



# CITY OF WOOD DALE

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## **COMMUNITY DEVELOPMENT COMMISSION** **MEETING AGENDA**

Date & Time: October 15, 2018 at 7:00 PM  
Location: Wood Dale City Hall  
Council Chambers  
404 N. Wood Dale Road  
Wood Dale, IL 60191  
Members: Ron Damasco, Brad Karich, Richard Petersen, Dave  
Shimanek, Rick St. Marie, George Vant, David Woods  
Staff Liaison: Kelley Chrisse

### **I. CALL TO ORDER BY CHAIRMAN**

### **II. ROLL CALL**

### **III. BUSINESS ITEMS**

*A. Approval of Meeting Minutes from September 17, 2018*

### **IV. PUBLIC HEARINGS**

#### *A. Case No. 2018-CDC-08*

The Board of Library Trustees of the Wood Dale Public Library District is requesting a Major Site Plan Review, Special Use and Planned Unit Development to construct an approximately 3,800 square foot addition to the existing public library. The subject property is located at the southwest corner of Wood Dale Road and School Street, commonly known as 520 N Wood Dale Road (PIN 03-09-410-038), Wood Dale, Illinois.

### **V. STAFF LIAISON REPORT**

### **VI. ADJOURNMENT**

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## COMMUNITY DEVELOPMENT COMMISSION MINUTES

Committee Date: September 17, 2018  
Present: Ron Damasco, Brad Karich, Richard Petersen, David Shimanek, Rick St. Marie, George Vant, Dave Woods  
Absent: None  
Also Present: Sean Conway, Kelley Chrise, Daniel Shapiro and Ian Brown with Shapiro and Associates, Christopher and Laura Butz, Steve Mikos, Katarina Wallace, Lara Schwarz, Sanjay and Vineeta Shivde, Darek Piotrowski  
Meeting Convened at: 7:00 p.m.

Attorney Conway stated that since a permanent Chairman has not yet been appointed, that it would be necessary to appoint a Chairman Pro Tem for this meeting. To that effect, Mr. Woods made a motion, seconded by Mr. Vant, to appoint Mr. Karich as Chairman Pro Tem. A roll call vote was taken with the following results:

Ayes: Mr. Woods, Mr. Damasco, Mr. Vant, Mr. Petersen, Mr. Shimanek, Mr. Karich, Mr. St. Marie  
Nays: None  
Abstain: None  
Motion: Carried

### **CALL TO ORDER:**

Mr. Karich called the meeting to order at 7:00 P.M. Roll call was taken and a quorum was present.

### **APPROVAL**

Mr. Shimanek made a motion, seconded by Mr. Woods, to approve the minutes of the August 20, 2018 meeting. The minutes were unanimously approved as presented via voice vote.

Mr. Woods and Mr. Shimanek recused themselves for the upcoming public hearing.

### **PUBLIC HEARINGS:**

### **CASE NO 2018-CDC-05**

Ridgewood Investments LLC is requesting a Text Amendment to Chapter 17, Article V, Sec. 17.503.C of the Municipal Code to allow a Contractor's Office as a Special Use in the Town Center Business District. Concurrently, an application has been filed for a

Special Use and Major Site Plan Review, upon approval of the requested text amendment, to operate a Contractor's Office at 361 N Wood Dale Road.

Regarding the Text Amendment, Ms. Chrissie described that the TCB District was established in 2008 and was intended to contain specialty retail, civic, entertainment and service uses catering to the needs of the residents and attracting regional shoppers. The Petitioner is requesting to amend the Table of Permitted Uses to allow a Contractor's Office as a Special Use in the TCB. A Contractor's Office is currently permitted in the C-2, C-3, I-1 and I-2 zoning districts. Staff finds that the amendment would not be consistent with the 1997, 2003 or the newly adopted Comprehensive Plan and would not support any of the goals called for. In addition, the Unified Development Ordinance (UDO) calls for the TCB district to create a walkable, pedestrian friendly environment, which restricts the proposed use in this district. For these reasons, staff does not find that this text amendment is consistent with either the Comprehensive Plan or the UDO.

Ms. Chrissie identified that, upon approval of the text amendment, the Petitioner is seeking a Special Use and Major Site Plan Review. She described the business: a heating, ventilation, air conditioning and refrigeration contractor that is looking to occupy 361 N Wood Dale Road. Ms. Chrissie summarized the staff memo noting that in addition to the Special Use not supporting the Comprehensive Plan, that the Contractor Office proposed for this location would also not support the goals in the Vision Plan. Ms. Chrissie reviewed the site plan and noted that the recommended parking lot perimeter screening has already been completed and the property owner has restriped the parking lot without a permit in an attempt to meet the street transition and handicapped parking requirements.

Mr. Daniel Shapiro, representing the petitioner, responded to staff comments by pointing to the fact that the building has been vacant for years, thus creating a negative image and that establishing a viable business at the location could be viewed as adding an energy to the general area. While acknowledging the philosophy of the Town Center Business District, it appears that that revitalization has not happened to date. He explained that there is no warehousing planned for the building, that there is no type of manufacturing proposed, that hours and days of operation, Monday through Friday 7:30 A.M to 4:00 P.M., are not in conflict with any of the surrounding properties and that there are no large trucks or delivery vehicles needed. Further, this Special Use is a more desirable than other Special Use businesses located in other parts of the City.

Mr. Darek Piotrowski of 243 Harvey and Mr. Steve Mikos of 337 Hemlock offered comments supporting petitioner's character and his request. Mr. Butz stated that he was not aware of the existence of the Town Center Business District zoning requirements when purchasing the building and stated that his intention is to invest in the future of not only his business but in Wood Dale's future development.

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At the conclusion of testimony, Mr. Vant commented that City staff invested a great deal of effort and time in creating the Town Center Business District zoning classification and does not see this use as compatible.

Mr. Conway noted that the petitioner submitted a letter dated September 7, 2018 that was provided to the Commissioners tonight will be included as part of the record.

**VOTE:**

Mr. Karich made the following motion: based on the submitted petition and the testimony presented, the proposed Text Amendment is consistent with the UDO and the Comprehensive Plan and that I move that the Community Development Commission adopt the findings of fact and recommend to Council to allow a Contractor's Office as a Special Use in the Town Center Business District.

The motion was seconded by Mr. Vant. A roll call vote was taken with the following results:

Ayes: Mr. Damasco, Mr. Karich, Mr. Vant, Mr. Petersen, Mr. St. Marie  
Nays: None  
Abstain: None  
Motion: Carried

A second motion was made by Mr. St. Marie: based on the submitted petition and the testimony presented, that the request meets the standards of approval and is consistent with the UDO and the Comprehensive Plan, I move that the Community Development Commission adopt the Findings of Fact set forth by the applicant and recommend to City Council approval of Case No. 2018-CDC-05 with the following conditions:

1. Remove or replace the existing non-conforming pole sign
2. Restripe the parking lot to provide
  - a) The 30-foot transition to the nearest parking stall along Wood Dale Rd.
  - b) Provide one accessible parking stall
3. Provide landscaping along Wood Dale Rd. to screen the parking lot  
Note: This landscaping has already been planted by the petitioner

The motion was seconded by Mr. Peterson. A roll call vote was taken with the following results:

Ayes: Mr. Damasco, Mr. Karich, Mr. Vant, Mr. Petersen, Mr. St. Marie  
Nays: None  
Abstain: None  
Motion: Carried

**STAFF LIAISON REPORT:**

There was no report.

**ADJOURNMENT:**

Mr. Peterson made a motion to adjourn the meeting at 8:12 P.M. The motion was seconded by Mr. St. Marie and was unanimously approved via voice vote. Motion carried.

*Minutes taken by Marilyn Chiappetta*

DRAFT

# CITY OF WOOD DALE

Community Development



## MEMO

DATE: October 15, 2018

TO: Community Development Commission

FROM: Kelley Chrise, AICP, Assistant Community Development Director

SUBJECT: Case No. 2018-CDC-08, Special Use, Planned Unit Development and Major Site Plan Review for the Wood Dale Public Library, 520 N Wood Dale Road

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### **REQUEST**

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The property owner, Board of Library Trustees of the Wood Dale Library District, has submitted an application requesting a Special Use, Planned Unit Development and Major Site Plan Review to construct a 3,800 square foot addition, renovate the existing facility and expand the parking lot at 520 N Wood Dale Road (PIN 03-09-410-038), commonly known as the Wood Dale Public Library.

### **PROPERTY INFORMATION**

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Address: 520 N Wood Dale Road  
PINs: 03-09-410-038  
Property Size: 2.705 Acres (approx. 117,813 square feet)  
Existing Land Use: Civic/Institutional  
Future Land Use: Civic/Institutional  
Existing Zoning: R-2, Large Lot Single-Family

#### Surrounding Land Use & Zoning

North: I-1, Light Industrial; and R-2, Large Lot Single-Family  
South: R-2, Large Lot Single-Family  
East: R-1, Estate Residential; R-2, Large Lot Single-Family; and R-3 Single Family Residence in unincorporated DuPage County  
West: R-2, Large Lot Single-Family

## ANALYSIS

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### Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Public Hearing Application
- Location Map
- Plat of Survey & Topographic Survey (Exhibit A)
- Petitioner Narrative (Exhibit B)
- Drawing Set (Exhibit C) – *the drawing sheets listed below are the only sheets attached to the staff memo as they summarily illustrate compliance with the Special Use, PUD and Major Site Plan Review standards:*
  - Exhibit C-1: Architectural Sheets ASD1.00, AS1.00, AD1.00, A1.00, A4.00
  - Exhibit C-2: Civil Sheets 1-4
  - Exhibit C-3: Landscape Plan, Sheet LP-100
  - Exhibit C-4: Photometric Plan Sheet 1
- Renderings (Exhibit D)
- Stormwater Management Report
- Traffic Impact Letter

### Project Description

The subject property, commonly known as Wood Dale Public Library, is located on the southwest corner of School Street and Wood Dale Road (see image below) and is zoned R-2, Large Lot Single-Family Residential. The 2.705 acre site is improved with an approximately 22,300 square foot public library with surface parking (see Exhibit A) on a wooded lot in the middle of a residentially zoned neighborhood. The applicant has petitioned for Special Use and Planned Unit Development (PUD) approval (see Exhibit B) to construct a 3,800 square foot addition, renovate the existing facility and expand parking.



*Subject Site Location*

The purpose of these improvements is to expand library services and create flexible spaces within the library to better serve the community. Additionally, there will be replacements and

upgrades to the existing building services, expansion of program space and revised layout for operational efficiencies.

The various drawings in Exhibit C provide a more detailed scope of work for the project in total. Stormwater runoff will be captured through a series of drywells adjacent to the improvements and piped underground to the north side of the site (see Exhibit C-2). The expanded parking lot will accommodate 12 additional vehicles by using an existing drive aisle that leads to the book mobile parking area, dumpster and mechanical equipment. Renderings of the addition are provided as Exhibit D.

### **Compliance with the Comprehensive Plan**

The subject property is designated as Civic/Institutional in the Future Land Use Map of the Comprehensive Plan. This Land Use Category intends to maintain high quality civic and institutional facilities.

The proposed addition will help the City achieve Goal 1, Objective 1: Improve Existing and Create New and Fun Public Spaces for Residents. The expansion of the library facility will provide more flexible and modern gathering spaces for the community, which helps the City advance the goal of connecting citizens to each other.

The proposed improvements will help the City achieve Goal 2, Objective 3: Improve Community Services and Intergovernmental Coordination. The library addition will allow the Wood Dale Library District to expand its services to the community, which helps the City advance the goal of Building Community Capacity.

The location of this library, along a major corridor but nestled within a residential neighborhood, provides an ideal setting to maintain the proposed complimentary and compatible land uses that can also utilize the existing road network. The proposed improvements will serve to provide enhanced library services for residents, improving quality of life within the community. The Special Use, Planned Unit Development and Major Site Plan Review requests are consistent with the Future Land Use and the Comprehensive Plan.

### **Compliance with the Unified Development Ordinance (UDO)**

#### *Allowable Uses*

The subject property is zoned R-2, Large Lot Single-Family. A library located in residentially zoned areas require a Special Use. A Special Use (ordinance 1059) was granted for the subject property to permit the operation of a library in 1979. Since then, the subject property received a variation (ordinance 2051) in 2000 to permit an increase in the lot coverage from 35% to 45.4% to allow construction of a 2,640 square foot addition. (It should be noted that the applicant also owns and received Special Use approval (ordinance O-08-042) to allow a public use of a residential structure as administrative offices for the Wood Dale Library District at 140 School Street, immediately north of the west end of the existing library building on the subject site.) To clarify the allowances, the petitioner has requested an amendment to the



original Special Use, approval of a Planned Unit Development and Major Site Plan Review to permit deviations as specified in Exhibit C and outlined within this memo.

*Lot Development Standards*

The only permitted building type for the R-2 zoning district is a type 2 building. The purpose of the PUD is to allow the application of building type 9 for the subject property to better represent the potential impact on adjacent residential properties. As such, the lot development standards for the proposed improvements are depicted in the site plan and construction details provided in Exhibit C. An analysis of the lot development regulations as compared to the proposed improvements is summarized below with regulations in bold being requested as deviations:

<b>Development Standard</b>	<b>Existing Library</b>	<b>Type 9 Building Standards</b>	<b>Proposed Library Expansion</b>
Lot Coverage (max.)	48.3% (56,892 SF)	N/A	55.5% (65,450 SF)
Front Setback (build-to)	168.75-feet	20-feet	No Change
Corner Side Setback (min.)	88.26-feet	20-feet	No Change
Side Setback (min.)		0-feet	48-feet
Adjacent residential property	13.94-feet	15-feet	<b>13.5-feet</b>
Rear Setback (min.)	192.58-feet	35-feet	140.25-feet
Building Coverage (max.)	19% (22,290 SF)	N/A	22% (26,068 SF)
Maximum Height	25-feet	40-feet	25-feet
Building Use Standards – Ground Floor	Library	Retail/office/food service	<b>Library</b>

With respect to the building setbacks for the addition, the existing library is 13.94-feet from the existing library administrative offices, which is not residentially used. The building addition will continue the existing setback and will be adjacent to only one residential property with a detached garage along the shared property line. The requested deviation is to allow a reduction in the setback for adjacent residential properties by 1.5-feet. (The setback noted on the architectural setback is in error. The actual setback will be approximately 13.5 feet, as requested.) Note that the eaves encroach approximately 4-feet into the side yard setback, which exceeds the current regulations, but the encroachment is non-conforming since the construction was prior to the maximum encroachment of 2-feet was adopted. The depth of the eaves are proposed to continue on the addition to maintain consistency of the design of the facility, which reads more residential due to the height and how it is tucked behind residential properties.

*Parking and Traffic*

An analysis of the parking requirements is summarized below:

<b>Regulation</b>	<b>Existing</b>	<b>Required</b>	<b>Proposed</b>
Number of Parking Spaces	58 spaces	10 additional spaces; 68 required	11 additional spaces; 69 proposed
Regular Parking Stall Dimensions	9-feet by 18-feet	9-feet by 18-feet	9-feet by 19-feet
Number of Handicapped Parking Spaces	5 spaces	3 spaces total	5 spaces (no change)
H/C Parking Stall Dimensions	9-feet by 18-feet	9-feet by 16-feet	No Change
Drive Aisle Width	15-feet (at narrowest) 22-24-feet	24-feet	24-feet
Street Transition	20-feet (east) 24-feet (west)	30-feet	No Change

The proposed parking lot improvements do not impact the existing curb cut or the external or internal traffic flow. The City Engineer has reviewed the traffic impact letter provided for the proposed improvements and concurs with the assessment that the minor addition would have a negligible impact on traffic and, therefore, does not warrant a complete Traffic Impact Study.

The existing parking lot on the south property line does not conform to the 20-foot parking setback required from residential properties but is not proposed to change. However, the applicant is proposing to remove a couple light poles and replace a light fixture that currently has 360 degree distribution. The new replacement light fixture will direct the light to the subject property in order to reduce light spill on the adjacent residential properties. In doing so, the lighting levels will increase but the minimum light levels will not be achieved on the subject site. The removal of the two light poles along the south property line will eliminate light spill, coupled with the installation of an 8-foot tall fence, which will deviate from the regulations. Even with the removal of the light poles, there will be wall mounted lights on the library to provide security lighting to get to the vehicles. The “dark” spots would be in the drive aisle. The following deviations are requested for the parking lot lighting:

1. Parking Lot Illumination: minimum 0.03 foot candles in lieu of minimum 0.25 foot candles required
2. Property Line Illumination: maximum 5.7 foot candles in lieu of maximum 0.1 foot candles required
3. Max-Min Light Level Ratio: 133:1 in lieu of 15:1 required

The City Engineer has reviewed the requested deviations and concurs that the proposed fixtures will reduce the existing light trespass and provide adequate lighting for the subject property.

*Landscaping*

Although trees will be removed as part of these proposed improvements, the tree replacement provisions of Section 17.606.B do not apply. The subject site is wooded and, as such, there are a number of deviations that have been requested since the intent of the regulations are being met with the existing trees.

In an attempt to minimize new impervious area, there is limited space in the new parking area to provide the required landscape islands at the end of each parking row, per Section 17.606.C.9.b(1). In an effort to meet this intent, the applicant has agreed to plant the adjacent grassed island with the required tree and other plantings. Additionally, a new landscaped island would need to be provided at the now 2<sup>nd</sup> parking space from the entrance on the west side of the drive aisle. Since this configuration would create an unusual single parking stall and the applicant seeks to provide as many parking stalls as possible, they are requesting a deviation from providing landscaped islands at the ends of parking rows.

The parking lot screening requirements of Section 17.606.C.9.c apply to the new parking area. Note that the existing parking lot is non-conforming since the regulations were not required at the time the parking lot was originally constructed. As such and with the new parking area located along School Street, the screening required would be along the west and north side of the parking lot. Since the property to the west is a non-residential use – owned and operated by the Library District, a deviation is requested to consider this parking lot as abutting nonresidential property and apply Sections 17.606.C.9.c(1)(B) and 17.606.C.9.c(2)(B). These regulations only apply to the new parking lot – the existing parking lot is not subject to these provisions.

A 10-foot setback is required to provide foundation landscaping per Section 17.606.C.10.b. A deviation is requested to eliminate the setback requirement on the north and south sides of the addition. The 4-foot depth of the eaves, the retaining wall, the 8-foot tall fence and the need to provide access around the building would limit the amount of landscaping that could survive along the north side of the building. Additionally, on the south side of the building, the 5-foot sidewalk to provide safe pedestrian access along the parking lot and the 4-foot depth of the eaves again limit the amount of space available for plantings that could survive. The required foundation landscaping will be provided on the west side along the patio.

Since the library functions as a nonresidential property, there is a requirement to provide a buffer between residential and non-residential uses per Section 17.606.C.11.b. The regulation calls for a 6-foot tall privacy fence along property lines adjacent to residential. The subject property is residentially zoned but the use is more commercial in nature, which is the reason for the requested deviation to allow a type 9 building. Similarly, the applicant has requested a deviation to install an 8-foot privacy fence, which is permitted for nonresidential districts in Section 17.602.B.3.b, to provide a better buffer between the residential use and the library. An 8-foot privacy fence is permitted in non-residential districts and will be setback 20-feet from the front property line. The installation of the fence will provide 100% coverage meeting the requirement of the screening regulation. The taller fence will provide greater screening of the book mobile, which is parked on the north side of the site. The additional landscaping required along the fencing is not being provided along the south property line, as there is insufficient space based on existing conditions that are not proposed to change with these improvements. With the existing trees and added vegetation along the building, there is no proposed additional trees along the west and north property lines where the building addition is located. However, the applicant has added the required landscaping along the fence to screen the book mobile, dumpster and mechanical unit along School Street. The

elimination of additional shade trees is a requested deviation due to the existing wooded lot already meeting this intent.

#### *Stormwater Management*

The proposed improvements will increase the amount of impervious area on-site by approximately 8,600 square feet, which does not require detention but does require stormwater best management practices (BMPs). The applicant will use a drywell to capture the run-off at the southwest corner of the building addition, which will be piped north to a storm sewer connection on School Street. Note that the underground piping for the building addition will extend along the west edge of 140 W School Street, the administrative offices of the Library, which is not part of the Special Use and PUD. The new parking area will be pitched to another drywell at the north end of the parking area, which already has an existing manhole connecting to the existing storm sewer system.

The applicant is requesting a waiver of the Performance Security requirements in Section 17.809 of the UDO, as they are a public entity. The Performance Security requirement in DuPage County's Stormwater Management regulations exempts public bodies from this requirement but ours does not. The City will be evaluating our stormwater regulations to see if this should be incorporated back into the code.

#### *Public Safety*

The Wood Dale Fire Protection District has reviewed the proposed improvements and determined that there is sufficient access for emergency vehicles to access the site. A manual and automatic fire alarm system and an automatic suppression system will be installed throughout the expanded library.

#### *PUD Process*

The petitioner is requesting a combined concept, preliminary and final development plan to facilitate construction commencement immediately upon approval. The requested Special Use, PUD and Major Site Plan Review is consistent with the UDO.

#### **Neighborhood Comment**

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO. Staff received no inquiry regarding the requests as of October 9, 2018. The applicant also hosted a community meeting on June 21, 2018 to inform the public of the expansion and solicit feedback. Additionally, the display boards created for this project were on display at the Library's booth at Prairie Fest for Resident Appreciation Night. The summary of these outreach efforts is included in Exhibit B.

#### **Findings of Fact**

The Community Development Commission may recommend approval of a Special Use, Planned Unit Development and Major Site Plan Review if evidence is presented to establish that the application meets the standards. The standards are as follows (*staff comments italicized*):

## Special Use Standards

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

*The subject property has been used as a public library for approximately 40 years with a Special Use granted in 1979. The location of the subject site, along a major corridor but nestled within a residential neighborhood, provides an ideal setting to expand library services for residents of all ages by utilizing the existing road network and maintaining the residential feel of the building. The proposed improvements will provide enhanced library services for residents of all ages, improving quality of life within the community. As a public library, the location is necessary and desirable to provide greater access to educational and literacy options within walking distance for the residents surrounding the library as well as for those traveling by bike or car, thereby enhancing the existing neighborhood and contributing to the general welfare of the neighborhood and community. This standard is met.*

2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

*The proposed Special Use will not adversely affect the adjacent properties, but would rather expand access to high-quality library services. The proposed improvements minimize impact to adjacent residential uses by installing a privacy fence along the property lines, siting the building addition at the rear of the property, expanding parking along School Street and reducing light trespass by removing and replacing certain light fixtures. The existing building design that is more residential in feel will continue through the modestly sized addition. The minor addition and interior renovations are not anticipated to increase traffic but, to accommodate the expanded use, twelve new parking stalls are being provided using the existing ingress/egress. Utility facilities and other matters affecting public safety are not anticipated to be impacted by the proposed Special Use. This standard is met.*

3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

*The proposed Special Use will not impair the use or enjoyment of adjacent properties and is not likely to negatively affect property values. The existing single-family neighborhood surrounding the library will continue to be used as it is currently but with enhanced services provided at the library. In fact, the proposed improvements will provide a better buffer between the library and the residential neighborhood and reduce the amount of light trespass leading to a greater enjoyment of the properties in the immediate vicinity. This standard is met.*

4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

*Although the library is located within an existing single-family neighborhood and can function like a commercial use with regards to parking, lighting and possibly noise, the design of the single-story wood and brick structure is compatible with and complementary to the neighborhood. The amendment of the Special Use to permit the expansion of the existing library will not be noticeable from Wood Dale Road; impede, substantially hinder or discourage development of the adjacent properties. This standard is met.*

5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

*The proposed Special Use would provide enhanced library services and educational and literacy opportunities with minimal impact to adjacent properties. The development and use of neighboring properties would not be impaired by the approval of the requested Special Use. This standard is met.*

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

*The proposed development plan provides for adequate utilities, drainage and other necessary facilities in accordance with code requirements. This standard is met.*

7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and

*The existing parking lot is being expanded to accommodate the additional needs generated by the addition. The use of the existing driveway will continue to provide for safe and efficient circulation. Since the parking lot expansion is located along School Street and adjacent to the Library's administrative offices, there will no impact to the adjacent residential uses. However, the parking lot expansion will be screened with a fence and landscaping along the west and north sides in accordance with code requirements. This standard is met.*

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

*The standards for PUDs are evaluated below, per Section 17.405 of the UDO. This standard is met.*

### General Standards and Criteria for Planned Unit Developments

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

*The proposed improvements will not hinder or prevent the development of surrounding properties as the surrounding area was previously developed and any redevelopment of the area can still occur without impact. The existing single-family neighborhood will continue to be used as it is currently and in accordance with the Comprehensive Plan but with enhanced amenities at the library. This standard is met.*

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

*The proposed improvements are scheduled to be completed by fall of 2019. Upon approval of the permit, the improvements will be required to be completed within one year, which is a reasonable time frame for this project. This standard is met.*

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

*The subject property is solely owned by the Board of Library Trustees of the Wood Dale Public Library District. This standard is met.*

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

*The installation of the stormwater best management practice (BMP) will require the recording of an easement and a note to title regarding the existing and maintenance of the BMP. This standard is met.*

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.

*No change is proposed or necessary to existing sanitary and water services. The stormwater BMPs are proposed in locations to capture additional runoff on the subject property, which will connect via underground piping to the existing storm sewer on School Street. This standard is met.*

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.

*The location and arrangement of the addition and parking lot expansion is such that it minimizes impact to the adjacent residential uses. The addition of a privacy fence along the property lines with adjacent residential coupled with the elimination of certain light poles and replacement of a light fixture will protect the privacy of the neighbors and reduce light trespass. The subject site is already wooded and the applicant has proposed to remove only the trees that are within and immediately adjacent to the construction footprint. Additional landscaping will be provided along School Street to buffer the parking lot expansion and the loading area. This standard is met.*

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

*The subject property is currently an existing library. The proposed improvements are likely to further encourage neighborhood and/or community cohesiveness as a result of providing flexible community gathering spaces and activities for residents of all ages. This standard is met.*

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

*The uses proposed in the PUD are both necessary and desirable for the community quality of life. The applicant has demonstrated this through the feedback collected during their own community meeting and other outreach efforts to discuss the proposed improvements. The applicant has identified that “residents were excited about the opportunity for the Library to renovate and expand to provide services to the community.” This standard is met.*

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

*The recently adopted Comprehensive Plan has designated the subject site as Civic/Institutional. The expansion and renovation of the Library will continue the civic land use. This standard is met.*



10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

*This site is subject to the regulations of the R-2, Large Lot Single-Family, zoning. However, the fact that the library, while being residential in building design, functions similar to a commercial business has prompted the applicant to request deviations starting with the building typology to allow construction of a type 9 building and the installation of an 8-foot tall fence. The deviations requested relative to landscaping are due to the existing wooded lot as well as the location of the proposed improvements. The improvements planned will provide an improved environment for social interaction and learning, while respecting the use of the adjacent residential properties. These amenities promote the general welfare of the public and would be limited if required to adhere to the R-2 zoning regulations. This standard is met.*

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.

*The existing site is wooded and the applicant has proposed to add landscaping to comply with code requirements, where reasonable. Given the existing tree coverage, the applicant is not proposing to plant more trees but will supplement the existing vegetation with shrubbery and other plants to soften and buffer the improvements, as necessary. This standard is met.*

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

*No additional streets or driveways are proposed to serve the proposed improvements. This standard is not applicable.*

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

*There are no dwelling units within the PUD and no off street parking is proposed. However, the parking expansion and service areas will be screened in accordance with the code requirements. This standard is met.*

14. A pedestrian circulation network is provided.

*An existing pedestrian circulation is provided. The proposed improvements will extend the sidewalk along the existing south parking lot to provide pedestrian access to the parking stalls as well as provide a new accessible route adjacent to the parking lot expansion. This standard is met.*

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

*All required utilities will be installed in accordance with applicable codes. This standard is met.*

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

*The proposed PUD will provide for functional and beneficial use of open space as well as a safe and desirable environment characterized by sensitive and unified building and site development program. The building addition that will incorporate large windows on the west elevation with a patio will allow residents to now enjoy the wooded site while at the library. The architectural design of the addition and the site elements were carefully contemplated in order to create minimal impact to the adjacent residences while offering the most effective use of space for the community. As such, objectives 3 and 5 are met by the proposed improvements and requested PUD. This standard is met.*

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

*There are no existing creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development. The existing detention basin (pond) north of the subject site will not be impacted by the proposed improvements. This standard is met.*

#### Standards For Site Plan Review:

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;

*As presented, the site plan meets the policies, goals and objectives of the Comprehensive Plan. The proposed addition will help the City achieve Goal 1, Objective 1: Improve Existing and Create New and Fun Public Spaces for Residents. The expansion of the library facility will provide more flexible and modern gathering spaces for the community, which helps the City advance the goal of connecting citizens to each other. The proposed improvements*

*will also help the City achieve Goal 2, Objective 3: Improve Community Services and Intergovernmental Coordination. The library addition will allow the Wood Dale Library District to expand its services to the community, which helps the City advance the goal of Building Community Capacity. The proposed improvements will serve to provide enhanced library services for residents, improving quality of life within the community. This standard is met.*

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17;

*The existing ingress/egress will not change as part of the proposed improvements. The parking expansion will likely be used by staff to minimize potential conflicts within the parking lot. This standard is met.*

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;

*The location of the building addition and fence does not affect traffic circulation, as they are located outside areas of internal traffic. The fence will be installed with a gap at the bottom to allow water to flow beneath it, as necessary and will provide a higher degree of privacy for the neighboring properties. This standard is met.*

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code;

*The City Engineer has provided approval of the proposed site and stormwater management design. The Fire District concurs with the site plan with regards to access. The Building Administrator has provided initial comments relative to the building design and code compliance. All disciplines will continue to work with the applicant to ensure compliance. This standard is met.*

5. That the proposed use(s) is/are permitted in the district in which the property is located;

*The residential zoning of this property requires a Special Use to expand the library and the PUD approval will authorize the necessary deviations to provide a greater benefit to the community than would otherwise be available under the residential zoning. This standard is met.*

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;

*The proposed addition, parking expansion, access, landscaping and drainage is compatible with adjacent land uses and employs sound planning principles. The removal of two light poles along the south property line and the replacement of a lighting fixture will reduce the light trespass currently experienced by the neighbors to the south. Additionally,*

*the installation of the fence will help to increase the use and enjoyment of the adjacent properties. This standard is met.*

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well; and

*No change is proposed to the existing ingress/egress. The internal circulation will be modified slightly to accommodate the additional parking and the sidewalk impacted will be altered to provide greater accessibility. This standard is met.*

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

*The existing parking of the book mobile, dumpster and mechanical equipment on the north side of the building will be screened with an 8-foot tall privacy fence. Landscaping will also be planted to soften the fence. This standard is met.*

## **RECOMMENDATION**

---

The Community Development Department finds that the request for a Special Use, Planned Unit Development and Major Site Plan Review to construct an addition and renovate the Wood Dale Public Library is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Special Use, Planned Unit Development and Major Site Plan Review meets the standards of approval and is consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo as the findings of the Community Development Commission, and recommend to the City Council approval of Case No. 2018-CDC-08 with the following conditions:

1. The Special Use, Planned Unit Development and Major Site Plan Review shall substantially conform to the staff memo dated October 15, 2018 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
2. A drainage easement shall be granted and recorded upon installation and approval by the City Engineer of the stormwater best management practices (BMP). The easement shall include language to allow the City to maintain or repair the BMP in the event that the owner fails to and the City can seek reimbursement for the cost of maintenance and/or repair.
3. A note to title shall be recorded to identify the existence of the BMP.

# PLAT OF SURVEY

Prepared By  
**MARCHESE AND SONS, Inc.**

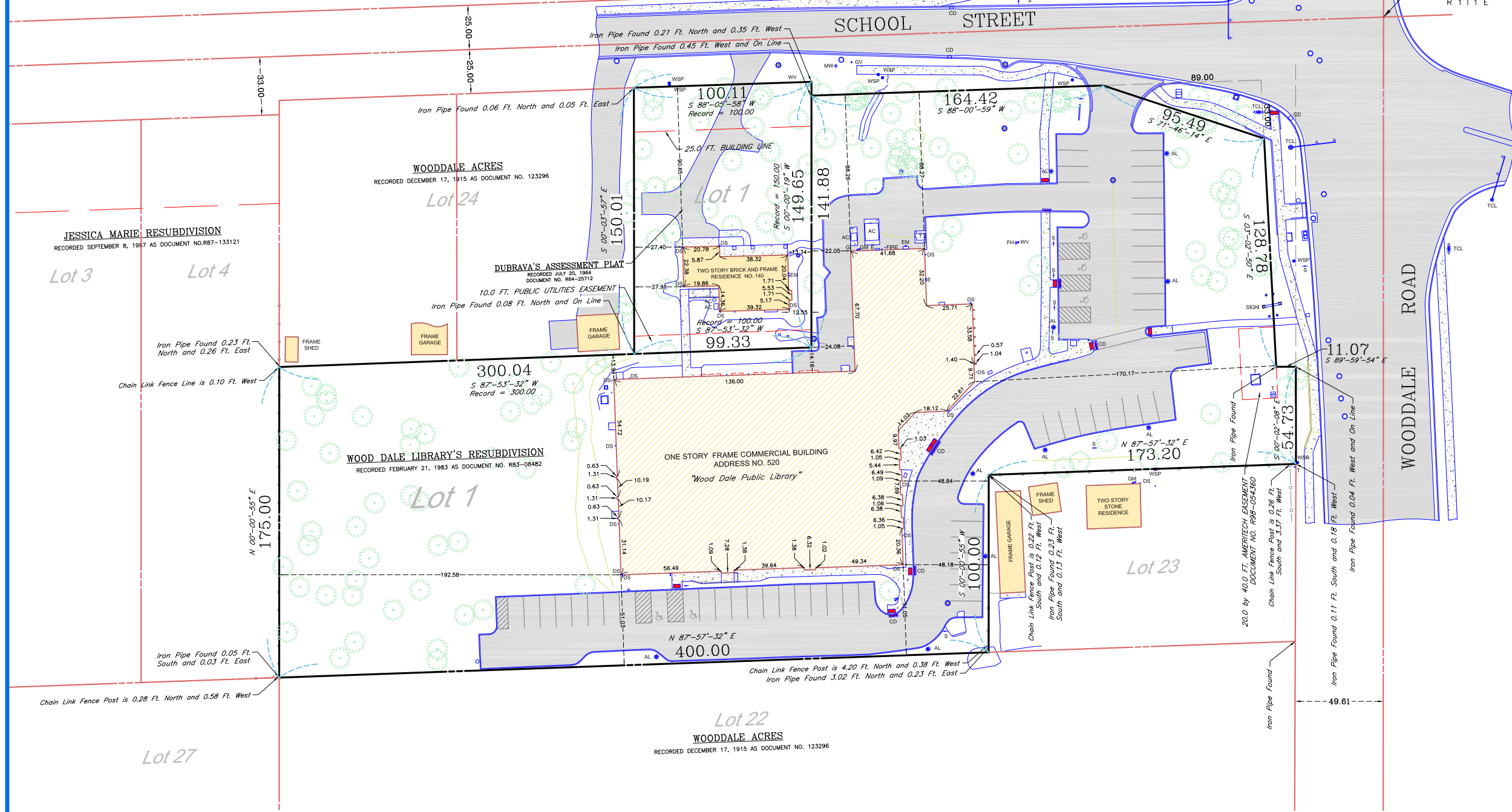
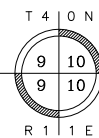
land - marine - construction surveys

10 Monaco Drive  
Roselle, Illinois 60172

Phone : (630) 894-5680  
FAX : (630) 894-8869

LEGEND	
	= AREA LIGHT (AL)
	= CATCH BASIN (CB)
	= CONCRETE PARKING BUMPER
	= CURB DRAIN (CD)
	= FIRE HYDRANT (FH)
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	= EASEMENTS

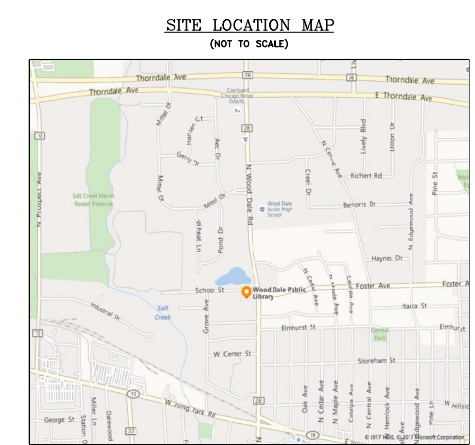
North



**PROPERTY DESCRIPTION**

**PARCEL ONE:**  
LOT ONE OF WOOD DALE LIBRARY'S RESUBDIVISION OF PART OF LOTS 23 AND 24 OF WOOD DALE ACRES, BEING PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO WOOD DALE LIBRARY'S RESUBDIVISION RECORDED ON FEBRUARY 21, 1983 AS DOCUMENT NO. R83-09482, ALL IN DU PAGE COUNTY, ILLINOIS.  
CONTAINING 117813 SQUARE FEET OR 2.705 ACRES, MORE OR LESS

**PARCEL TWO:**  
LOT ONE OF DUBRAVA'S ASSESSMENT PLAT OF THE EAST 100.0 FEET OF THE WEST 300.0 FEET OF LOT 24 OF WOOD DALE ACRES, BEING PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO DUBRAVA'S ASSESSMENT PLAT RECORDED ON JULY 20, 1964 AS DOCUMENT NO. R64-25712, ALL IN DU PAGE COUNTY, ILLINOIS.  
CONTAINING 14977 SQUARE FEET OR 0.344 ACRES, MORE OR LESS



**SHEET: 1 OF 3**

PIN NO.: 03-09-410-011  
03-09-410-038

ADDRESS: 520 NORTH WOOD DALE ROAD  
WOOD DALE, ILLINOIS, 60191

SCALE: ONE INCH = THIRTY FEET

ORDER NO.: 17-16233

ORDERED BY: MS. YVONNE BERGENDORD  
WOOD DALE PUBLIC LIBRARY

COMPARE ALL POINT BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR CONTRACT, DEED, TITLE INSURANCE POLICY AND ZONING ORDINANCE. BASIS OF BEARINGS SHOWN HEREON HAVE BEEN ASSUMED. MONUMENTS OR WITNESS POINTS WERE NOT SET AT THE CLIENT'S REQUEST.

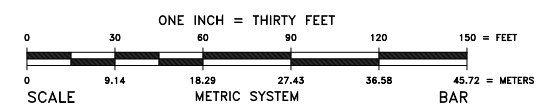
"THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY."

STATE OF ILLINOIS S.S.  
COUNTY OF DU PAGE

I, PAUL N. MARCHESE, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED AT ROSELLE, MAY 5, 2017

*Paul N. Marchese*  
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2464  
MY CURRENT LICENSE EXPIRES ON NOVEMBER 30, 2019  
FIELD WORK COMPLETED ON MAY 3, 2017



NOTE: UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN PLOTTED WITH THE AID OF AVAILABLE RECORDS. FOR LOCATIONS OF UNDERGROUND UTILITY MAINS, PLEASE CONTACT J.U.L.I.E. BY CALLING 811 OR 1-800-892-0123.

REVISION SCHEDULE		
9/10/18	Added Village Review Comments	1
DATE	REVISION	MARK

# TOPOGRAPHIC SURVEY

Prepared By  
**MARCHESE AND SONS, Inc.**

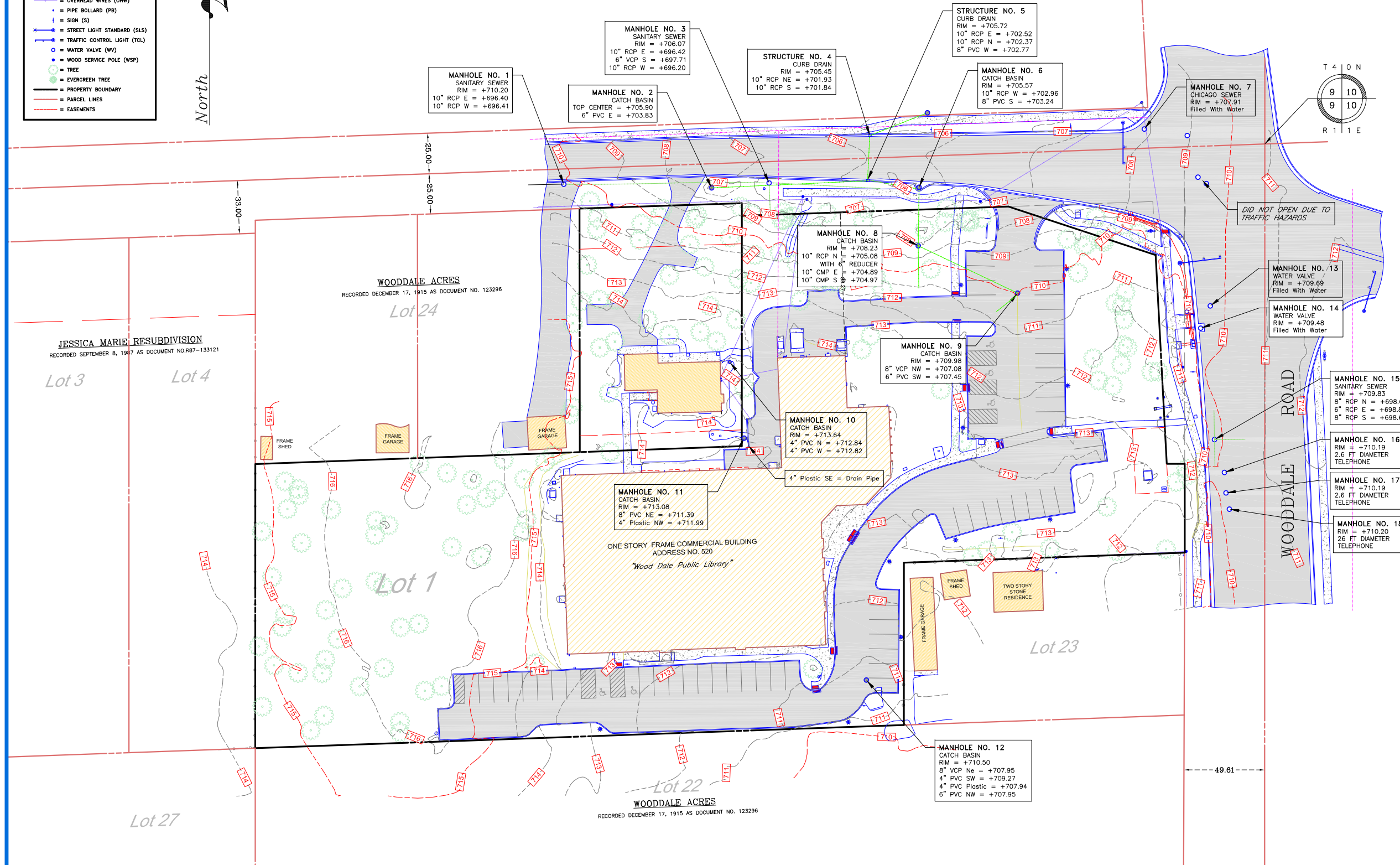
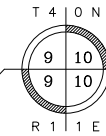
land - marine - construction surveys

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FAX : (630) 894-8869

LEGEND	
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	= PIPE BOLLARD (PB)
	= SIGN (S)
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	= TRAFFIC CONTROL LIGHT (TCL)
	= WATER VALVE (WV)
	= WOOD SERVICE POLE (WSP)
	= TREE
	= EVERGREEN TREE
	= PROPERTY BOUNDARY
	= PARCEL LINES
	= EASEMENTS

North



**BENCH MARK**

DuPAGE COUNTY 2006 GEODETIC SURVEY MONUMENT  
STATION DESIGNATION 0016  
PERMANENT IDENTIFIER (PID) DK3310  
NORTHING NAD83 1932579  
EASTING NAD83 1080657  
ELEVATION NAVD88 708.86 FEET

Station is just North of the intersection of WoodDale Rd. with Foster Ave. The monument is set in poured concrete 18.5' NW of a brick sign, 20.0' East of the edge of pavement of WoodDale Rd., 7.2' South of the back of curb to a parking lot, and 7.2' East of a parking lot. Monument is good for GPS observation.

**SITE BENCH MARK**

CROSS NOTCH SET IN CONCRETE WALK ALONG THE NORTH SIDE OF SCHOOL STREET LOCATED 18.7 FEET NORTH OF THE CENTER LINE OF SCHOOL STREET AND 215.4 FEET WEST OF THE CENTER OF WOOD DALE ROAD.  
NAVD 88 = +706.00

SHEET: 2 OF 3

PIN NO: 03-09-410-011  
03-09-410-038

ADDRESS: 520 NORTH WOOD DALE ROAD  
WOOD DALE, ILLINOIS, 60191

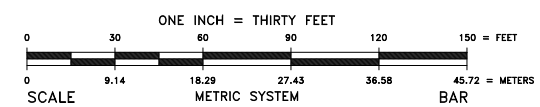
SCALE: ONE INCH = THIRTY FEET

ORDER NO.: 17-16233

ORDERED BY: MS. YVONNE BERGENDORD  
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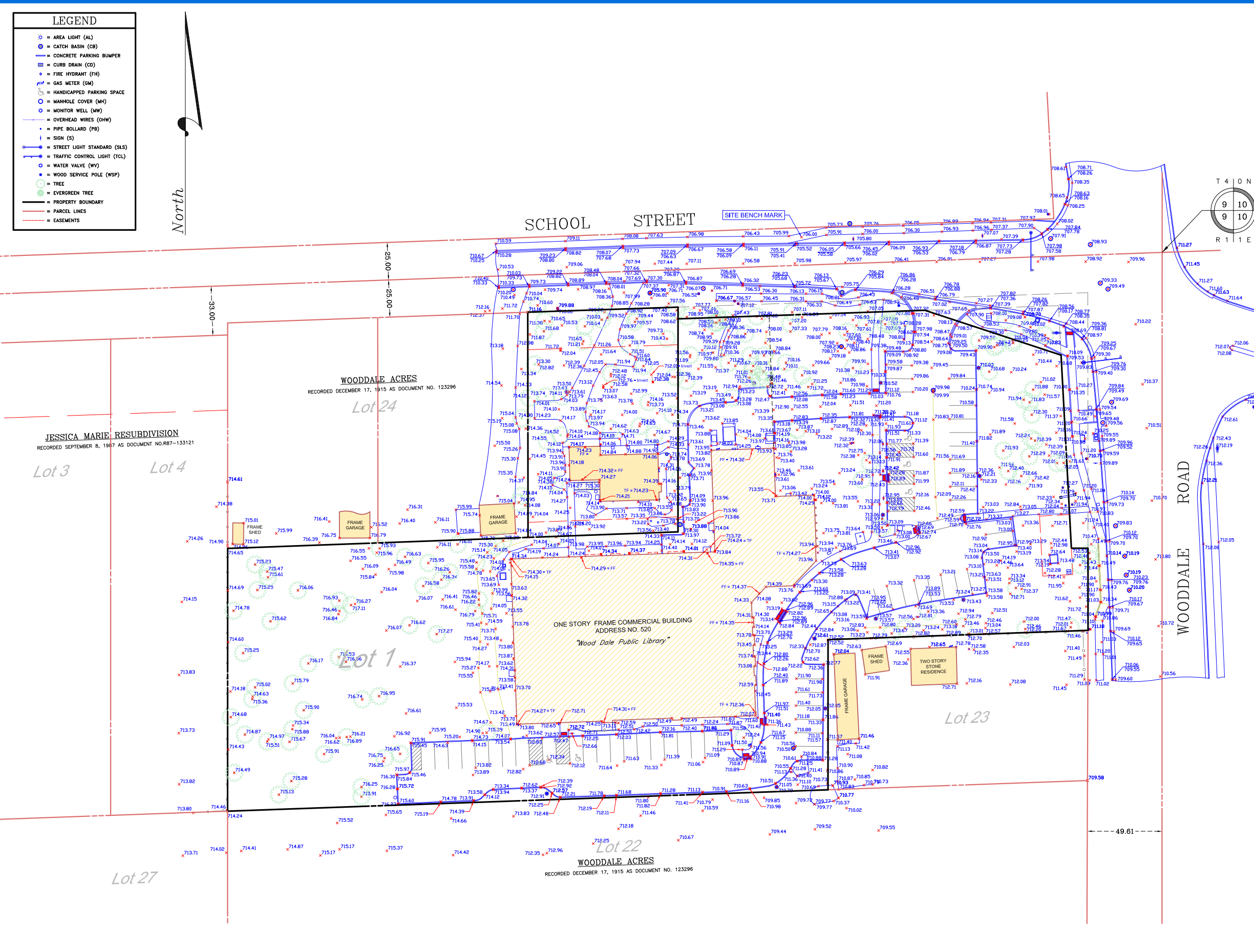
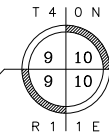
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**SHEET: 3 OF 3**

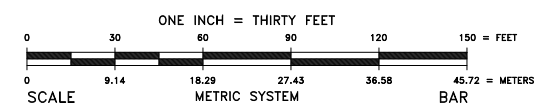
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## Wood Dale Library

520 North Wood Dale Road  
Wood Dale, Illinois 60191  
Telephone: (630) 766-6762  
Fax: (630) 766-5715  
www.wooddalelibrary.org



July 12, 2018

City of Wood Dale Community Development Department  
404 N. Wood Dale Road  
Wood Dale, IL 60191

RE: Wood Dale Public Library District

Dear City of Wood Dale Community Development Department:

The Wood Dale Public Library District is planning a renovation and expansion of our existing facility to better serve the community. The library is known for our commitment to literacy, education, and lifelong learning. The planned project increases the effectiveness of library services for our patrons and meets patron needs as identified in recent surveys.

The current library building has an area of approximately 22,300 square feet. The existing facility cannot meet the library's current service goals. This project will renovate our existing facility and add a 3,800 square foot addition. Project improvements include: updating/replacing many original 1981 building systems at or beyond their end of life; an updated Early Learning Area where play and exploration build early literacy skills and facilitate the development of lifelong skills; and spaces to bring people and information together for collaborative learning.

The addition brings space and infrastructure to expand lifelong learning opportunities for patrons of all ages; increasing our ability to provide educational support to local schools and community members. The space will have moveable walls to allow the space to be configured as two mid-size activity rooms, as one larger programming space, or as an extension of the library service floor when programs are not in session. The addition is to the west of the library on land that is owned by the district. The storm water control requirements and additional parking required for the net addition of 3,800 square feet can easily be met on site as illustrated in the attached civil engineering drawings.

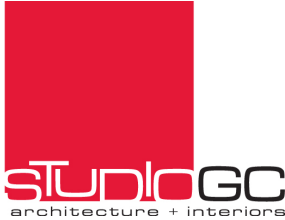
The Wood Dale Public Library District looks forward to favorable consideration of this application. Please do not hesitate to contact me if you have any questions or comments.

Sincerely;

A handwritten signature in black ink that reads "Yvonne R. Bergendorf". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Yvonne Bergendorf, Director  
Wood Dale Public Library





223 West Jackson Boulevard  
Suite 1200  
Chicago, IL 60606  
Phone: 312 253 3400  
Fax: 312 253 3401

## Project Narrative

### 1. Deviations Requested

Wood Dale Public Library District requests the following deviations from The City of Wood Dale municipal code.

**Deviation #1:** Structure Type.

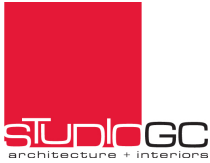
The Wood Dale Public Library has been defined as a "Type 9" structure. Only Type 2 structures are permitted in the R-2 zoning district; the library is an existing non-conforming use. We request that this Type 9 building be approved for special use on this site.

**Deviation #2:** (17.605.A.9.c) Building Side Yard Setback (Residential)

The north face of the library addition in question faces toward an existing garage structure on the adjacent residential property. Note that we are proposing an 8' fence along that portion of the library in lieu of the 6' fence provided by ordinance as request for deviation #7. This request for Deviation asks that a 14' adjacent residential setback be granted for the library.

**Deviation #3:** (17.606.C.9.b. (1) Due to space limitations there is no location available to provide landscaped islands at the new parking area. In lieu of this provision we propose improvements to an existing, undeveloped parking lot island adjacent to the new parking area that will meet this intent (see Deviation #4). Wood Dale Public Library District requests that a deviation be granted relieving the library of the need to provide additional landscape islands.

**Deviation #4:** (17.606.C.9.c. (2) The new parking lot already has a number of mature shade trees between it and School Street that are spaced less than 40' apart and meet the intent of the parking lot perimeter landscaping requirements. In order to meaningfully improve the screening for the new lot we propose that the currently sodded area on the existing, adjacent island to the southeast of the new parking be provided with shrubs to better screen the parking from the rest of the site. We feel that this meets the intent of the code and will visually break up the paved area.



**Deviation #5:** (17.606.C.10.b) Modify Foundation Landscape Buffer for Building Addition.

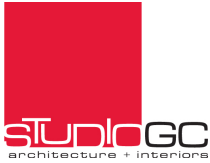
South Perimeter: Perimeter landscaping for the south side of the building addition is blocked by a sidewalk that is being extended to serve existing parking on the south side of the library. The placement of the existing parking lot with respect to the existing library is less than 10', leaving insufficient room for a landscape buffer.

North Perimeter: We are proposing an 8 foot fence to the north of the addition (see Deviation #7). Perimeter landscaping on the north face of the library would be between the addition and the fence. Landscaping on this face would be hidden by the fence and would obstruct access around the north side of the library. Even a reduced landscape setback to provide access would place landscaping under the building overhang. The shading in this area due to the fence and the dry conditions under the overhang make this an inappropriate place for perimeter landscape plantings. Wood Dale Public Library District requests that the requirement for perimeter landscaping to the north and south of the addition be waived.

**Deviation #6:** (17.606.C.11.a). The site already has a large number of mature, large caliper shade trees and the property line abutting School street has approximately 20 such trees along that approximately 260' portion of the property line with a maximum spacing of approximately 40'. Wood Dale Public Library District requests that the requirement for shade trees located at 75' spacing along property lines be waived as existing trees meet the intent of this provision.

**Deviation #7:** (17.606.C.11.b) The proposed plan provides an eight foot high solid perimeter fence between library property and adjacent residences to north, west and south in lieu of the six foot fence required by code. The proposed fence will provide additional visual screening and help prevent balls, toys etc. from landing on Library property. The proposed 8' fence provides additional buffering between residential uses and the library which is in many ways similar to a commercial use. The finished side of the fence will face the neighboring properties.

The site has many existing large caliper trees at the perimeter of the property



that meet the intent of the site perimeter landscaping requirement of this section. Wood Dale Public Library District therefor requests that an 8' perimeter fence be substituted for the 6' fence required by code and that no additional perimeter landscaping be provided.

**Deviation #8:** (17.609.H.) Parking Lot Illumination.

Existing light fixtures on the south parking lot are too close to the property line to enable them to be upgraded and still meet the requirements of both parking lot illumination and light trespass onto adjacent properties. The existing fixtures have a 360 degree distribution and spill light on to neighboring properties. The proposed LED fixtures, though they cannot meet the city's outdoor illumination standards, will increase the light levels on the parking lot to provide safety and security in the parking lot for the library staff and patrons. The new LED fixtures will be aimed away from the property line with reflectors and have side shields that will significantly improve the existing light trespass condition.

Wood Dale Public Library District requests that the following deviations be granted:

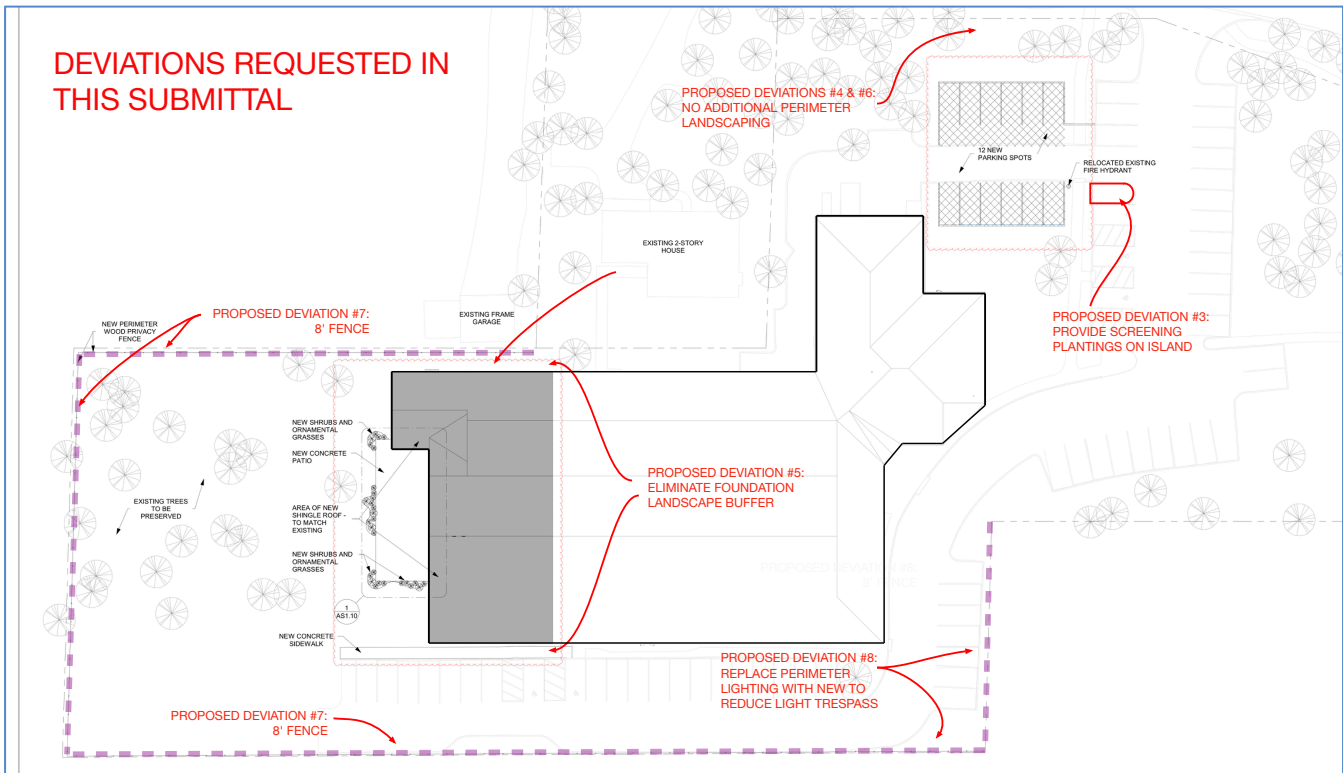
Parking Lot Illumination: Minimum 0.03 foot candles in lieu of minimum 0.25 foot candles required by ordinance.

Property Line Illumination: Maximum 5.7 foot candles in lieu of maximum 0.1 foot candles required by ordinance.

Max-Min Light Level Ratio: 133:1 in lieu of 15:1 required by ordinance.

Note that the proposed fixtures will reduce the level of light trespass produced by the existing perimeter parking lot lighting and improve the quality of adjacent properties.

**DEVIATIONS REQUESTED IN THIS SUBMITTAL**



## 2. Site Plan Review Standards (17.402 D) Requirements and Responses

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;

*The existing library site is in a residential area, the site planning and the modestly sized building addition maintain the "hometown character" mentioned in the Comprehensive Plan and particularly "Goal 3 of the Comprehensive Plan: Embrace Small Town Charm". The overall design is consistent with the residential feel of the existing library and site.*

*The enlarged meeting rooms will "improve...new and fun public spaces for residents" as specified in Goal 1 of the strategic plan.*

*The project will "Improve community services" per Goal 2, objective 3 of the Comprehensive Plan.*

*The creation of the exterior reading and events space to the west of the library will allow better use of this passive open space per Goal #1 of the comprehensive plan.*

*The improved library will strengthen its role as anchoring one end of the informal community corridor "Linear Campus" as discussed in "An Approach to Community Facilities" in the Comprehensive Plan.*

*The improved library will also facilitate "Aging in Place", the improved meeting areas will allow the library to host an even more robust selection of programs.*

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of this chapter;

*The Library improvement project has little impact on the overall site design. An increase in the number of parking spaces will allow users to find a space more quickly, reducing the level of driving within the parking lot.*

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;

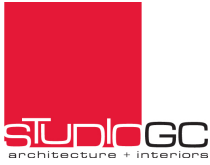
*The library project has little impact on the above except for improving stormwater drainage. Although storm water retainage is not specifically required for this project due to the small size of the building and parking additions we are lessening the impact on the storm water system with a best practices addition to the site. This consists of a drywell to the south of the proposed patio. The structure is surrounded by natural plantings that will filter storm water before introducing it to the drywell. This improvement will reduce the amount of storm water flowing into the storm water system.*

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of this chapter and other provisions of this code;
5. That the proposed use(s) is/are permitted in the district in which the property is located;

*We are seeking a special use permit as a part of this submittal. It is consistent with previous special uses granted for Wood Dale Public Library District.*

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;

*All of the major site and building elements were assessed for compatibility with adjacent land uses and site planning when previous special uses were granted for this site. This project proposes no significant changes to the site planning or character of the existing Wood Dale Public Library District site. The building setbacks and residential style construction maintain the character of the neighborhood.*



7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

*This project proposes no significant changes to the site circulation of the existing Wood Dale Public Library District site; there are no changes to the existing vehicular ingress and egress.*

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter. (Ord. O-16-011, 4-7-2016)

*Screening is specified that screens the mechanical units and bookmobile.*

### **3. Standards for Special Use Approval (17.403 C) Requirements and Responses**

C. Standards: The city council may only grant a special use permit if evidence is presented to establish that:

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

*The addition to Wood Dale Public Library District will improve the level of library services available to the community and improve the quality of neighboring properties by reducing the level of light trespass from existing parking lot lighting.*

*Programming is an essential part of a 21<sup>st</sup> century library and Wood Dale Public Library District is noted for the number and quality of the library programs it offers to the community. This project will improve the library's ability to host high-quality programs and will benefit everybody in the community.*

*A library survey indicated that there is public support for a larger facility with additional programming space. This addition allows the library to open up the area to expand literacy efforts and lifelong learning while providing more space and opportunities for family learning.*

*The library also serves as one of the evacuation points for the junior high school, the space afforded by the addition will contribute to this and other emergency services rolls that the library plays.*

2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

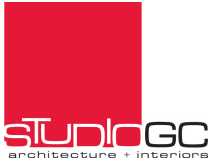
*This project will improve the quality of neighboring properties by reducing the level of light trespass from existing parking lot lighting. There are no other significant impacts on neighboring properties or the character of the neighborhood.*

3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

*This project will improve the quality of neighboring properties by reducing the level of light trespass from existing parking lot lighting. There are no other significant impacts on neighboring properties or the character of the neighborhood.*

4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;





*The modest increase in the size of Wood Dale Public Library District's facility will have no adverse impact on adjacent properties.*

5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

*The proposed project will not hinder development of adjacent properties*

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

*Proposed modifications have negligible impact on traffic or utilities. Additional provisions for storm water control are provided as required to meet applicable regulations.*

7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets;

*Parking calculations:*

<i>Parking</i>	<i>One per 600SF floor area + 1 per employee</i>
<i>Building area</i>	<i>26,068 SF</i>
<i>Area/600</i>	<i>43.4</i>
<i>FTE Employees</i>	<i>25</i>
<i>Stalls Required</i>	<i>68</i>
<i>Stalls Provided</i>	<i>69</i>

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of this



section, if applicable, and as applied to planned unit developments as set forth in section [17.405](#) of this article.

### **Standards for Approval for a Planned Unit Development (17.405 D)**

#### *Requirements and Responses*

D. General Standards And Criteria For Planned Unit Developments: No planned unit development shall be authorized by the city council unless the community development commission shall find evidence establishing that:

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

*The proposed development promotes the goals of Wood Dale's comprehensive plan (See response to 17.402D above) and has negligible impact on surrounding properties.*

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

*The development can be completed within the timeline proposed for this project*

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

*The entire parcel is owned by the Wood Dale Public Library District.*

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the

welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

*No easements or covenants will be required for this proposal.*

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.

*The library expansion will not result in a meaningful increase to the occupancy of the library building.*

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or accessways, is landscaped or otherwise improved.

*The proposed project retains the compatibility of the existing Wood Dale Public Library District with the surrounding land uses.*

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

*The addition to the library maintains the residential feel and scale of the existing library building. It will have negligible impact on the neighborhood. The proposed 8' fence provides additional buffering between residential uses and the library that is more akin to a commercial*

use.

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

*Programming is an essential part of 21<sup>st</sup> century libraries and Wood Dale Public Library District is noted for the number and quality of the library programs it offers to the community. This project will improve the library's ability to host high-quality programs and will benefit everybody in the community.*

*A library survey indicated that there is public support for a larger facility with additional programming space. This addition allows the library to open up the area to expand literacy efforts and lifelong learning while providing more space and opportunities for family learning.*

*The library also serves as one of the evacuation points for the junior high school, the space afforded by the addition will contribute to this and other emergency services rolls that the library plays.*

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

*The dominant land use for the proposed development promotes the goals of Wood Dale's comprehensive plan (See response to 17.402D above) And is consistent with previous special use approvals granted for this property.*

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

*Wood Dale Public Library District plays a beneficial role in the cultural and life of the community. This project enhances that role and is consistent with the general welfare of the public.*

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of this chapter is provided.

*As a public entity, Wood Dale Public Library District is exempt from Wood Dale's tree replacement ordinance. However, the existing site has numerous large caliper trees that qualify as exceptional features and are not disturbed by this project and the overall character of the site will be preserved.*

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

*This project will have minimum impact on library traffic volume. Existing drives and streets will be adequate to serve the improved library. No new traffic control measures are warranted.*

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

*Parking lot screening will be provided for new lots as required by ordinance.*

14. A pedestrian circulation network is provided.

*Adequate pedestrian pathways and sidewalks are provided to allow visitors to access the library.*

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

*Stormwater control measures are in conformance with municipal requirements. This project has no impact on other utilities. The library project has little impact on the above except for improving stormwater drainage. Although storm water retainage is not specifically required for this project due to the small size of the building and parking additions we are lessening the impact on the storm water system with a best practices addition to the site. This consists of a drywell to the south of the proposed patio. The structure is surrounded by natural plantings that will filter storm water before introducing it to the drywell. This improvement will reduce the amount of storm water flowing into the storm water system.*

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

Applicable objectives from 17.405B are as follows;

(17.405B.6.) Rational and economic development in relation to public services.



### Improvement of library services enhances public services

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

Not applicable



## Community Meeting Summary

Director Bergendorf mailed 23 letters to individual home owners from the City of Wood Dale provided public mailing list. These letters contained a personalized hand-written message to each homeowner encouraging them to attend the June 21 public meeting. For public telephone numbers she could locate, Director Bergendorf reached out to individuals on the City-provided list; offering an alternative time and date to view these items and to solicit feedback about the project if the public meeting was not at a convenient time for their schedule or wanted to schedule an individualized meeting.

For those Director Bergendorf called, individuals were touched by the personal outreach to inform the neighborhood about the details of the project and expected time-length of the project. Director Bergendorf received no negative feedback during the calls she made. Also, an invitation to the general public was posted on our Website and event calendar and communication was sent via City of Wood Dale communication resources.

Director Bergendorf only experienced one landowner who wanted to personally meet and discuss how the project impacted his property. His major concern was making sure his fence with growing ivy was not disturbed during construction. He also expressed concern about another neighbor's light that interferes with his property and inquired about the positioning of lighting and how close the project would come to his property line with the expansion of the building and parking.

At the meeting on June 21, a total of about 80 residents either attended the meeting or viewed the Library Design boards that Director Bergendorf presented at the end of the 7 pm Family Entertainment Night Program held that same evening. Feedback regarding the project was very positive with excitement about new ways to serve our patrons.

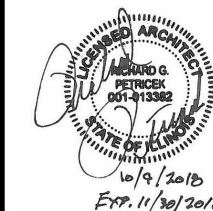
The Library Design board attended a booth at Prairie Fest during Resident Appreciation Night. A total of 231 residents stopped by the Library booth that evening. Again, residents were excited about the opportunity for the Library to renovate and expand to provide services to the community.

These design boards will be taken to other upcoming community events including the Wood Dale Park District Festravaganza, Harvest Fest, and the Westview/Oak Brook Back to School Picnic in order to continue to inform the public about our project.





WOOD DALE PUBLIC LIBRARY  
520 N. WOOD DALE RD., WOOD DALE, ILI 60191



NO	ISSUE	DATE
	75% REVIEW SET	10/1/2018
	PUD RESUB 2	10/2/2018

### DEMOLITION - ARCHITECTURAL SITE PLAN

ASD1.00



1 DEMOLITION ARCHITECTURAL SITE PLAN  
3/64" = 1'-0"

**SITE PLAN LEGEND:**

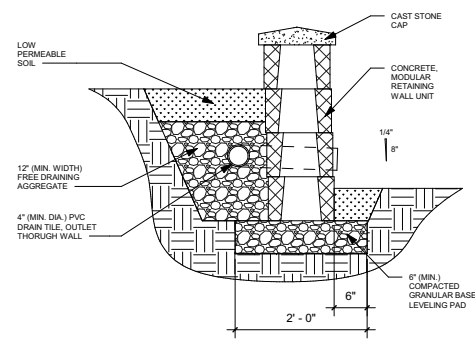
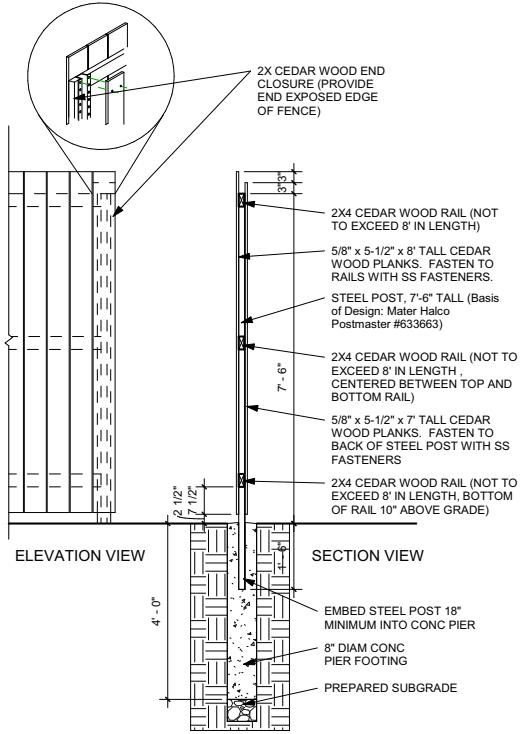
- PROPERTY LINE
- - - - AREAS OF WORK TO BE DEMOLISHED
- ▭ EXISTING ROOF ASSEMBLY
- ▣ PORTION OF EXISTING ROOF ASSEMBLY TO BE DEMOLISHED

**SITE DATA:**

PAVEMENT  
EXISTING AREA = 29,900 S.F.

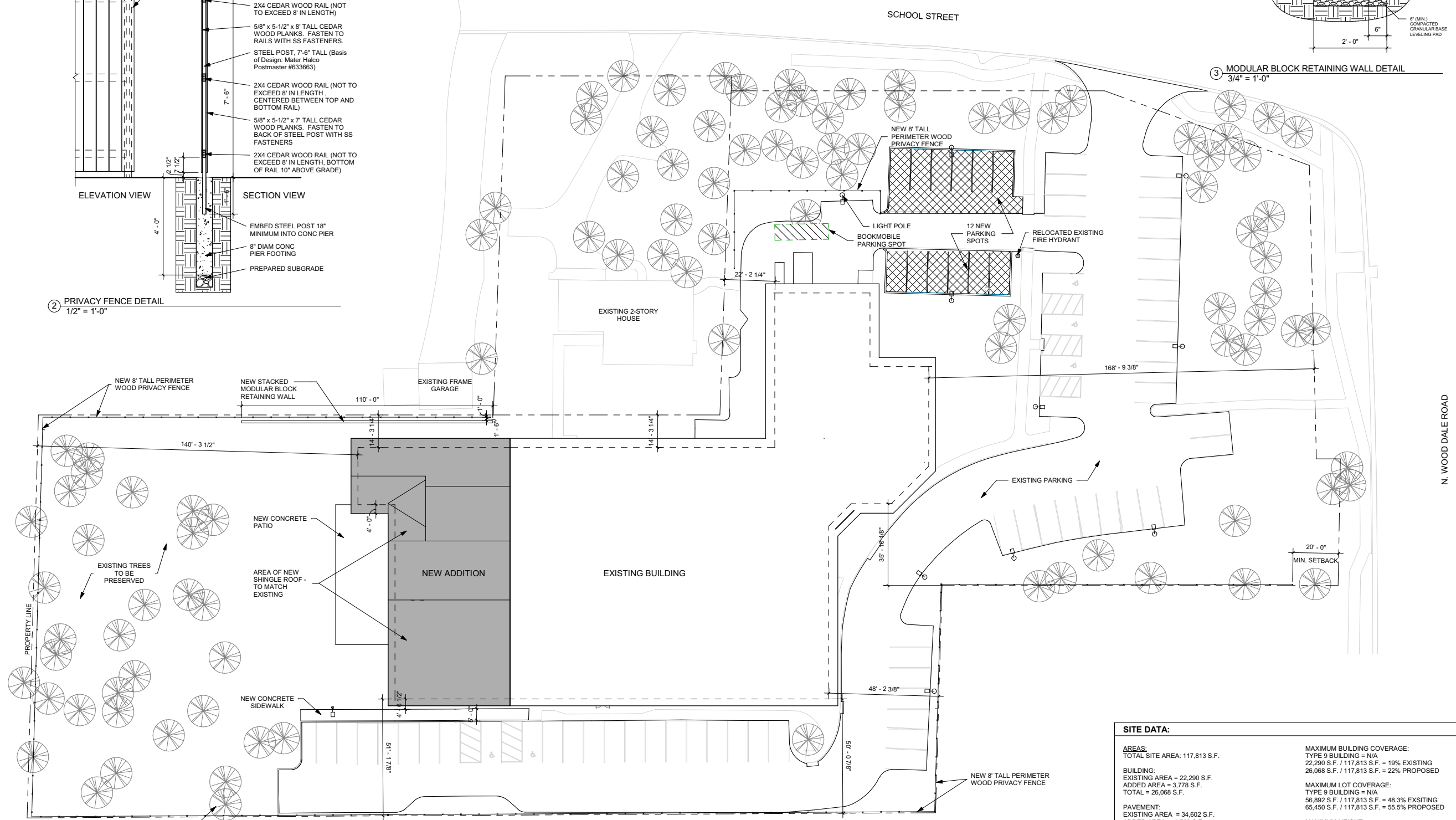
PARKING  
53 SPACES (5 ACCESSIBLE) = EXISTING

DETAIL VIEW



2 PRIVACY FENCE DETAIL  
1/2" = 1'-0"

3 MODULAR BLOCK RETAINING WALL DETAIL  
3/4" = 1'-0"



1 ARCHITECTURAL SITE PLAN  
3/64" = 1'-0"

**SITE PLAN LEGEND:**

---	PROPERTY LINE
✕-✕	PERIMETER WOOD FENCE
■	NEW ROOF ASSEMBLY - TO MATCH EXISTING
□	EXISTING ROOF ASSEMBLY
▨	NEW PAVEMENT

**SITE DATA:**

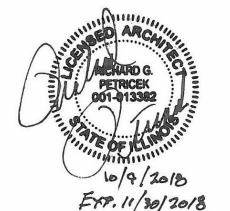
<b>AREAS:</b> TOTAL SITE AREA = 117,813 S.F.	<b>MAXIMUM BUILDING COVERAGE:</b> TYPE 9 BUILDING = N/A 22,290 S.F. / 117,813 S.F. = 19% EXISTING 26,068 S.F. / 117,813 S.F. = 22% PROPOSED
<b>BUILDING:</b> EXISTING AREA = 22,290 S.F. ADDED AREA = 3,778 S.F. TOTAL = 26,068 S.F.	<b>MAXIMUM LOT COVERAGE:</b> TYPE 9 BUILDING = N/A 56,892 S.F. / 117,813 S.F. = 48.3% EXISTING 65,450 S.F. / 117,813 S.F. = 55.5% PROPOSED
<b>PAVEMENT:</b> EXISTING AREA = 34,602 S.F. ADDED AREA = 4,780 S.F. TOTAL = 39,382 S.F.	<b>MAXIMUM HEIGHT:</b> TYPE 9 BUILDING = 40', 3 STORIES 25' = EXISTING 25' = PROPOSED
<b>SEBACKS:</b>	
FRONT	REQUIRED 20' PROVIDED PER PLAN
CORNER SIDE	REQUIRED 20' PROVIDED PER PLAN
SIDE	REQUIRED 0' PROVIDED PER PLAN
ADJ. RESIDENCE	REQUIRED 15' PROVIDED PER PLAN
REAR	REQUIRED 35' PROVIDED PER PLAN
<b>PARKING REQUIREMENT:</b> 1 STALL PER 600SF + 1 PER EMPLOYEE 68 SPACES REQUIRED 58 SPACES (5 BEING ACCESSIBLE) = EXISTING 69 SPACES (5 BEING ACCESSIBLE) = NEW PROPOSED	
SITE PERIMETER 1,744 L. F.	



**STUDIO GGC**  
ARCHITECTURE + INTERIORS  
223 W Jackson Blvd | Suite 1200  
Chicago, Illinois 60605  
ph: 312.253.3400 | fx: 312.253.3401

RENOVATIONS

WOOD DALE PUBLIC LIBRARY  
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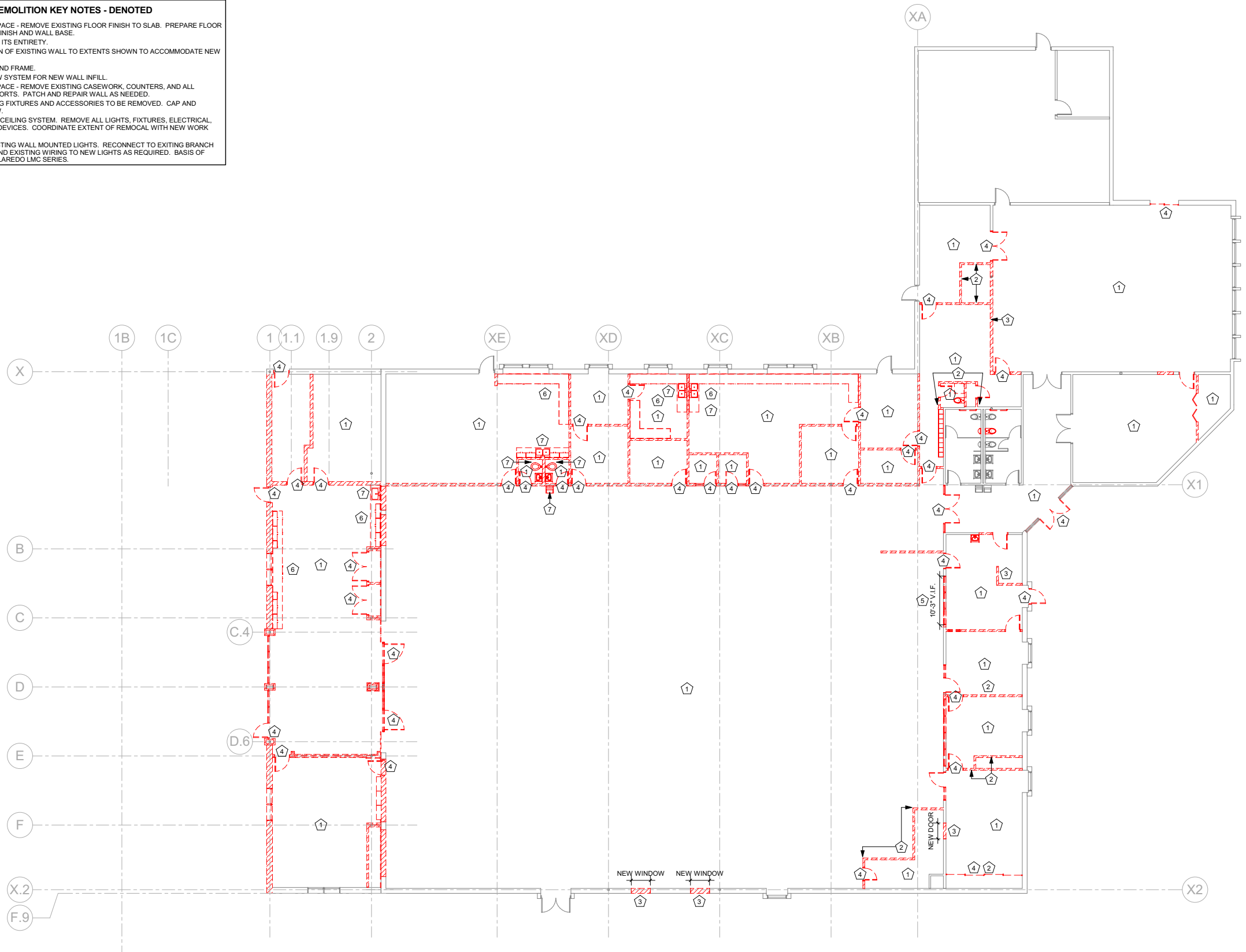


NO	ISSUE	DATE
•	75% REVIEW SET	10/1/2018
•	PUD RESUB 2	10/2/2018
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ARCHITECTURAL SITE PLAN

AS1.00

- DEMOLITION KEY NOTES - DENOTED**
- 1 TYPICAL ENTIRE SPACE - REMOVE EXISTING FLOOR FINISH TO SLAB. PREPARE FLOOR TO RECEIVE NEW FINISH AND WALL BASE.
  - 2 DEMOLISH WALL IN ITS ENTIRETY.
  - 3 DEMOLISH PORTION OF EXISTING WALL TO EXTENTS SHOWN TO ACCOMMODATE NEW WORK.
  - 4 DEMOLISH DOOR AND FRAME.
  - 5 DEMOLISH WINDOW SYSTEM FOR NEW WALL INFILL.
  - 6 TYPICAL ENTIRE SPACE - REMOVE EXISTING CASEWORK, COUNTERS, AND ALL ASSOCIATED SUPPORTS. PATCH AND REPAIR WALL AS NEEDED.
  - 7 EXISTING PLUMBING FIXTURES AND ACCESSORIES TO BE REMOVED. CAP AND PREPARE FOR NEW.
  - 8 REMOVE EXISTING CEILING SYSTEM. REMOVE ALL LIGHTS, FIXTURES, ELECTRICAL, AND MECHANICAL DEVICES. COORDINATE EXTENT OF REMOCAL WITH NEW WORK PLAN.
  - 9 ALT: REPLACE EXISTING WALL MOUNTED LIGHTS. RECONNECT TO EXITING BRANCH CIRCUIT AND EXTEND EXISTING WIRING TO NEW LIGHTS AS REQUIRED. BASIS OF DESIGN: HUBBELL LAREDO LMC SERIES.



1 DEMOLITION PLAN  
3/32" = 1'-0"



**WOOD DALE PUBLIC LIBRARY**  
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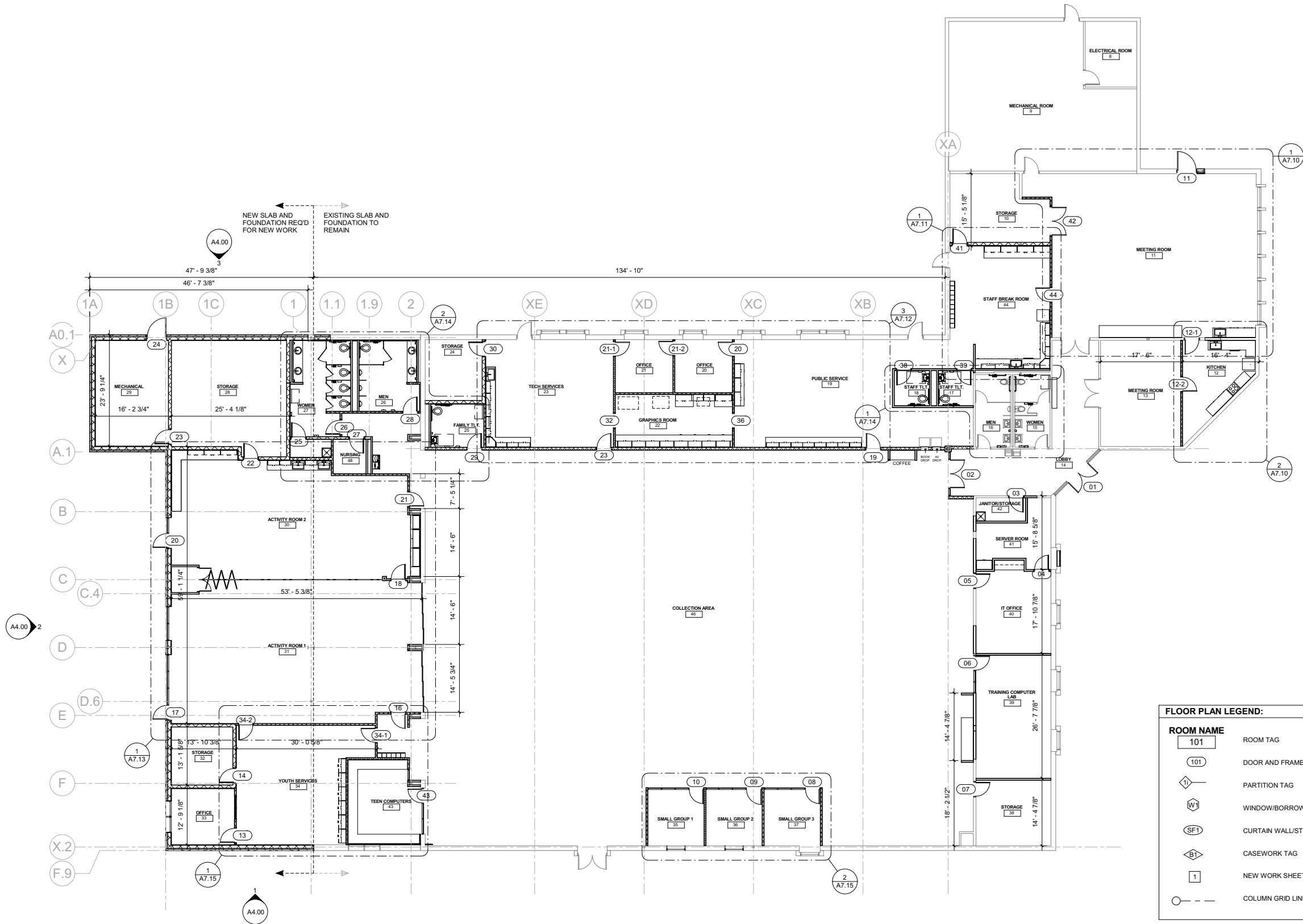
RENOVATIONS



NO	ISSUE	DATE
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•	PUD RESUB 2	10/2/2018
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**DEMOLITION - FLOOR PLAN**

**AD1.00**



1 FLOOR PLAN  
3/32" = 1'-0"

**FLOOR PLAN LEGEND:**

ROOM NAME	ROOM TAG
101	ROOM TAG
101	DOOR AND FRAME TAG
11	PARTITION TAG
W	WINDOW/BORROWED LITE TAG
SF1	CURTAIN WALL/STOREFRONT TAG
B1	CASEWORK TAG
1	NEW WORK SHEET NOTE
○	COLUMN GRID LINE

- GENERAL NOTES - FLOOR PLAN**
- ALL WALLS SHALL BE FULL HEIGHT TO UNDERSIDE OF FLOOR SLAB/ROOF DECK, U.N.O.
  - SEE CODE PLAN FOR FIRE RATING OF WALLS AND UL RATED ASSEMBLY TO BE FOLLOWED.
  - GENERAL CONTRACTOR TO PROVIDE NECESSARY BLOCKING FOR ALL OWNER PROVIDED EQUIPMENT.
  - DOORS JAMB, HINGE SIDE, TO BE 4" FROM ADJACENT WALL U.N.O.
  - FURNITURE SHOWN FOR REFERENCE ONLY.
  - CONTRACTOR SHALL PROVIDE CONCEALED BLOCKING FOR, INCLUDING, BUT NOT LIMITED TO SHELVING AND OTHER OWNER FURNISHED EQUIPMENT.
  - PROVIDE BLOCKING BETWEEN JOISTS AT TOP OF NEW NON BEARING PARTITION WALLS PARALLEL TO JOISTS ABOVE AS PER DETAIL #X##.
  - PROVIDE BLOCKING BETWEEN JOISTS BELOW NON BEARING PARTITION WALLS PARALLEL TO JOISTS AS NOTED ON DRAWINGS PER DETAIL #X##.

RENOVATIONS

WOOD DALE PUBLIC LIBRARY  
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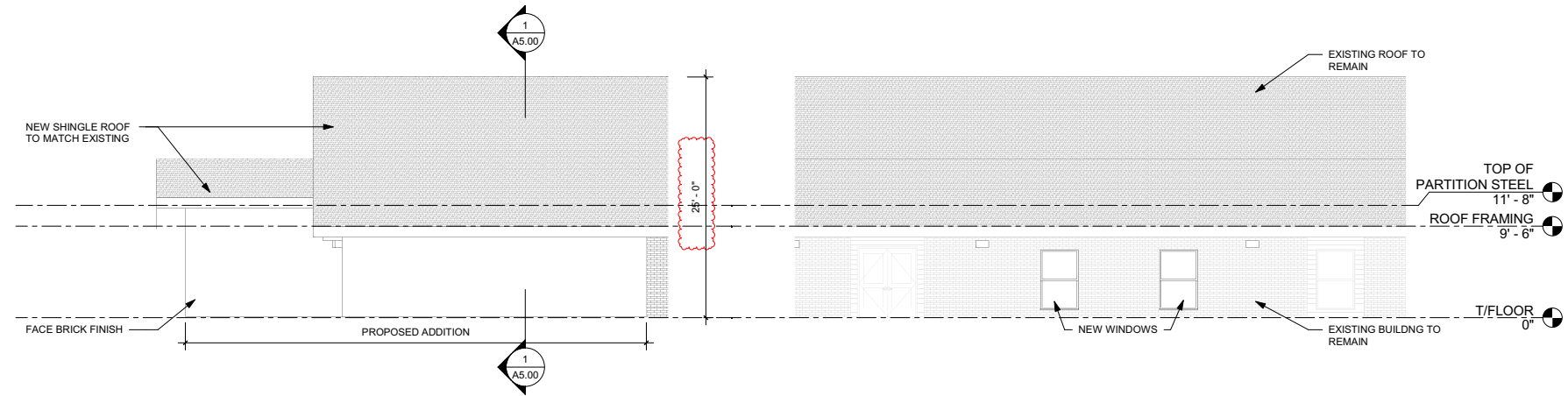
NO	ISSUE	DATE
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FLOOR PLAN

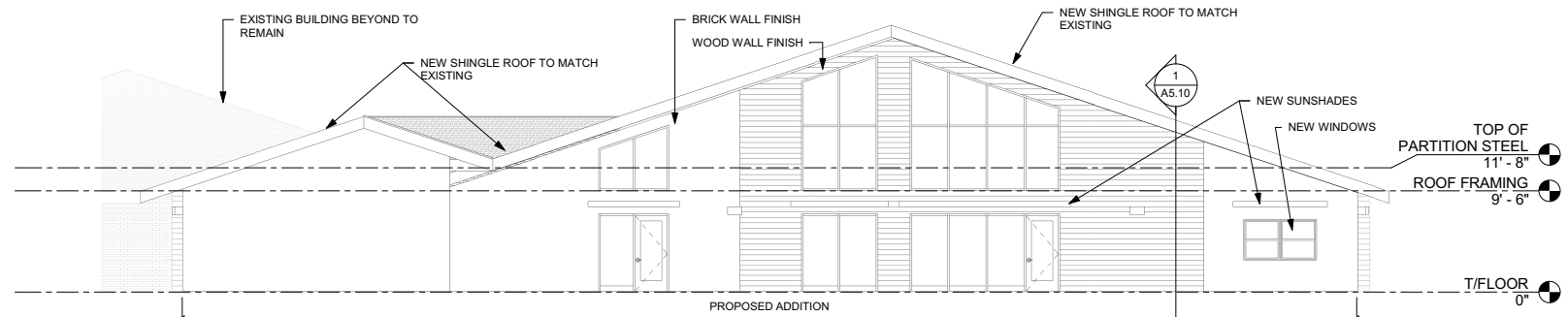
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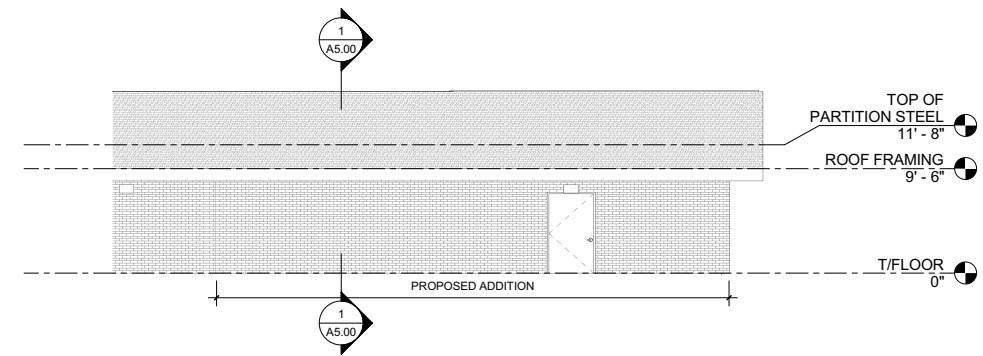
223 W Jackson Blvd | Suite 1200  
Chicago, Illinois 60605  
ph: 312.253.3400 tx: 312.253.3401



① SOUTH ELEVATION  
1/8" = 1'-0"



② WEST ELEVATION  
1/8" = 1'-0"



③ NORTH ELEVATION  
1/8" = 1'-0"

RENOVATIONS

WOOD DALE PUBLIC LIBRARY  
520 N. WOOD DALE RD., WOOD DALE, ILI 60191



NO	ISSUE	DATE
•	75% REVIEW SET	10/11/2018
•	PUD RESUB 2	10/2/2018
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EXTERIOR ELEVATIONS

A4.00

# WOOD DALE LIBRARY ADDITION

## CITY OF WOOD DALE DuPAGE COUNTY, ILLINOIS

### GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY ALL LOCAL UTILITY COMPANIES INCLUDING:
  - "JULIE" 800-892-0123
  - 72 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION, SAID UTILITY COMPANIES WILL ESTABLISH, ON THE GROUND, THE LOCATION OF UNDERGROUND PIPES, MAINS, CONDUITS OR CABLES ADJOINING OR CROSSING PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE MUNICIPALITY AND THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE OF PERFORMING ANY WORK. RENOTIFICATION SHALL BE REQUIRED IF ANY PHASE OF WORK IS SUSPENDED FOR MORE THAN TWO (2) DAYS.
- THE FOLLOWING CODES AND STANDARDS, AS APPLICABLE, SHALL GOVERN CONSTRUCTION UNDER THIS CONTRACT:
  - STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS", LATEST EDITION AND ALL SUBSEQUENT REVISIONS THERETO, HEREINAFTER REFERRED TO AS THE HIGHWAY STANDARDS.
  - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION AND ALL SUBSEQUENT REVISIONS THERETO, HEREINAFTER REFERRED TO AS THE STANDARD SPECIFICATIONS.
  - "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS", LATEST EDITION AND ALL SUBSEQUENT REVISIONS THERETO.
  - "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS", LATEST EDITION AND ALL SUBSEQUENT REVISIONS THERETO.
  - THESE "GENERAL NOTES".
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", STATE OF ILLINOIS, AND SECTION 107.14 OF THE HIGHWAY STANDARDS. BARRICADES AND OTHER REQUIRED TRAFFIC CONTROL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED.
- UTILITIES SHOWN IN THE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE AND ARE APPROXIMATE ONLY. THE UTILITIES ARE LOCATED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL TYPES, SIZES AND LOCATIONS OF EXISTING UTILITIES.
 

CAUTION: THERE MAY BE OVERHEAD AND BURIED POWER LINES WHICH COULD POSSIBLY INTERFERE OR BE A SAFETY HAZARD WITH EQUIPMENT OPERATIONS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL HAVE IN HIS POSSESSION ALL REQUIRED PERMITS FOR THE CONSTRUCTION OF THIS PROJECT AS NECESSARY (E.G., ILLINOIS DEPARTMENT OF TRANSPORTATION, ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, LAKE COUNTY HIGHWAY DEPARTMENT, RAILROADS, PUBLIC UTILITY COMPANIES, ETC.). THESE PERMITS WILL BE OBTAINED AS SPECIFIED IN THE "SPECIAL PROVISIONS".
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESTORE ALL FEATURES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL STATE, OR BETTER. ALL RESTORATION WORK REQUIRED BEYOND THE SCOPE OF THE PLANS AND SPECIFICATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE UNLESS WORK WAS DONE AT THE DIRECTION OF THE OWNER OR ENGINEER AND COMPENSATION WAS AGREED UPON PRIOR TO EXECUTION OF WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL NECESSARY PAVEMENT OPENINGS AND CONSTRUCTION DEBRIS LEFT IN THE PUBLIC RIGHT-OF-WAY WITH LIGHTED DEVICES. THE CONTRACTOR SHALL MAINTAIN HIGH VISIBILITY OF ALL TEMPORARY HAZARDS TO PEDESTRIANS AND MOTORISTS. REMOVAL OF ANY SUCH TEMPORARY HAZARDS SHALL BE DONE AS SOON AS POSSIBLE.
- ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS THAT WILL BE ADJUSTED OR RECONSTRUCTED, SHALL BE CLEANED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH THIS SHALL BE INCLUDED IN THE APPLICABLE UNIT PRICES.
- THE GRADING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. GRADING SHALL BE DONE TO ALLOW POSITIVE DRAINAGE. "DITCH CHECKS" AND/OR SILT FENCES, UNLESS OTHERWISE SPECIFIED, SHALL BE INSTALLED, IF NECESSARY, TO PREVENT EROSION. COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- PLACEMENT OF TOPSOIL AND SEEDING OR SODDING SHALL BE COMPLETED WITHIN 10-15 DAYS AFTER THE COMPLETION OF CURB AND GUTTER, PAVING AND/OR DRIVEWAY REPLACEMENT OPERATIONS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE EDGES OF ALL IMPROVED SURFACES WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE SAW CUT PRIOR TO RESTORATION. ANY SAW CUTTING OF PAVEMENT PATCHES, BUTT JOINTS, CONCRETE CURBS, SIDEWALKS, OR ANY OTHER AREAS NECESSARY TO COMPLETE THIS PROJECT WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED.
- MANHOLE RIM ELEVATIONS ARE PROVIDED TO ASSIST THE CONTRACTOR IN ORDERING MATERIALS. THESE ELEVATIONS ARE FOR INFORMATION ONLY, AND FINAL ADJUSTMENT OF STRUCTURES TO MEET SITE CONDITIONS WILL BE NECESSARY. NO PAYMENT WILL BE MADE FOR FINAL ADJUSTMENT OF STRUCTURES, AND THE COST THEREOF SHALL BE INCIDENTAL TO AND INCLUDED IN THE CONTRACT UNIT PRICE FOR SAID STRUCTURE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL STREETS USED BY THE CONTRACTOR, SUB-CONTRACTORS, AND SUPPLIERS CLEAN AND FREE OF ALL DIRT, MUD, AND OTHER CONSTRUCTION DEBRIS, AND WILL BE CLEAN THEREOF AS IS NECESSARY IN ORDER TO MAINTAIN THEM IN A SAFE, DRIVEABLE CONDITION. THE CONTRACTOR SHALL BE ESPECIALLY RESPONSIVE TO REQUESTS FROM THE ENGINEER, ENGINEER'S REPRESENTATIVE, DIRECTOR OF PUBLIC WORKS, SUPERINTENDENT OF STREETS, POLICE AND FIRE DEPARTMENTS, OR ANY OFFICIAL OF THE OWNER TO PRACTICE GOOD HOUSEKEEPING THROUGHOUT THE DURATION OF THIS PROJECT. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED.
- OWNER TO PROVIDE UNCONTAMINATED SOIL CERTIFICATION LPC-662 BASED ON SITE USE AND VISUAL OBSERVATION. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SOIL TESTING OR DOCUMENTATION REQUIRED BY THE CHOSEN DUMP SITE.

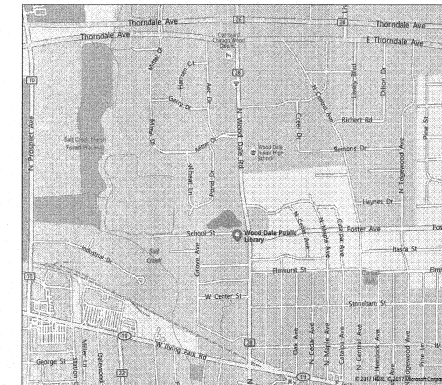
### SOIL EROSION AND SEDIMENT CONTROL NOTES

- SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- FOR THOSE DEVELOPMENTS THAT REQUIRE AN INSPECTOR, INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
  - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
  - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR RE-DISTURBANCE.
- ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES APPROVED BY THE ENFORCEMENT OFFICER.
- APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND THE HIGH WATER LEVEL.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- IF DE-WATERING DEVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DE-WATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DE-WATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DE-WATERING ACTIVITIES.
- IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMER OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

### TYPICAL CONSTRUCTION SEQUENCING

- INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL SE/SC MEASURES
    - SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION
    - SILT FENCE INSTALLATION
    - STABILIZED CONSTRUCTION ENTRANCE
  - TREE/BRUSH REMOVAL WHERE NECESSARY (CLEAR & GRUB)
  - BEGIN SITE DEMOLITION
  - CONSTRUCT DETENTION FACILITIES AND OUTLET CONTROL STRUCTURE WITH RESTRICTOR & TEMPORARY PERFORATED RISER.
  - STRIP TOPSOIL AND STOCKPILE TOPSOIL
  - TEMPORARILY STABILIZE TOPSOIL STOCKPILES (SEED AND SILT FENCE AROUND THE TOE OF SLOPE)
  - BEGIN GRADING SITE
  - INSTALL UTILITIES (STORM SEWER, SANITARY, WATERMAIN, ETC)
  - PERMANENTLY STABILIZE DETENTION BASIN(S) WITH SEED AND EROSION CONTROL BLANKET
  - TEMPORARILY STABILIZE ALL AREAS THAT HAVE REACHED TEMPORARY GRADE
  - BEGIN CONSTRUCTION OF BUILDINGS/PARKING LOT.
  - PERMANENTLY STABILIZE AREAS AS THEY ARE BROUGHT TO FINAL GRADE.
  - REMOVE ALL TEMPORARY SE/SC MEASURES ONCE THE SITE IS FULLY STABILIZED WITH PERMANENT VEGETATION.
  - RESTORE AREAS DISTURBED BY THE REMOVAL OF TEMPORARY SE/SC MEASURES.
- \*\* CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO PERFORM SOIL AND EROSION CONTROL INSPECTIONS/MAINTENANCE ONCE EVERY SEVEN CALENDAR DAYS AND AFTER EVERY 1/2 INCH OR GREATER RAINFALL OR EQUIVALENT SNOWFALL EVENT.

SITE LOCATION MAP  
(NOT TO SCALE)



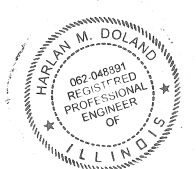
### INDEX OF SHEETS

SHEET NO.	TITLE
1	COVER SHEET, AND GENERAL NOTES
2	STORM SEWER PLAN
3	PARKING LOT PLAN
4	EROSION CONTROL PLAN
5	DETAIL SHEET

### SITE RESTORATION

ALL DISTURBED LANDSCAPE AREAS SHALL BE RESTORED AS FOLLOWS:

- TOPSOIL PLACEMENT, 4", CONFORMING TO SECTION 211 OF THE HIGHWAY STANDARDS.
- SEEDING, CLASS 1, CONFORMING TO SECTION 250 OF THE HIGHWAY STANDARDS.
- MULCH, METHOD 2 OR 3, OR EROSION CONTROL BLANKET CONFORMING TO SECTION 251 OF THE HIGHWAY STANDARDS.



IMEG CORPORATION  
GURNEE OFFICE

HARLAN M. DOLAND  
ILLINOIS LICENSED PROFESSIONAL ENGINEER  
NO. 062-048891  
EXPIRATION DATE 11/30/19

NOTE: UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN PLOTTED WITH THE AID OF AVAILABLE RECORDS. FOR LOCATIONS OF UNDERGROUND UTILITY MAINS, PLEASE CONTACT J.U.L.I.E. BY CALLING 811 OR 1-800-892-0123.

REVISIONS		
NO.	ITEM	DATE
1	ADDED PATIO AND CORRECTED ADDITION FOOTPRINT	7/27/18
2	PER CITY OF WOOD DALE REVIEW LETTER DATED 8/24/18	9/12/18
3	PUD RESUB 2	10/02/18

SCALE:	N.T.S.
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DATE:	10/02/2018

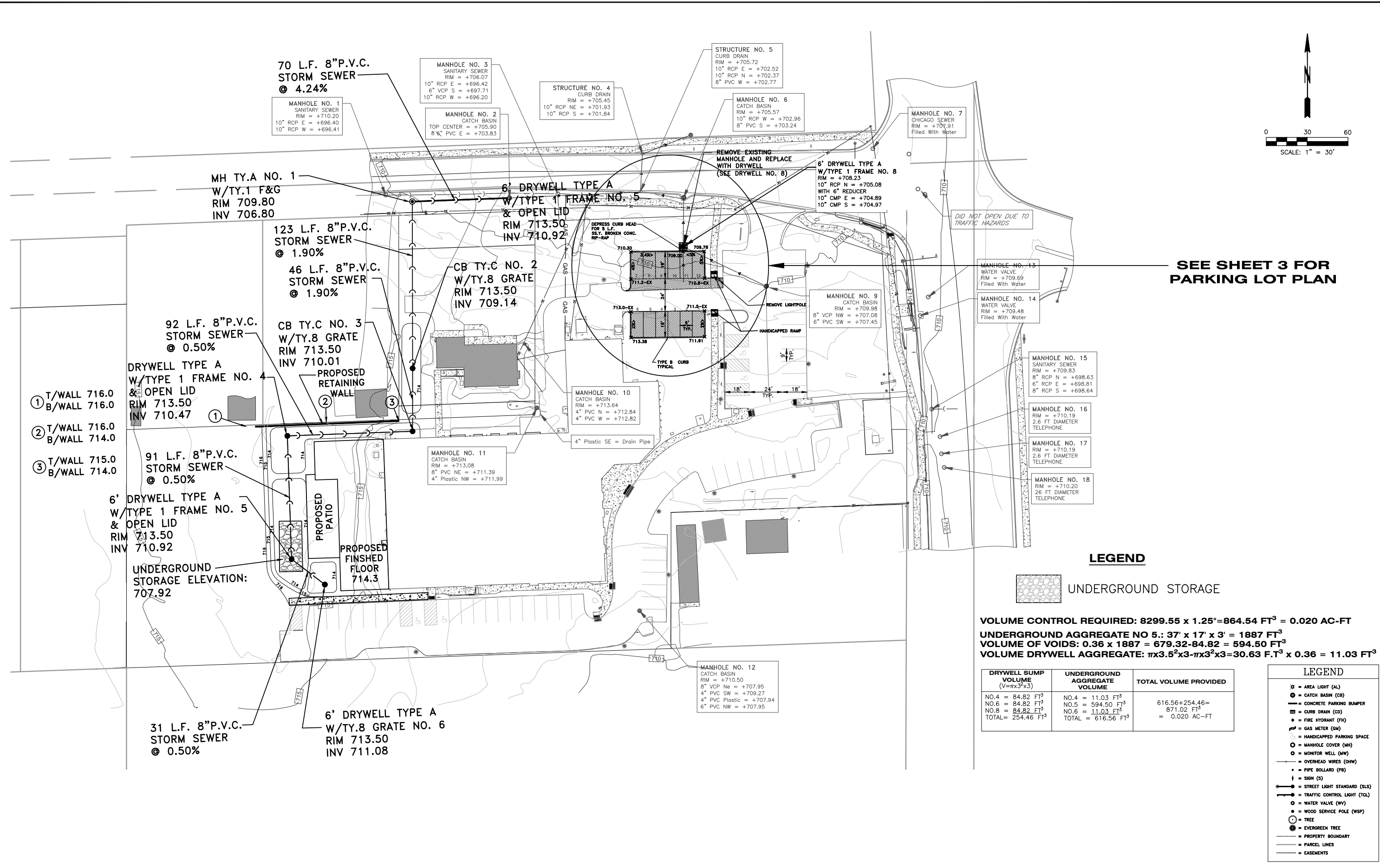
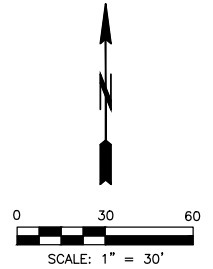


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STORM SEWER IMPROVEMENTS		
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SHEET NO.  
**1**  
of  
**5**



**SEE SHEET 3 FOR  
PARKING LOT PLAN**

**LEGEND**

UNDERGROUND STORAGE

**VOLUME CONTROL REQUIRED:  $8299.55 \times 1.25' = 864.54 \text{ FT}^3 = 0.020 \text{ AC-FT}$**   
**UNDERGROUND AGGREGATE NO 5.:  $37' \times 17' \times 3' = 1887 \text{ FT}^3$**   
**VOLUME OF VOIDS:  $0.36 \times 1887 = 679.32-84.82 = 594.50 \text{ FT}^3$**   
**VOLUME DRYWELL AGGREGATE:  $\pi \times 3.5^2 \times 3 - \pi \times 3^2 \times 3 = 30.63 \text{ F.T.}^3 \times 0.36 = 11.03 \text{ FT}^3$**

DRYWELL SUMP VOLUME (V= $\pi \times r^2 \times h$ )	UNDERGROUND AGGREGATE VOLUME	TOTAL VOLUME PROVIDED
NO.4 = 84.82 FT <sup>3</sup>	NO.4 = 11.03 FT <sup>3</sup>	616.56+254.46=
NO.6 = 84.82 FT <sup>3</sup>	NO.5 = 594.50 FT <sup>3</sup>	871.02 FT <sup>3</sup>
NO.8 = 84.82 FT <sup>3</sup>	NO.6 = 11.03 FT <sup>3</sup>	= 0.020 AC-FT
TOTAL = 254.46 FT <sup>3</sup>	TOTAL = 616.56 FT <sup>3</sup>	

**LEGEND**

- = AREA LIGHT (AL)
- = CATCH BASIN (CB)
- = CONCRETE PARKING BUMPER
- = CURB DRAIN (CD)
- = FIRE HYDRANT (FH)
- = GAS METER (GM)
- = HANDICAPPED PARKING SPACE
- = MANHOLE COVER (MH)
- = MONITOR WELL (MW)
- = OVERHEAD WIRES (OW)
- = PIPE BOLLARD (PB)
- = SIGN (S)
- = STREET LIGHT STANDARD (SLS)
- = TRAFFIC CONTROL LIGHT (TCL)
- = WATER VALVE (WV)
- = WOOD SERVICE POLE (WSP)
- = TREE
- = EVERGREEN TREE
- = PROPERTY BOUNDARY
- = PARCEL LINES
- = EASEMENTS

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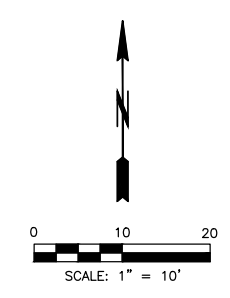
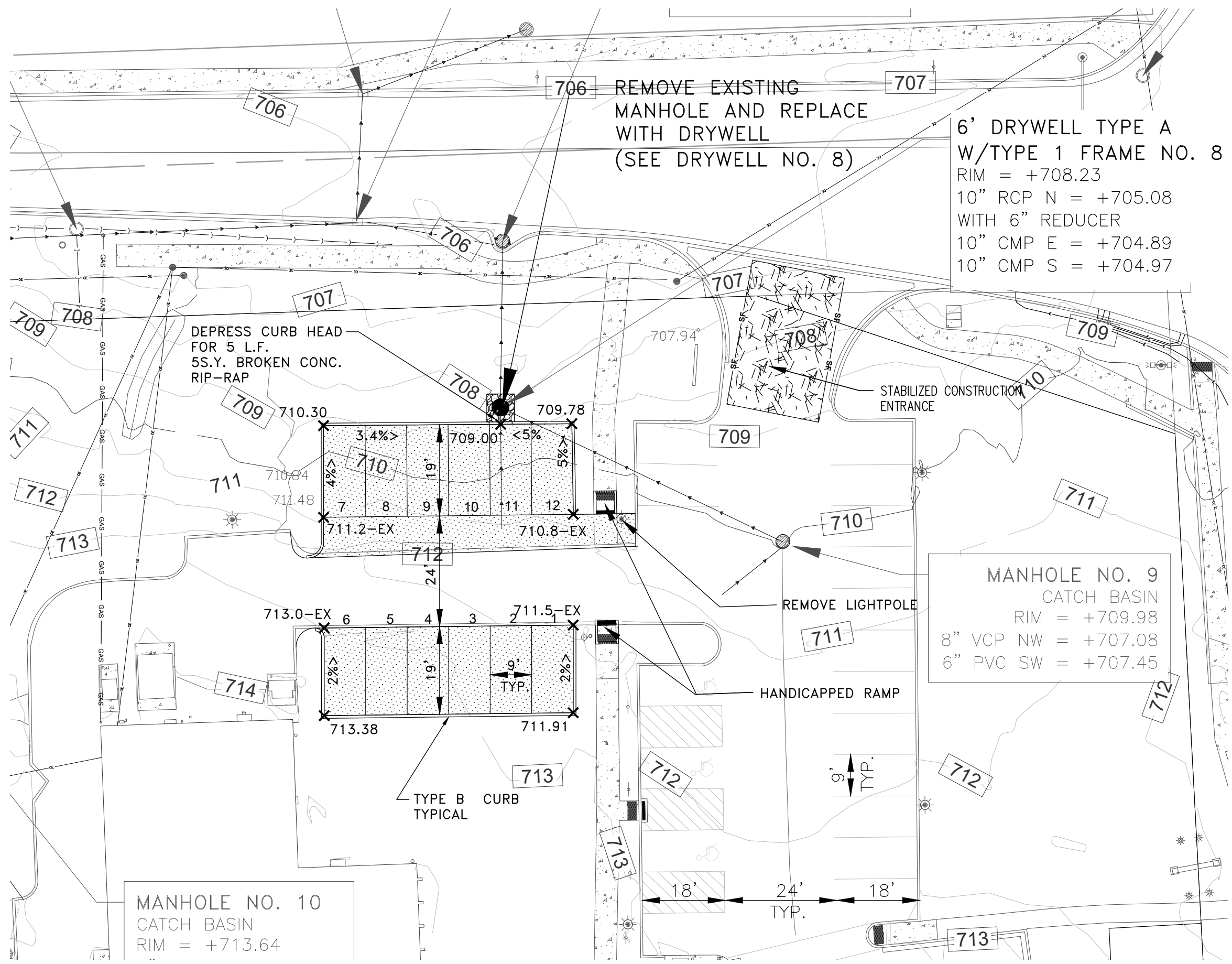
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**STORM SEWER PLAN**  
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706 REMOVE EXISTING  
MANHOLE AND REPLACE  
WITH DRYWELL  
(SEE DRYWELL NO. 8)

6' DRYWELL TYPE A  
W/TYPE 1 FRAME NO. 8  
RIM = +708.23  
10" RCP N = +705.08  
WITH 6" REDUCER  
10" CMP E = +704.89  
10" CMP S = +704.97

DEPRESS CURB HEAD  
FOR 5 L.F.  
5S.Y. BROKEN CONC.  
RIP-RAP

STABILIZED CONSTRUCTION  
ENTRANCE

MANHOLE NO. 9  
CATCH BASIN  
RIM = +709.98  
8" VCP NW = +707.08  
6" PVC SW = +707.45

MANHOLE NO. 10  
CATCH BASIN  
RIM = +713.64

TYPE B CURB  
TYPICAL

REMOVE LIGHTPOLE

HANDICAPPED RAMP

**LEGEND**

- ⊗ = AREA LIGHT (AL)
- = CATCH BASIN (CB)
- = CONCRETE PARKING BUMPER
- ▣ = CURB DRAIN (CD)
- ⦿ = FIRE HYDRANT (FH)
- ⊕ = GAS METER (GM)
- ⊙ = HANDICAPPED PARKING SPACE
- = MANHOLE COVER (MH)
- = MONITOR WELL (MW)
- = OVERHEAD WIRES (OHW)
- ⊥ = PIPE BOLLARD (PB)
- ↑ = SIGN (S)
- = STREET LIGHT STANDARD (SLS)
- = TRAFFIC CONTROL LIGHT (TCL)
- = WATER VALVE (WV)
- ⊕ = WOOD SERVICE POLE (WSP)
- ⊙ = TREE
- ⊙ = EVERGREEN TREE
- = PROPERTY BOUNDARY
- = PARCEL LINES
- = EASEMENTS

NOTE: UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN PLOTTED WITH THE AID OF AVAILABLE RECORDS. FOR LOCATIONS OF UNDERGROUND UTILITY MAINS, PLEASE CONTACT J.U.L.I.E. BY CALLING 811 OR 1-800-892-0123.

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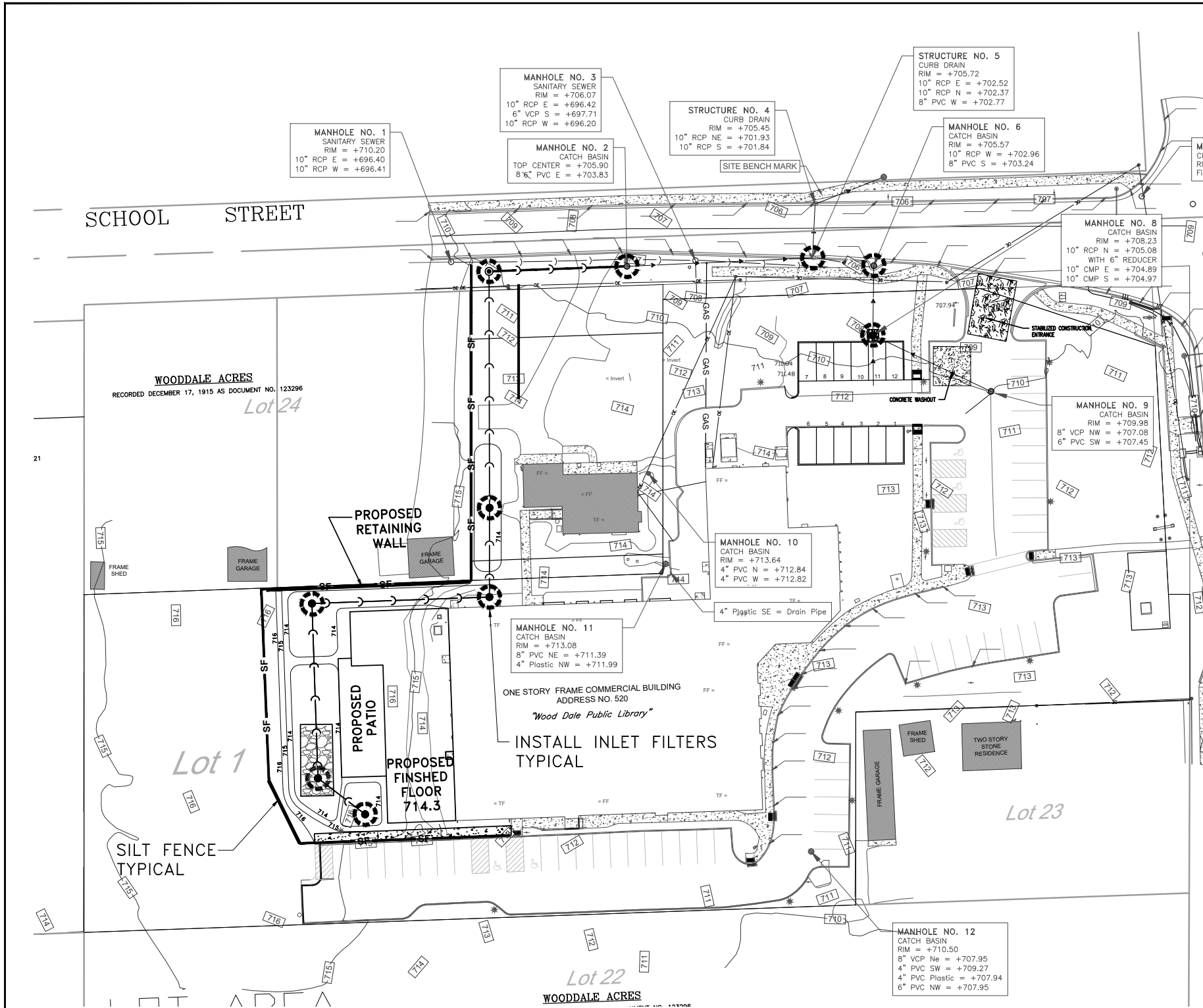


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**PARKING LOT PLAN**  
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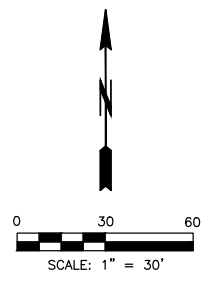
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**5**





### LEGEND

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- ⊙ = CATCH BASIN (CB)
- = CONCRETE PARKING BUMPER
- ⊙ = FIRE HYDRANT (FH)
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- ⊙ = HANDICAPPED PARKING SPACE
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- ⊙ = TREE
- ⊙ = EVERGREEN TREE
- = PROPERTY BOUNDARY
- = PARCEL LINES
- = EASEMENTS



## Catch-All

Inlet Protector  
Round, Rectangular, Beehive, or Roll Type Curb Inlets

Mar-Mac Manufacturing Co., Inc.  
Distributed by:  
Marathon Materials, Inc.  
800 983-9493  
25523 W. Schmale Street  
Plainfield, IL 60544  
www.marathonmaterials.com

### STABILIZED CONSTRUCTION ENTRANCE

- Stone Size—Use CA-1, CA-2, CA-3 OR CA-4.
- Maintenance—The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean-out of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Filter Cloth—Will be placed over the entire area prior to placing of stone.
- Washing—Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL

- Set posts and excavate or slit-trench a 6-inch deep trench upslope along the line of the post
- Attach the geotextile filter fabric to each post with a minimum of 3 (three) fasteners per post and extend to the bottom of the trench. Acceptable fasteners include staples, zip ties, or wire ties
- Backfill and compact the excavated spoil materials

Geotextile Requirement	Test Method	MARV
Grab strength	ASTM D 4632	
- Machine direction		550 N
- X-machine direction		450 N
Permittivity	ASTM D 4491	0.05 sec-1
Apparent opening size*	ASTM D 4751	0.60 mm
Ultraviolet stability (retained strength)	ASTM D 4355	70% after 500 hours

Note: Value for apparent opening size represents maximum average roll value.

## SILT FENCE DETAIL

DATE: 4/21/08 BY: KAW  
REVISED: BY: \_\_\_\_\_

LAKE COUNTY  
STORMWATER MANAGEMENT COMMISSION

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## EROSION CONTROL PLAN

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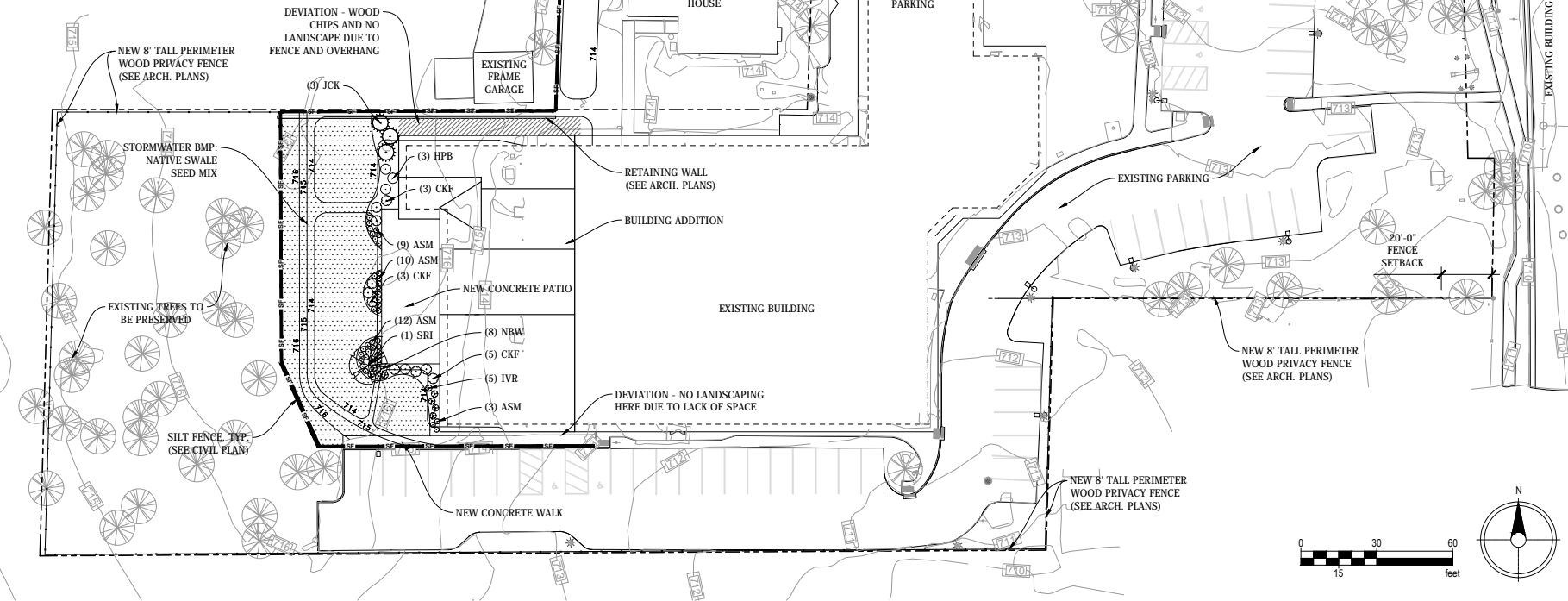
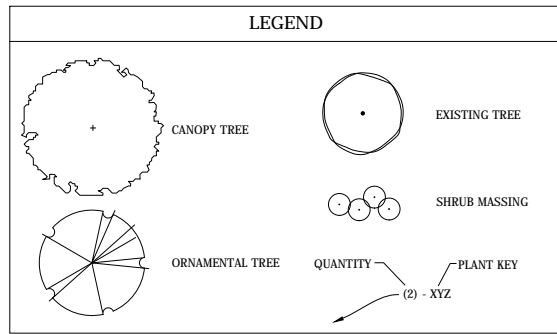


**WOOD DALE PUBLIC LIBRARY RENOVATIONS**



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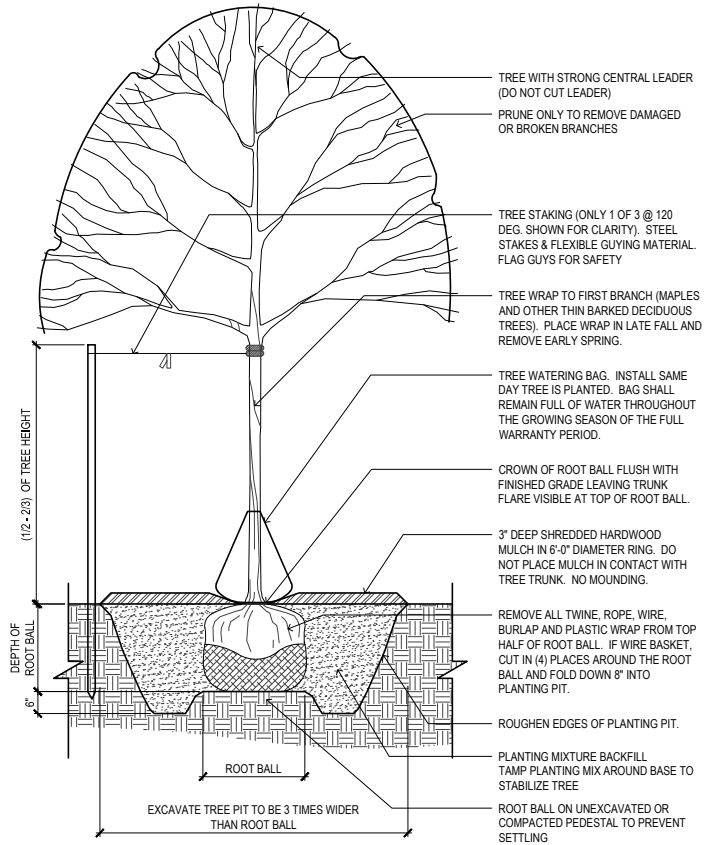
PLANTING SCHEDULE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
<b>CANOPY TREES</b>						
GTS	1	GLEDETZIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5" CAL.		B&B TREE-FORM
<b>ORNAMENTAL TREES</b>						
SRI	1	SYRINGA RETICULATA 'IVORY SILK'	IVROY SILK JAPANESE TREE LILAC	2.5" CAL.		B&B TREE-FORM
<b>DECIDUOUS SHRUBS</b>						
AIB	26	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	IROQUOIS BEAUTY CHOKEBERRY	#3 CONT.	48" O.C.	
HPB	3	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	#5 CONT.	48" O.C.	
IVR	46	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	#3 CONT.	30" O.C.	(1) MALE PER MASSING
RA	8	RHUS AROMATICA 'GRO-LO'	GRO-LO SUMAC	#3 CONT.	36" O.C.	
<b>EVERGREEN SHRUBS</b>						
JCK	3	JUNIPERUS CHINENSIS 'KALLAY'S COMPACT'	KALLAY'S COMPACT JUNIPER	#5 CONT.	48" O.C.	
<b>PERENNIALS, GRASSES &amp; GROUNDCOVERS</b>						
ASM	34	ALLIUM 'MILLENIUM'	MILLENIUM ALLIUM	#1 CONT.	18" O.C.	
CKF	15	CALAMAGROSTIS X 'KARL FOERSTER'	KARL FOERSTER REED GRASS	#3 CONT.	36" O.C.	
NBW	8	NEPETA 'BLUE WONDER'	BLUE WONDER CATMINT	#1 CONT.	18" O.C.	

NATIVE SWALE SEED MIX	
OZ./AC	COMMON NAME
55.5 OZ.	PERMANENT GRASSES (MIX)
540.0 OZ.	TEMPORARY GRASSES (MIX)
42.0 OZ.	FORBS (MIX)

SEED MIX SHALL BE 'BIOSWALE SEED MIX' AS SPECIFIED FROM CARDNO NATIVE PLANT NURSERY OR APPROVED EQUAL. SEED MIX SHALL BE APPLIED AT OVERALL RATE MIXTURES AS SPECIFIED ABOVE, OR APPROVED SUPPLIER'S WRITTEN RECOMMENDATIONS.

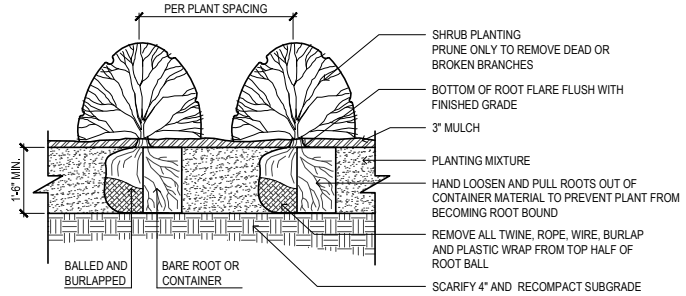
**LANDSCAPE NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE GRAPHIC SYMBOLS SHOWN ON THE PLAN SHALL DICTATE.
- NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT ID. AT NURSERY OR CONTRACTOR'S OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS HE/SHE FEELS MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
- ALL PLANTS SHALL MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, 1986 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT W/ CONSTRUCTION OPERATIONS AND AS DIRECTED BY LANDSCAPE ARCHITECT.
- FINAL PLACEMENT OF PLANT MATERIALS, ETC., SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOOD STAKE INDICATING VARIETY AND SIZE OF TREE. ALL GROUND COVER AND PLANTING BED LINES SHALL BE MARKED W/ HIGHLY VISIBLE PAINT LINES W/ OCCASIONAL WOOD STAKES FOR REFERENCE. ALL STAKES SHALL BE REMOVED FOLLOWING PLANTING OPERATIONS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON SITE.
- IRRIGATION SYSTEM- PROVIDE AN ALTERNATIVE COST FOR A LANDSCAPE IRRIGATION SYSTEM. PROVIDE A BACKFLOW PREVENTER PER LOCAL CODE. PROVIDE A CONTROLLER. LAWN ZONES ARE TO BE COVERED BY SPRAY HEADS OR ROTARY HEADS. ALL SHRUBS BEDS ARE TO BE IRRIGATED WITH DRIP (NETAFIM).
- CONTRACTOR SHALL EXCAVATE A MINIMUM OF 2'-0" BELOW THE PAVING SURFACE.
- ALL SEED & SOD AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL.
- ALL PLANTING BEDS SHALL RECEIVE 18" DEPTH OF PREPARED SOIL.
- MULCH SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE OBTAINED FROM SAWMILL OR LUMBERING OPERATION. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED.
- ALL SHRUB PLANTING AREA SHALL BE COVERED WITH 4" LAYER OF SHREDDED HARDWOOD BARK MULCH.
- ALL GROUND COVER BEDS SHALL BE COVERED WITH 3" LAYER OF SHREDDED HARDWOOD BARK MULCH.
- ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS MIN. FOLLOWING COMPLETE INSTALLATION AND FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, MULCHING, MOWING, AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF LAWNS AND PLANTINGS. CONTRACTOR TO SUBMIT UNIT PRICES ON EVERY TYPE OF WORK AS REQUIRED BY LANDSCAPE ARCHITECT.
- ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR. THE REPLACEMENTS SHALL ALSO BE GUARANTEED FOR 1 YEAR.
- AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
- ESTIMATED SCHEDULE FOR PLANTING IS SPRING 2019.



**TREE PLANTING**

NOT TO SCALE



**SHRUB/PERENNIAL PLANTING**

NOT TO SCALE

REV.	COMMENT	DATE
	PUD RESUB 2	10/2/18

SEAL:

EXP: 7/31/2019

DATE: OCTOBER 2, 2018  
JOB NO.: 18-724C  
DRAWN BY: JRR  
CHECKED BY: TS

**DRAWING TITLE:  
LANDSCAPE PLAN**

SHEET NO.:  
**LP-100**

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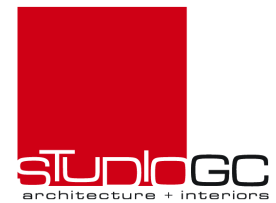
07.13.2018

**exterior rendering**  
wood dale public library  
renovations

16032

**1**

520 n. wood dale road., wood dale, il 60191





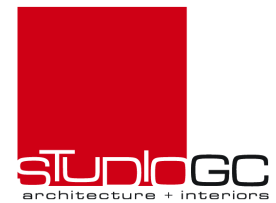
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**interior rendering**  
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renovations

16032

**2**

520 n. wood dale road., wood dale, il 60191





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**interior rendering**  
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**3**

520 n. wood dale road., wood dale, il 60191

