKMANSHIP LIKE MANNER.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE ADHERENCE TO COMPLY WITH ALL APPLICABLE CITY, STATE, AND NATIONAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL VERIFY ALL PARTITION LAYOUTS WITH THE ARCHITECT BEFORE PROCEEDING WITH ANY FRAMING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.
- WRITTEN DIMENSIONS HOLD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL:
 - COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
 - PERFORM ALL WORK IN A FIRST CLASS WORKMANSHIP LIKE MANNER AND IN NO WAY DAMAGE OR WEAKEN THE STRUCTURAL ELEMENTS OF THE BUILDING.
 - REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, (OSHA) LATEST ADDITION.
 - ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER SUBMITTAL OF COMPLETION OF WORK.
 - MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
- THE GENERAL CONTRACTORS SUB-CONTRACTORS SHALL COMPLETELY HOOK-UP AND CONNECT ALL EQUIPMENT AND FURNISH ALL NECESSARY APPENDAGES.

LOCATION MAP



1 SITE PLAN
1" = 20'-0"

SHEET INDEX

- | | |
|-----|---|
| A-1 | TITLE / SITE PLAN |
| A-2 | DEMOLITION PLAN / NOTES |
| A-3 | FLOOR PLANS / DETAILS / NOTES |
| A-4 | STRUCTURAL PLANS / NOTES |
| A-5 | BUILDING ELEVATIONS / WINDOW ELEVATIONS |
| A-6 | WALL SECTIONS / DETAILS |
| A-7 | ELECTRICAL PLAN |

CERTIFICATION

THIS IS TO CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE IN ACCORDANCE WITH THE BUILDING CODES AND ORDINANCES OF WOOD DALE, IL.

DATE _____
I.L.I.C. NO. 001-019213
EXP. DATE: 11/30/2018

No.	Description	Date
1	ISSUE FOR PERMIT	12/20/17

Project Name and Address

RON BENDER
JB'S BAR EXTERIOR
REMODEL
146 W. IRVING PARK RD,
WOOD DALE, IL

Project No. **15074**

Description **TITLE / SITE PLAN**

Sheet **A-1**

FOUNDATION NOTES

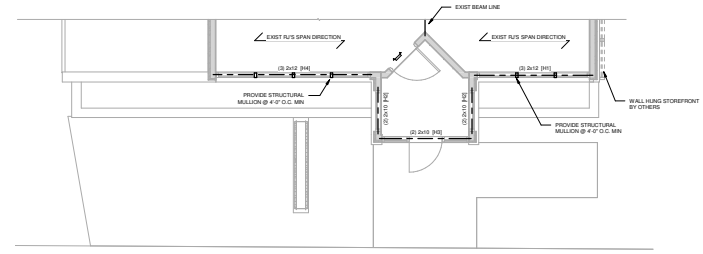
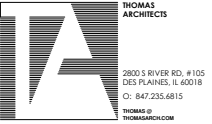
- 1 ALL FOOTINGS SHALL BE CARRIED DOWN TO FIRM UNDISTURBED SOIL. 3000 P.S.F. (MINIMUM) & 4'-0" (MINIMUM) BELOW EXISTING GRADE.
- 2 EXCAVATIONS DEEPER THAN THE ELEVATION OF FOOTINGS MUST BE CLEARED THROUGH THE ENGINEERING OFFICE.
- 3 WHERE AND WHEN CALLED FOR ALL CLEAN GRANULAR FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% OF "ASTM D-1557-70 (MINIMUM PROCTOR DENSITY).
- 4 WALL FOOTINGS TO HAVE 6" PROTECTIONS FROM EACH FACE OF WALL AND BE 1'-0" DEEP (UNLESS NOTED OTHERWISE).
- 5 CONTRACTOR SHALL PROTECT FOUNDATION AGAINST LATERAL DISPLACEMENT, HEAT OR FREEZING CONDITIONS.
- 6 PROVIDE 2 #5 BARS (TOP AND BOTTOM) CONTINUOUS IN CONCRETE WALL UNLESS NOTED OTHERWISE. LAP AND TIE BARS 2'-0" AT SPLICES AND PROVIDE 4'-0" LONG CORNER BARS (UNLESS NOTED OTHERWISE).
- 7 ALL REINFORCED CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AS PUBLISHED BY "THE AMERICAN CONCRETE INSTITUTE" (A.C.I. STANDARD 318-05).

FOUNDATION NOTES

- 8 ALL CONCRETE TO HAVE A MINIMUM ULTIMATE STRENGTH OF 3000 P.S.I. AT THE END OF 28 DAYS (UNLESS NOTED OTHERWISE).
- 9 ALL REINFORCING STEEL SHALL CONFORM TO "ASTM A-615, GRADE 60 SPEC. FOR NEW BILLET STEEL.
- 10 ALL WELDED WIRE MESH SHALL BE LAPPED (2) TWO FULL MESH PANELS AND TIED SECURELY. WELDED WIRE MESH SHALL CONFORM TO "ASTM A-185 SPEC.
- 11 CONCRETE COVER SHALL BE 1" TOP AND BOTTOM FOR SLABS; 1 1/2" FOR BEAMS, COLUMNS AND WALLS; 3" FOR FOOTINGS, MATS AND GRADE BEAMS.
- 12 ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED OF LANTANCE WITH A WIRE BRUSH AND WATER IMMEDIATELY PRIOR TO POURING OF SUBSEQUENT OR NEW CONCRETE.
- 13 POUR ALL SLABS ON GRADE IN CHECKERBOARD FASHION BETWEEN CONSTRUCTION JOINTS IN AREAS NOT TO EXCEED 800 SQ. FT. WITH A MINIMUM OF 24 HOURS BETWEEN ADJACENT POURS.
- 14 NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE OR MORTAR.
- 15 ALL STRUCTURAL STEEL SHALL CONFORM TO "ASTM A-36 SPEC. (UNLESS NOTED OTHERWISE), AND SHALL BE FACTORY PRIMED.
- 16 SPADE OR VIBRATE CONCRETE FOUNDATIONS AS NECESSARY TO AVOID HONEYCOMBING.

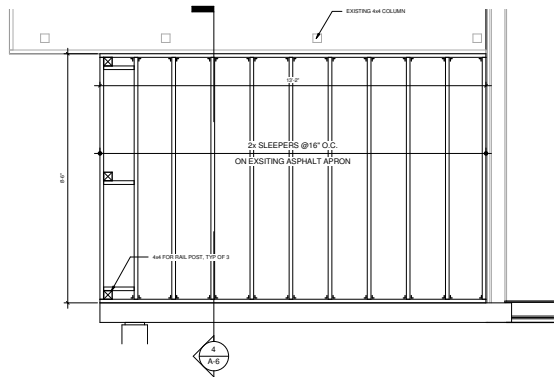
FRAMING NOTES

- 1 ALL BEAMS, LINTELS OR STRUCTURAL MEMBERS TO BE NO. 2 SOUTHERN PINE (KILN DRIED) W/ "E" = 1,600,000 AND Fb = 1,300 (OR EQUAL).
- 2 ALL WOOD LINTELS OVER DOORS AND WINDOWS SHALL BE 2 - 2 x 12s (UNLESS NOTED OTHERWISE).
- 3 ALL WOOD PLATES AND SILLS BEARING DIRECTLY ON CONCRETE SHALL BE PRESSURE TREATED FOR ROT AND TERMITES.
- 4 ALL EXTERIOR WALL SHEATHING SHALL BE 1/2" PLYWOOD SHEATHING.
- 5 ROOF: LIVE LOAD = 20 P.S.F., DEAD LOAD = 10 P.S.F. FLOOR: LIVE LOAD = 40 P.S.F., DEAD LOAD = 15 P.S.F. PARTITIONS: ASSUMED WALL LOAD = 20 lb/lf. SNOW LOAD: 30 P.S.F. BALCONY LIVE LOAD: 60 P.S.F. DECK LIVE LOAD: 60 P.S.F.
- 6 ROOF SHEATHING SHALL BE MIN 5/8" OSB OR EQUIVALENT, WITH HURRICANE CLIPS AT EACH RAFTER/ TOP PLATE. ALL TYPICAL FLOORS SHALL BE 3/4" T & G OSB OR EQUIVALENT. ALL TO BE GULED AND SCREWED.
- 7 2 x 4 TOP PLATES TO BE DOUBLED BELOW FLOOR TRUSS BEARING.
- 8 REFLECTED FRAMING SHOWN ON PLAN.
- 9 EXTERIOR OF LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 1/8 GAGE AND 1 1/2 INCHES WIDE FASTENED TO EACH PLATE.
- 10 EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.
- 11 ALL ROOF RAFTERS TO BE DOUGLAS FIR, #1 OR BETTER.

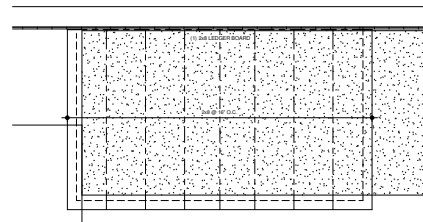


1 1st FLOOR - FRAMING PLAN
3/16" = 1'-0"

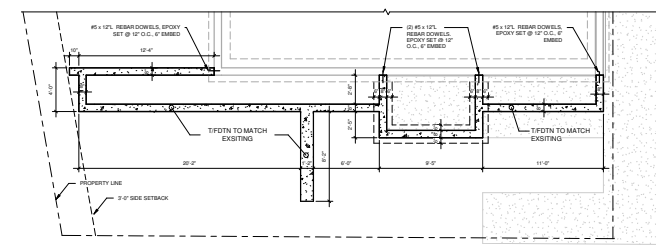
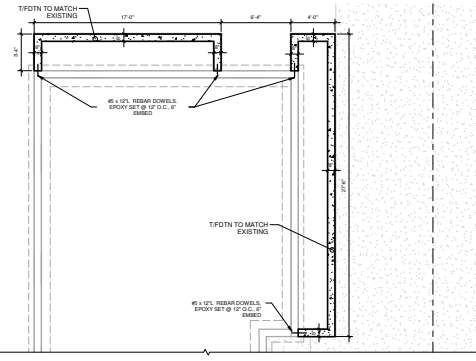
NOTE:
CONTRACTOR TO VERIFY EXISTING ROOF / CEILING JOIST SPAN DIRECTION PRIOR TO WALL DEMOLITION. NOTIFY ARCHITECT IMMEDIATELY IF CONDITION IS NOT AS SHOWN.



3 WOOD PORCH - FRAMING PLAN
1/2" = 1'-0"



4 ROOF - FRAMING PLAN
1/2" = 1'-0"

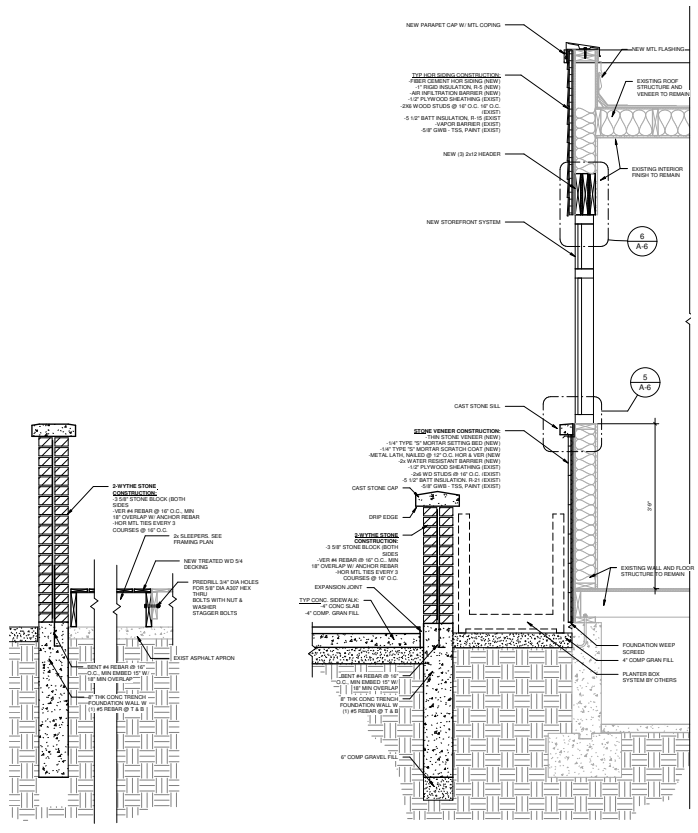


2 1st FLOOR - FOUNDATION PLAN
3/16" = 1'-0"

No.	Description	Date
1	ISSUE FOR PERMIT	12/20/17

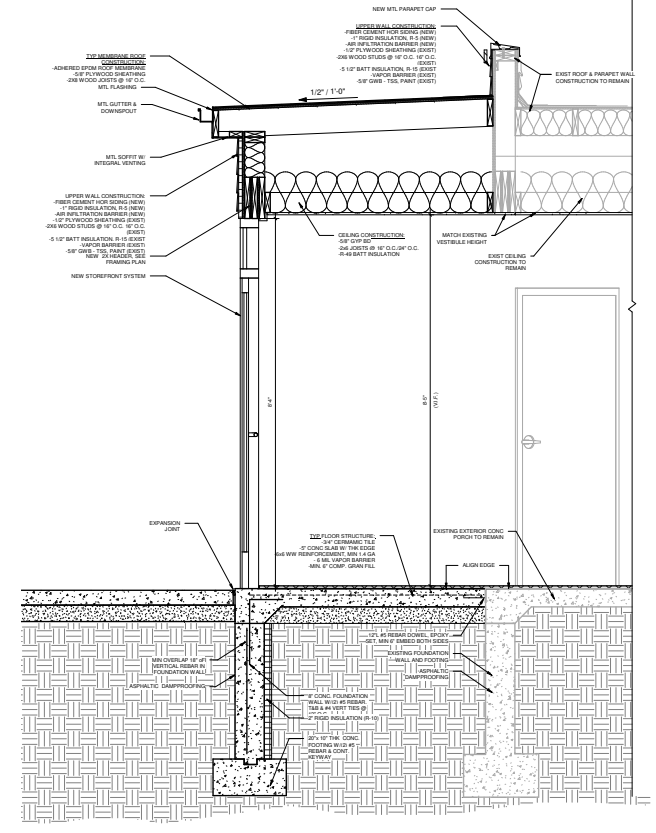
Project Name and Address
**RON BENDER
JB'S BAR EXTERIOR
REMODEL**
146 W. IRVING PARK RD,
WOOD DALE, IL

Project No. 15074
Description STRUCTURAL PLANS / NOTES

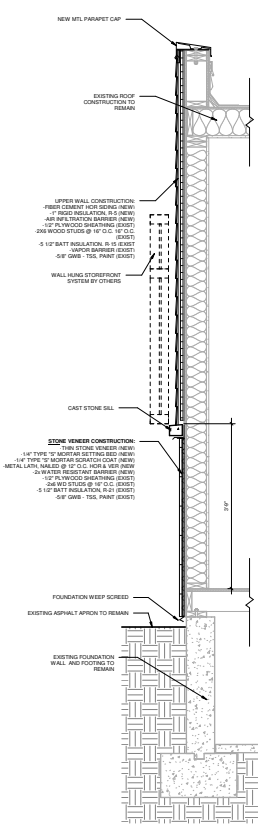


4 WALL SECTION @ GARDEN
 3/4" = 1'-0"

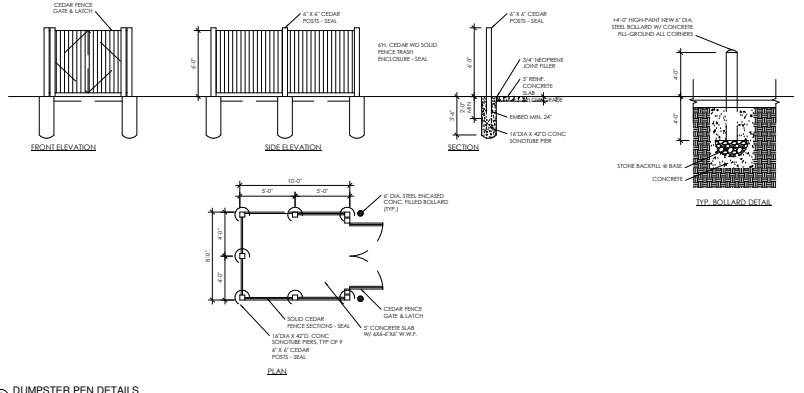
3 WALL SECTION @ FRONT WALL
 3/4" = 1'-0"



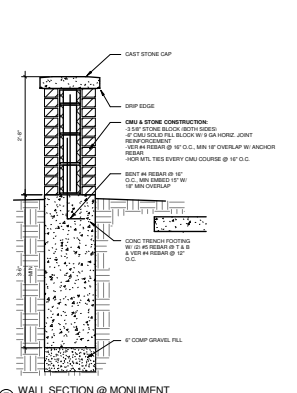
2 WALL SECTION @ VESTIBULE
 3/4" = 1'-0"



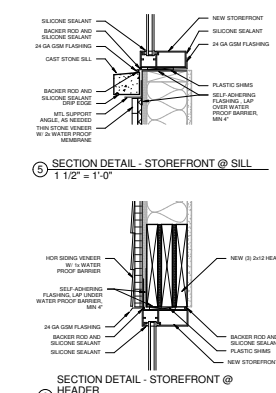
1 WALL SECTION @ SIDE WALL
 3/4" = 1'-0"



5 DUMPSTER PEN DETAILS
 3/16" = 1'-0"



7 WALL SECTION @ MONUMENT
 3/4" = 1'-0"



6 SECTION DETAIL - STOREFRONT @ HEADER
 1 1/2" = 1'-0"

No.	Description	Date
1	ISSUE FOR PERMIT	12/20/17

Project Name and Address
**RON BENDER
 JB'S BAR EXTERIOR
 REMODEL**
 146 W. IRVING PARK RD,
 WOOD DALE, IL

Project No. 15074
 Description WALL SECTIONS /
 DETAILS

ELECTRICAL NOTES

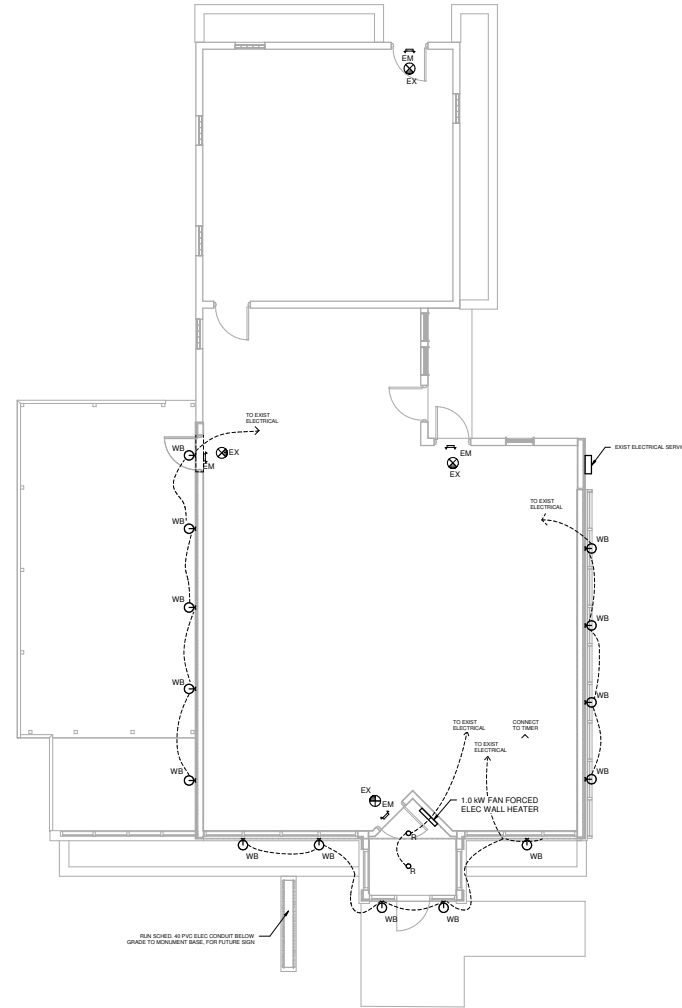
- ALL WORK SHALL BE DONE TO MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE LOCAL MUNICIPAL CODE. NO WORK SHALL BE DONE WITHOUT PERMIT. IF THE CONTRACTOR PERFORMS ANY WORK KNOWING OF HAVING REASONS TO KNOW THAT THE WORK IS CONTRARY TO PREVAILING BUILDING CODE AND FAILS TO NOTIFY ARCHITECT/ENGINEER, CONTRACTOR SHALL PAY ALL COSTS ARISING THEREFROM.
- CONDUITS BETWEEN THERMOSTATS, HVAC UNITS & CONDUITS BY ELECTRICAL CONTRACTOR. CONTROL WIRING BY MECHANICAL CONTRACTOR. LOCATIONS OF MECHANICAL EQUIPMENT ARE SHOWN ON MECHANICAL DRAWINGS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE POWER WIRING & SHALL COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATION OF HVAC EQUIPMENT TO BE WIRED.
- MINIMUM WIRE SIZE TO BE #12 THIN COPPER, OVER 75 FEET, RUNS TO BE MINIMUM #10 UNLESS NOTED OTHERWISE ON THE PLANS. MINIMUM CONDUIT SIZE TO BE 1/2" E.M.T. COUPLERS AND CONNECTORS TO BE COMPRESSION OR SET-SCREW TYPE.
- ELECTRICAL ITEM MOUNTING HEIGHTS, FROM FINISHED FLOOR TO CENTER OF DEVICE, UNLESS NOTED OTHERWISE.
RECEPTACLES 12 INCHES
TELEPHONE 12 INCHES
SWITCHES 42 INCHES
THERMOSTAT 42 INCHES
TV 12 INCHES
RECEPTACLES
ABOVE COUNTER 8 INCHES
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND IN FULL ACCORD WITH LOCAL ELECTRICAL CODES AND REQUIREMENTS.
- PROVIDE PROPER AND SUFFICIENT GROUND CONNECTION FOR ALL ELECTRICAL DEVICES AND EQUIPMENT. ALL CONDUIT CONNECTIONS SHALL BE DRAWN UP TIGHT AND SECURE.
- ALL CONDUITS MUST BE INDEPENDENTLY SUPPORTED. NO CONDUIT SHALL BE SUPPORTED FROM DUCTS, PIPING, HANGERS, OR CEILING SUSPENSION WIRES.
- PROVIDE TYPEWRITTEN DIRECTORY OF PANELBOARD.
- ALL WORK SHALL BE INSTALLED IN A METAL CONDUIT SYSTEM.
- ALL LIGHT FIXTURES TO BE OWNER SUPPLIED CONTRACTOR INSTALLED.
- ALL ELECTRICAL DEVICES & ITEMS SUCH AS, BUT NOT LIMITED TO: RECEPTACLES, LIGHT SWITCHES, TELEPHONE OUTLETS, TV OUTLETS, DISCONNECT SWITCHES, SMOKE DETECTORS, JUNCTION BOXES, DOOR BELL, CONDUITS, WIRE, TV CABLING, TELEPHONE CABLING, DATA CABLING, TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- EXISTING 200 AMP UNDERGROUND ELEC. SERVICE AND PANEL BOARDS. RELOCATE AS INDICATED.
- MAINTAIN MINIMUM 36" CLEARANCE IN FRONT OF ALL ELECTRICAL PANELS.
- SMOKE DETECTORS SHALL BE WIRED ON A SEPARATE CIRCUIT AND IN SERIES, ONE SOUND. ALL SOUND SMOKE DETECTORS SHALL HAVE BATTERY BACK-UP. SMOKE DETECTORS SHALL BE LOCATED IN EACH BEDROOM AND IN THE UNIT GENERALLY.
- CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED. CARBON MONOXIDE DETECTORS SHALL BE LOCATED NO MORE THAN 10 FEET FROM EACH BEDROOM DOOR.
- ALL ELECTRICAL DEVICES AND CONTROLS SHALL BE LOCATED NO LESS THAN 5'-0" FROM ANY TUB OR SHOWER.
- ELECTRICAL INSTALLATION TO INCLUDE WIRING FOR TELEPHONE, DATA, AND CABLE. INSTALL DATA WIRING FOR HOME COMPUTER NETWORK, AND COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION. HOMERUN ALL DATA WIRING TO BASEMENT. PROVIDE WIRELESS ROUTER.
- ALL OUTLETS OTHER THAN THOSE OTHERWISE PROTECTED BY GFCI TO BE ON BRANCH CIRCUITS PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER.
- ALL CLOSET LIGHTS SHALL BE CEILING MOUNTED FLUORESCENT FIXTURES WITH A MINIMUM OF 6 INCH CLEARANCE FROM ALL STORAGE SPACE.
- ALL ELECTRICAL RECEPTACLES IN BATHS, KITCHENS, LAUNDRY AREAS OR WITHIN 6 FEET OF A SOURCE OF WATER SHALL HAVE GFCI PROTECTION.
- OUTLETS - COORDINATE EXACT LOCATION WITH GENERAL CONTRACTOR.
- ALL EXTERIOR OUTLETS TO BE GFCI PROTECTED IN WEATHERPROOF ENCLOSURE. ENCLOSURE SHALL BE WEATHERPROOF WITH THE PLUG INSERTED OR REMOVED.
- PROVIDE WHOLE HOUSE SURGE PROTECTOR.

EXIT SIGN & EMERGENCY LIGHTING SCHEDULE							
SYMBOL	DESCRIPTION	MOUNTING	LAMPS	VOLTAGE	MANUFACTURER & CATALOG NUMBER	APPROVED EQUAL MANUFACTURER	NOTES
⊕	SELF POWERED EMERGENCY EXIT SIGN, SINGLE FACE, WITH WHITE FINISH AND RED LETTERS, FIELD KNOCKOUT ARROWS AS REQUIRED.	TOP, BACK OR END MOUNT	LONG LIFE LED	120V.	SURE-LITES CX7 SERIES	H.E. WILLIAMS, LITHONIA	-
←	DUAL HEAD EMERGENCY LIGHTING UNIT WITH WHITE CONTAMPORARY POLYCARBONATE ENCLOSURE, WALL MOUNTED.	SURFACE WALL	INCANDESCENT	120V.	SURE-LITES C27NC	H.E. WILLIAMS, LITHONIA	1
←	WET LOCATION LISTED EMERGENCY LIGHTING UNIT WITH DIE CAST ALUMINUM HOUSING AND POLYCARBONATE LENS.	SURFACE WALL	XENON	120V.	SURE-LITES XEL150	H.E. WILLIAMS, LITHONIA	1

NOTES:
1. CONNECT ALL BATTERY LIGHT FIXTURES TO LOCAL UNSWITCHED NORMAL LIGHTING CIRCUIT.

GENERAL NOTES:
a. ELECTRICAL CONTRACTOR TO PROVIDE ALL NECESSARY MOUNTING HARDWARE AND LABOR FOR ALL FIXTURES.
b. BATTERIES SHALL BE CAPABLE OF PROVIDING ILLUMINATION FOR A MINIMUM OF 30 MINUTES.
c. ALL BATTERIES SHALL BE NICKEL-CADMIUM TYPE.

LIGHTING FIXTURE SCHEDULE						
MARK	DESCRIPTION	MOUNTING	LAMP	MEG	MODEL	COMMENTS
R	6" RECESSED DOWNLIGHT	SURFACE	(1) 28W FLUOR	LITHONIA		
WB	DECOR WALL SCONCE, O.S.C.I.	WALL	(FLUOR MAX 1 - 40W)	TBD		



1 1st FLOOR - ELECTRIC
3/16" = 1'-0"



No.	Description	Date
1	ISSUE FOR PERMIT	12/20/17

Project Name and Address
**RON BENDER
JB'S BAR EXTERIOR
REMODEL**
146 W. IRVING PARK RD,
WOOD DALE, IL

Project No. 15074
Description ELECTRICAL PLAN

CITY OF WOOD DALE

Community Development



MEMO

DATE: January 8, 2018

TO: Streetscape and Economic Enhancement Committee

FROM: Kelley Chrise, AICP, Assistant Community Development Director

SUBJECT: Update on Committee Powers and Duties

Overview

The City Council recently updated the regulations pertaining to Boards and Commissions, which includes the Streetscape and Economic Enhancement Committee. As such, the committee has been formalized in the attached Chapter 3 of the Municipal Code. The purpose for bringing this forward is to ensure that we all understand the continued direction of the committee.

Background

The committee was formed as an ad hoc committee at least as early as 2008. The structure had not yet been formalized until the Council updated Chapter 3 of the Municipal Code in November 2017. This update does not change the direction of the committee per se. However, the list of the committee's initiatives that was compiled a couple years ago has been updated and is attached. The goal of this discussion is to review those previously identified initiatives and determine if, and how, they fit into the powers and duties of the committee specified in Chapter 3. The result of this discussion is a draft work plan that can be used to make recommendations on projects and budgeting.

Recommendation

Staff recommends that the Committee discuss and provide direction on the following items:

1. Confirm which committee initiatives align with the powers and duties outlined in Chapter 3 and update applicable details.
2. Identify any budgetary considerations for FY19.

Chapter 3
BOARDS AND COMMISSIONS

Article I

GENERAL PROVISIONS

Sec. 3.101. Rules of the boards and commissions of the City.

Each board and commission of the City may establish rules concerning the procedure, meeting and operation of such board or commission, which rules shall be as nearly as possible consistent with the rules of the City Council established in Chapter 2, Article II, Section 2.206 of this Code, and shall also be in accord with the other codes, ordinances and resolutions of the City and applicable law.

Section 3.102. Records to be kept.

Each board and commission shall keep written records of all its meetings and proceedings, which records shall be open for public inspection during regular business hours at the City offices. Copies of minutes showing action taken and proceedings had by such boards and commissions shall be filed with the City Clerk.

Section 3.103. Assistance from members of the City staff.

Each board or commission shall be assigned a City staff member, appointed by the City Manager, to assist such board or commission. Such staff member shall furnish information and advice respecting such matters as the board or commission may reasonably require in order to fulfill its purposes as set forth in this Chapter.

Section 3.104. Compensation of members; payment of expenses.

The members of each board or commission shall serve without compensation. Upon the approval of the City Manager, any expenses for the operation and conduct of the affairs of each board or commission shall be paid by the City from such funds as may be provided for such purpose in the annual budget.

Section 3.105. Conduct of meetings; quorum.

- A. Each board or commission shall hold its regular meetings, as necessary, at the time scheduled and posted pursuant to the Illinois Open Meetings Act. Special meetings may be called on forty-eight hours notice, subject to the requirements of the Illinois Open Meetings Act.
- B. A meeting room shall be made available to each board or commission in the City hall or in other City facilities, and all meetings shall be open to the public unless the purpose of such meeting constitutes a valid and lawful exception to the requirement

that meetings of public bodies be open to the public pursuant to the terms of the Illinois Open Meetings Act.

- C. A quorum for any meeting shall be a majority of all duly appointed members of a board or commission, unless otherwise specified.

Section 3.106. Appointment of members to boards and commissions.

- A. Members of the following boards and commissions shall be appointed by the Mayor as provided herein:
 - 1. Police Pension Fund Board – two members, with balance as provided by statute.
 - 2. RFP Steering Committee
 - 3. Special Events Committee
- B. Members of the following boards and commissions shall be appointed, and the chairperson designated annually, by the Mayor, subject to confirmation by the City Council:
 - 1. Board of Fire and Police Commissioners
 - 2. Building Code Board of Appeals
 - 3. Community Development Commission
 - 4. Stormwater Management Commission
 - 5. Streetscape and Economic Enhancement Committee
 - 6. Wood Dale for a Greener Tomorrow Committee
- C. Each member of a board or commission, including the chairman, shall hold office until the expiration of the term for which such member was appointed or until such time as a successor has been appointed or qualified, unless prior to such time such member resigns his/her position or is removed from it by the appointing official.
- D. Vacancies on any board or commission shall be filled as soon as possible for the unexpired term of the member whose place has become vacant.
- E. Each member of a board or commission shall be a resident of the City unless otherwise specifically provided.
- F. Only duly appointed members may vote on any matter before any board or commission.

Section 3.107. Removal of members to boards and commissions.

- A. Members of any board or commission serve at the pleasure of the appointing authority and may be removed as provided in this section.
- B. Where removal from a board or commission is governed by statute, such statute shall control.

Article II

BUILDING CODE BOARD OF APPEALS

Sec. 3.201. Board Established; Membership; Terms of Office.

There is hereby established a Building Code Board of Appeals. The Board shall consist of five (5) members with a preference for those who are qualified by experience and training to pass upon matters pertaining to building construction, where practical. Each member shall serve a term of five (5) years.

Sec. 3.202. Powers and Duties.

The Building Code Board of Appeals shall have the following powers and duties:

- A. To hear appeals concerning any interpretation or decision made by an administrative official in the administration of the Building Code (Chapter 12 of this Code).
- B. To hear and decide all matters referred to it by the City Council or upon which it is required to act under this Code, or as prescribed by the applicable provisions of the Illinois Revised Statutes¹.

Sec. 3.203. Meeting Schedule.

The Building Code Board of Appeals shall meet as needed and in accordance with Sec. 3.105 of this Chapter.

Footnote 1: S.H.A. 65 ILCS, art. 9, div. 2.

Article III

COMMUNITY DEVELOPMENT COMMISSION

Sec. 3.301. Commission Created; Membership; Terms of Office.

A Community Development Commission (CDC) is hereby authorized and established. The Commission shall consist of seven (7) members with preferred experience in architecture, land development, construction, engineering, real estate or other similar discipline, where practical. Each member shall serve a two (2) year term.

Sec. 3.302. Powers and Duties.

The Community Development Commission (CDC) shall have the following duties:

- A. To hear and review all applications for special uses, including planned developments, and recommend with respect thereto, to the City Council.
- B. To initiate, direct and review, from time to time, studies of the provisions of Chapter 17 of this Code and the Comprehensive Plan, and to make reports of its recommendations to the City Council not less frequently than once each year.

- C. To receive and review all plats of subdivision and recommend action with respect thereto to the City Council.
- D. To hear and review all zoning and planning aspects of proposed annexations as referred to it by the City Council and recommend action with respect thereto to the City Council.
- E. To hear and review all applications for amendments of the text to Chapters 13 and 17 of this Code and recommend action with respect thereto to the City Council.
- F. To hear and review all amendments to the City of Wood Dale Comprehensive Plan and recommend action with respect thereto to the City Council.
- G. To hear and review all applications for reclassification of the zoning designation of property and recommend action with respect thereto to the City Council.
- H. To hear and review all requests for authorized variations from the regulations and restrictions imposed by Chapters 13 and 17 of this Code and recommend with respect thereto to the City Council.
- I. To hear and decide appeals in which it is alleged there is an error in any order, requirement, decision, interpretation or determination (hereinafter referred to collectively as "decision") made by the Development Administrator.
- J. To hear and report to the Mayor and City Council on such other matters as may be referred to it by the Mayor and City Council subject to the provisions of Chapters 13 and 17 of this Code.

Sec. 3.303. Meeting Schedule.

The regular meetings of the Community Development Commission (CDC) will typically be held on the third Monday of each month or as needed and in accordance with Sec. 3.105 of this Chapter.

Article IV

STORMWATER MANAGEMENT COMMISSION

Sec. 3.401. Commission Created; Membership; Terms of Office.

There is hereby established a citizens' commission which shall be known as the Stormwater Management Commission of the City. The Commission shall consist of eight (8) members that shall serve a three (3) year term. In the determination of such appointments, consideration shall be given to the geographical location of the residences of the other appointees so that the entire territory of the city may have representation on the commission.

In addition, one alderman shall be appointed to serve as a nonvoting member of the commission and to act as liaison between the commission and the city council.

Sec. 3.402. Powers and Duties.

The Stormwater Management Commission shall have the following duties:

- A. To recommend to the City Council not less than once a year a plan to alleviate the stormwater drainage and sanitary sewer problems within the corporate limits of the City and incorporate therein the necessary steps to implement the said plan.
- B. To serve as the Watershed Committee for the purpose of grant applications.

Sec. 3.403. Meeting Schedule.

Regular meetings of the Stormwater Management Commission shall take place monthly, or as needed and in accordance with Sec. 3.105 of this Chapter.

Article V

STREETSCAPE AND ECONOMIC ENHANCEMENT COMMITTEE

Sec. 3.501. Commission Created; Membership; Terms of Office.

A Streetscape and Economic Enhancement Committee is hereby authorized and established. The Committee shall consist of seven (7) members with preferred experience in landscape architecture, architecture, land development, construction, banking, real estate or other similar discipline, where practical. The Chairman and Vice-Chairman shall be Aldermen appointed by the Mayor. Each member shall serve a two (2) year term.

Sec. 3.502. Powers and Duties.

The Streetscape and Economic Enhancement Committee shall have the following duties:

- A. To review and recommend a comprehensive forestry, landscape and hardscape program to the City Council not less frequently than once each year.
- B. To review and recommend the implementation of necessary economic development tools to ensure that the City is able to attract and retain businesses that foster the City's ability to maintain and enhance the quality of life for all.
- C. To hear and review all applications for the Façade Improvement Program and recommend action with respect thereto to the City Council.
- D. To hear and report to the Mayor and City Council on such other matters as may be referred to it by the Mayor and City Council subject to the applicable provisions of this Code.

Sec. 3.503. Meeting Schedule.

The regular meetings of the Streetscape and Economic Enhancement Committee will typically be held on the first Monday of each month or as needed and in accordance with Sec. 3.105 of this Chapter.

Article VI

BOARD OF FIRE AND POLICE COMMISSIONERS

Sec. 3.601. Board Established; Appointment; Term; Removal From Office.

There is hereby established a board of fire and police commissioners which shall be composed of three (3) members. Members of the board of fire and police commissioners shall serve for a period of three (3) years and until their respective successors are appointed. No such appointment shall be made within thirty (30) days of a general election wherein city officials of the city of Wood Dale are to be elected.

Members of the board of fire and police commissioners shall be removed as provided by law¹.

Sec. 3.602. Qualifications.

Members of the board of fire and police commissioners shall possess the qualifications required by law².

Sec. 3.603. Oath; Bond.

- A. Oath Of Office: Members of the board of fire and police commissioners shall take the oath or affirmation of office required by law³.
- B. Bond: Members of the board of fire and police commissioners shall give the bond required by law⁴.

Sec. 3.604. Duties Regarding Police Department; Limitations.

- A. Appointments: As provided by law and in the number of officers and in the rank thereof as may be provided from time to time by resolution of the city council, the board of fire and police commissioners shall appoint all officers and members of the police department, except the chief of police⁵ and two (2) deputy chiefs of police.
- B. Promotions: All promotional appointments made by the board of fire and police commissioners shall be made from the next lowest rank.
- C. Examinations: Appointments in the police department, both original and promotional, shall be made only after competitive examinations. The board of fire and police commissioners shall make rules governing the conduct of original and promotional examinations; such rules shall be made available to all persons seeking to take such examination.
- D. Hearings; Discharges: The board of fire and police commissioners shall conduct all hearings on charges brought against any member of the police department, and shall designate the penalty or punishment to be applied. No person other than the chiefs shall be discharged, except on charges brought and after hearing before the board.

- E. Limitations On Authority: Except as specifically provided otherwise, the board of fire and police commissioners shall have no authority to make rules and regulations governing the conduct of members or the operation of the police department.

Sec. 3.605. Secretary To The Board.

The board of fire and police commissioners may employ a recording secretary in addition to the secretary of the board, being a member of the board designated to act as an executive secretary. The secretary shall keep the minutes of the board's proceedings, be custodian of all papers pertaining to the business of the board, keep a record of all examinations held and perform such other duties as the board may prescribe.

[Footnote 1:](#) 65 ILCS 5/10-2.1-3.

[Footnote 2:](#) 65 ILCS 5/10-2.1-3.

[Footnote 3:](#) 65 ILCS 5/10-2.1-3.

[Footnote 4:](#) 65 ILCS 5/10-2.1-3.

[Footnote 5:](#) See subsection 2.504B and section 14.102 of this code.

Article VII

WOOD DALE FOR A GREENER TOMORROW

Sec. 3.701. Commission Created; Appointment; Terms Of Office.

There is hereby created a commission known as Wood Dale for a Greener Tomorrow which shall consist of six (6) members that serve a term of three (3) years. At least one member shall be an Alderman from the City Council.

Sec. 3.702. Powers And Duties.

Wood Dale for a Greener Tomorrow shall have the following duties:

- A. To protect, sustain and improve a clean and healthful environment to benefit present and future generations.
- B. Such other duties as may be authorized by the Council.

Sec. 3.703. Meeting Schedule.

Regular meetings of the Wood Dale for a Greener Tomorrow will typically be held on the first Wednesday of each month or as needed and in accordance with Sec. 3.105 of this Chapter.

Article VIII

SPECIAL EVENTS COMMITTEE

Sec. 3.801. Committee Created; Membership; Terms of Office.

A Special Events Committee is hereby authorized and established. The Committee shall consist of four (4) members that include the Mayor, two (2) aldermen, and the City Clerk. Each member shall serve a two (2) year term.

Sec. 3.802. Powers and Duties.

The Special Events Committee shall have the following duties:

- A. To plan and organize the annual Prairie Fest.
- B. To plan and organize other special events hosted by the City or as directed by the City Council.

Sec. 3.803. Meeting Schedule.

The Special Events Committee will meet on an as-needed basis in accordance with Sec. 3.105 of this Chapter.

Article IX

POLICE PENSION FUND BOARD

Sec. 3.901. Board Created; Membership; Term of Office.

A Police Pension Fund is hereby established as provided by law¹. The required Board of Trustees of the Police Pension Fund shall consist of five (5) members, two (2) appointed by the Mayor, two (2) elected by the members of the Police Department and one elected by the beneficiaries of the Pension Fund. The elections shall be held on the third Monday in April, and the terms of each member shall be two (2) years.

Sec. 3.902. Meeting Schedule.

The Police Pension Board shall hold regular quarterly meetings in January, April, July and October as provided by law and shall hold such additional meetings as may be called by the president of the Pension Board.

Sec. 3.903. Finances.

- A. The money in the Police Pension Fund shall be held in a separate account by the Municipal Treasurer, as provided by law.
- B. This Fund shall consist of the required deductions from the pay of policemen covered by the Fund and the required property tax sufficient to enable the Police Pension Fund to meet all its obligations.

Sec. 3.904. Reserve Established.

There shall be established and maintained a reserve in the Police Pension Fund. This reserve shall be built up and accumulated in accord with the requirements set forth in the Illinois Compiled Statutes, made and provided.

[Footnote 1](#): S.H.A. ILCS 5/3-101 et seq

Article X

RFP STEERING COMMITTEE

Sec. 3.1001. Committee Created; Membership; Terms of Office.

An RFP Steering Committee is hereby authorized and established. The Committee shall consist of seven (7) members that include the Mayor, Chairman of the Planning, Zoning and Building Committee of the City Council, Chairman of the Public Works Committee of the City Council, City Manager, Public Works Director, Community Development Director and Management Analyst. Each member shall serve a two (2) year term.

Sec. 3.1002. Powers and Duties.

The RFP Steering Committee shall have the following duties:

- A. To review proposals and Statements of Qualifications submitted in response to RFPs and RFQs, etc. and recommend a firm to the City Council.
- B. To review and report to the Mayor and City Council on such other matters as may be referred to it by the Mayor and City Council subject to the applicable provisions of this Code.

Sec. 3.1003. Meeting Schedule.

The RFP Steering Committee will meet on an as-needed basis in accordance with Sec. 3.105 of this Chapter.

Streetscape Economic Enhancement Committee Initiatives

Initiative	Major Activities Update	Frequency	Milestone	Budget	Lead Contact	Status
Façade Improvement Program	Encourage private investment in the exterior of commercial properties w/ matching grant	Ongoing		\$100,000 in FY19 CIP (Draft)	Kelley	In Progress
	Program Policy revised February 2016	As Needed	Winter 2016	N/A	Kelley	Completed
Clock Tower	Construct a focal point and key element of the downtown beautification plan; includes NW and NE corners of Irving Park and Wood Dale Rds	Once	Summer 2018	\$1.53M (\$490K Grant) in FY19 CIP (Draft)	City Council/Ed	In Progress
Wood Dale Entry & Directional Signs	Most of the entry signs have been installed; directional signs are being determined (location & text)	Once	Summer 2018	\$200,000 in Tourism Fund - Community Signage	City Council/Ed	In Progress
Wind Sculpture & Colored Lights	Need to be relocated once the safety improvements are completed	Once	Summer 2018?	N/A		
Clock Garden	Determine new location for clock or what to do with existing clock (base in need of repair or replacement)	Once			PW	
4th Grade Forestry Program	Coordinate with school district for an Arbor Day event - 120-125 saplings for each child to plant	Annually	Arbor Day	\$3,000 in Tourism Fund - Streetscape Committee	Kelley	
Tree Planting Program	Plantings are occurring annually	Ongoing	Annually	\$30,000 in PW Street Maintenance for Parkway Tree Replacement	Kelley/PW	
Street Lights - border to border Wood Dale & Irving Park Roads	Install decorative street lights along major corridors	Once	Each FY will budget for a stretch of roadway	\$100,000 for Division St & \$340,000 for Irving Park Rd in FY19 CIP (Draft)	PW	Not Started
Banners/Temporary Signage - Branding	Determine schedule and conduct inventory (# of signs, condition of signs, and location)	Once	Summer 2019	\$37,500 in FY18 Tourism	Kelley/PW	
Veteran's Park	Evaluate since landscaping has been installed; determine if/where medallions should be located and if additional landscaping is necessary; project on hold until completion of the clock tower to ensure consistent character	Once	FY20	\$250,000 in FY20 (Draft)		Not Started

Streetscape Economic Enhancement Committee Initiatives

Initiative	Major Activities Update	Frequency	Milestone	Budget	Lead Contact	Status
EOWA Corridor Improvements - ramps, bridges, fencing/railing, lighting, leaf imprints, landscaping	Most improvements have been installed; the landscaping is yet to be installed	Once	Spring 2018	N/A	Kelley/PW	In Progress
Design Guidelines - decorative street light, crosswalks, benches, trash cans, etc.	Community Development and Public Works are creating a set of design standards with these elements included	Once	Spring 2018	\$32,000 in FY18 Contract Services - CD	Ed/PW	In Progress