

CITY OF WOOD DALE

Community Development



MEMO

DATE: May 20, 2019

TO: Community Development Commission

FROM: Ed Cage, AICP, Community Development Director

SUBJECT: Case No. 2019-CDC-01, Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review for the redevelopment of Washington Street Properties (640 N. Central Avenue)

REQUEST

An application has been submitted requesting a Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to annex and redevelop the Washington Street Properties (640 N. Central Ave – Formerly 6N606 Central Ave).

PROPERTY INFORMATION

Address: 640 N. Central Avenue (Formerly 6N606 Central Avenue)
PINs: 03-10-106-014, 006, 007, 008, 009, 010, 011, 012, 013, 015
03-10-107-001, 002, 003, 004, 005, 006, 007, 008, 009, 010
Property Size: 9.59 Acres (417,881 square feet)
Existing Land Use: Residential
Future Land Use: Industrial Business Park
Existing Zoning: R-3 Single-Family Residential District (DuPage County)

Surrounding Land Use & Zoning

North: I-1, Industrial
South: I-1, Industrial
East: I-1, Industrial
West: R-4, Medium Density Single Family

ANALYSIS

Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Engineering Improvement Plans (Exhibit A)
- Landscaping Plans (Exhibit B)
- Photometric Plan
- Plat of Annexation (Exhibit C)
- Plat of Subdivision (Exhibit D)
- ALTA/NSPS Land Title Survey (Exhibit E)
- Stormwater Management Report
- Building Floor Plan & Elevations (Exhibit F)
- Project Narrative (Exhibit G)
- Traffic Study
- Fire-Truck and Semi-Trailer Turning Exhibits
- Circulation Diagram
- Kane DuPage SWCD Land Use Opinion

Project Description

The subject property is 9.59-acres and consists of 20 residential lots and the Washington Street right-of-way. The property is located on the West side of Central Avenue and the subject property is located within unincorporated DuPage County. The 15 vacant residences will be demolished to make way for one new 159,170 square foot Light Industrial Building. The subject property will be annexed and rezoned from unincorporated DuPage County residential to the City of Wood Dale I-1, Light industrial zoning. The subject property will also be brought within the Business Park sub-area of the Thorndale Corridor Overlay.



Compliance with the Comprehensive Plan

The subject property is designated as Industrial/Business Park in the Future Land Use Map of the Comprehensive Plan.

The subject property is proposed to redevelop to a new Industrial building and is consistent with the land uses surrounding the subject property. The subject property is currently in unincorporated DuPage County. One of the goals of the City Council is to annex on a voluntary basis any available properties that abut the City. Per the plan, “The City is expected to continue building on its current strengths with the business park and manufacturing and distribution industries.” This is clearly achieved with the annexation and redevelopment of the subject property into an Industrial type use.

As such, the proposed development would support the following Goals and Objectives (with a brief description of how they are being met):

- Goal 1: Connect Wood Dale Citizens to:
 - *Objective 2: Increase walking and biking amenities.*
 - Construction of pedestrian sidewalk to connect existing properties along Central Avenue.
 - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale.*
 - The project will attract a broad range of high-quality corporate tenants and the jobs that accompany them.
- Goal 2: Build Community Capacity:
 - *Objective 1: Seek opportunities for economic development.*
 - The Special Use and PUD process will support the redevelopment and annexation of the Subject Property which is currently unincorporated and provides limited value to the City in its current state.
 - *Objective 2: Expand job opportunities in the community.*
 - The project will further strengthen the City’s industrial base and will be attractive to a range of business and associated jobs.
 - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational facilities.*
 - *The project will add value to the City through the creation of new tax revenues and local jobs.*
- Goal 3: Embrace Small-Town Charm:
 - *Objective 2: Enhance the appearance and “curb appeal” of commercial corridors and residential areas.*
 - With the use of attractive building design and extensive landscaping, the project will greatly enhance an underutilized site that is not currently within the City’s jurisdiction.
- Goal 4: Keep Wood Dale Diverse:
 - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life.*
 - The Project is consistent with the City’s stated strategy to “Remain current on the changing real estate market’s needs for contemporary

industrial uses that can be located in the City and complement existing industries.”

- Goal 5: Protect Land Values:
 - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents.*
 - The Project is consistent with the City’s stated strategy to “Balance land use decisions to maintain strong tax base and minimize property tax burden on residents.”

Compliance with the Unified Development Ordinance (UDO)

The subject property, when annexed, will be brought within the Business Park sub-area of the Thorndale Corridor (TCC) Overlay District with I-1, Light Industrial underlying zoning. The subject property is not located within a floodplain but wetlands are present adjacent to the proposed development. The property, as proposed, will be annexed and is proposed to be re-subdivided into one lot.

Subdivision

The subject property will be subdivided into one lot – for the proposed building. The proposed one lot will exceed the minimum lot area of two acres. As part of the subdivision, the petitioner is dedicating additional right-of-way (ROW) along the west side of Central Avenue.

Street trees are required according to Sec. 17.703.D.2.d of the Municipal Code.

Allowable Uses

The proposed user is unknown at this time but will be a warehouse and distribution type user. Warehouse and distribution, as the principal use, is a permitted use in the Business Park sub-area of the Thorndale Corridor Corporate (TCC) District.

A PUD is allowed as a Special Use in the I-1, Light Industrial, Zoning District per the Table of Permitted Uses in Sec. 17.503.P of the Municipal Code. As such, the standards for Special Use, PUD and Major Site Plan Review have been evaluated and are provided for consideration later within this report.

Lot Development Standards

Being proposed in the Business Park sub-area of the TCC, the Block H Development Framework applies. The following table summarizes the regulations and how the redevelopment meets code requirements. See Exhibits A for detailed plans. Note that regulations **bold** indicate where deviations are being requested.

Regulation Type	Required/Allowed	Proposed
a. Building Height	50-feet max.	41-feet.
b. Build to Line	All Principal Buildings must Abut Line	20-feet & Varies due to lot angle
c. Parking Setback	100-feet min.	100-feet.
d. Landscape Buffer		
Central Avenue	20-feet min.	20-feet.

Parking and Traffic

The proposed development will be served by 144 off-street parking spaces. The Thorndale Corridor Overlay Business Park requires 240 off-street parking spaces. Therefore, this requires a deviation. It is important to note that reviewing the regular Unified Development Code, this typically would require 111 off-street parking spaces for such a use. The petitioner has submitted evidence that 144 off-street parking spaces will be sufficient for such an Industrial use. Staff believes that 240 off-street parking spaces is very restrictive and that no logistics/warehouse type use would need that amount of off-street parking.

Access to the redeveloped site is via two driveways, which also provide emergency access on all four sides of the proposed building. The southern driveway is essentially for automobiles and provides access to the off-street parking spaces. The northern driveway, which requires a deviation for its proposed width, would provide access mainly for semi-truck access to the loading dock doors.

Pedestrian traffic can easily traverse the site with a proposed sidewalk along Central Avenue.

It has been recommended and the applicant has illustrated that an additional seven-feet of right-of-way be dedicated to the Central Avenue right-of-way. This would make the Central Avenue right-of-way consistent throughout then Business Park.

A Traffic Impact Study (TIS) was conducted to evaluate the potential impact on adjacent roadways. The summarized findings from that report include the following:

- The proposed development will generate a low volume of traffic during the peak hours and will have a low traffic impact on the surrounding roadway network.
- The results of the capacity analysis indicate that the proposed development traffic will not have a significant impact on the area roadways.
- Providing access to the proposed warehouse/distribution development off Central Avenue at two locations will be adequate in accommodating the traffic to be generated by the proposed development.
- The existence of a two-way left-turn lane on Central Avenue will ensure that the inbound left turns at both access drives will be adequately accommodated.

Landscaping

The petitioner has submitted a high-quality landscape plan that includes a 20-foot greenway buffer along Central Avenue. The submitted plan meets or exceeds the code requirements.

Lighting

A photometric plan has been submitted by the applicant. There are a few minor comments that will be addressed prior to final approval, but overall the plans are in compliance with the UDO requirements. The site is illuminated by mainly wall-packs on the proposed building with a couple of light poles that are utilized within the proposed western parking lot.

Stormwater Management

The proposed plan calls for two stormwater facilities, one to the north of the proposed building which is located under the truck dock and maneuvering area, and the other being a more traditional pond which is to the west of the proposed building and parking lot. The City Consultant Engineers have reviewed the stormwater plans and calculations and have approved them.

Public Utilities

The development will be served by a looped water main and has been approved by the City Consultant Engineer subject to some minor review comments.

Public Safety

The Wood Dale Fire Protection District has reviewed the proposed plans and have no further comments, at this time.

PUD and Subdivision Process

The petitioner is requesting a combined concept, preliminary and final development plan/plat to facilitate construction commencement immediately upon approval. The requested Special Use, PUD, Final Plat of Subdivision and Major Site Plan Review is consistent with the UDO.

PUD Requested Deviations

There are a number of requested deviations requested through the PUD process and these are as follows:

1. Required Parking Spaces Number: 144 instead of 240, per the reasoning aforementioned within this report.
2. Service Drive Off-Set: Does not line-up with opposite access drive, due to site constraints.
3. Service & Auto Curb Cut Width: Driveway width for both driveways have been proposed to be widened, which is consistent with other such approved requests.
4. Elimination of Surface Parking Zone: The proposed building has been shifted to the east to accommodate both the wetland and wetland buffer to the west of the proposed building.

5. Elimination of Build-to-Line Requirement: The angled nature of the site makes compliance with this requirement problematic.
6. Elimination of Trash Enclosure: A trash compactor is proposed to be used, this will be screened by both the proposed building and extensive landscaping on the site.

Deviations are often requested and required with a larger PUD development such as this requested one. The use of the PUD application requires some public benefit to be required by the City. In this case, there is a public sidewalk along Central Avenue planned, a 20-foot greenway buffer, high-quality building architecture, underground stormwater detention that allows for a significant wetland buffer and overall the annexation of 9.59-acres.

Neighborhood Comment

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO.

Findings of Fact

The Community Development Commission may recommend approval of a Special Use, Planned Unit Development and Major Site Plan Review if evidence is presented to establish that the application meets the standards. The standards are as follows (*staff comments italicized*):

Special Use Standards

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

The proposed special use will allow the redevelopment of the subject property, which will in turn allow a new Industrial building to be constructed. This building will create new jobs for the City. Therefore, the proposed special use meets the standards set forthwith.

2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

The proposed special use will allow for the redevelopment of the subject property to allow a new industrial building at this location. The proposed new building will be consistent with the surrounding properties, which are also industrial in use and also in zoning. Therefore, the proposed special use meets the standards set forthwith.

3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

The proposed redevelopment project will allow adjacent property owners to operate in accordance with existing zoning regulations and will promote future investment in

the area and ultimately enhance area property values. Therefore, the proposed special use meets the standards set forthwith.

4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

The proposed redevelopment project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of new materials and architectural design along with extensive landscaping should promote investment in the adjacent properties. Therefore, the proposed special use meets the standards set forthwith.

5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

The proposed redevelopment project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties. Therefore, the proposed special use meets the standards set forthwith.

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

The subject property has ready access to existing City utilities which run along Central Avenue. The proposed utility connections have been submitted on the applicant's engineering plans.

7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets;

Parking for the project is appropriate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped 20-foot greenway buffer will be established along Central Avenue. The proposed access points to the property have been designed to minimize traffic hazards and where possible have been aligned with existing access points on the east side of Central Avenue.

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

The standards for PUDs are evaluated below, per Section 17.405 of the UDO. This standard is met.

General Standards and Criteria for Planned Unit Developments (PUD)

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

The subject property is designated as Industrial/Business Park in the future land use map and the project is consistent with the type of redevelopment occurring within the Industrial zoned area within the City. The proposed development is planned to be a high-image addition to the City's industrial inventory and will not injure or damage the use, value and enjoyment of the adjacent properties or discourage the development of surrounding properties. Therefore, the proposed PUD meets the standards set forthwith.

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

The preliminary project schedule targets and approval this summer with demolition of the existing structures, occurring soon thereafter. Vertical construction of the proposed building is anticipated to take approximately seven months with substantial completion projected in January 2020. Therefore, the proposed PUD meets the standards set forthwith.

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

The entire property is owned by a single-entity and therefore it meets the standard. Therefore, the proposed PUD meets the standards set forthwith.

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

Given that the proposed single building and consolidation of multiple lots into one, Covenants Conditions and Restriction's (CCR's) will not be required of this project. All proposed public utility easements will be included on the Final Plat of Subdivision and be reviewed and approved by the City. Therefore, the proposed PUD meets the standards set forthwith.

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities *beyond design capacity.*

The subject property has available and ready access to existing utilities that run along Central Avenue. The utility requirements of the proposed project shall not reduce the capacity for existing developments nor overload City facilities beyond capacity. Therefore, the proposed PUD meets the standards set forthwith.

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.

The proposed project is compatible with surrounding land uses within the City and will incorporate substantial site landscaping, inclusive of a 20-foot greenway buffer that will be established along Central Avenue. Furthermore, the proposed project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. Therefore, the proposed PUD meets the standards set forthwith.

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

The proposed project is compatible with the surrounding area and will be a quality addition to the City's Industrial base. The use of an attractive building design, extensive landscaping and the additions of sidewalks will enhance the surrounding area and encourage pedestrian mobility. Therefore, the proposed PUD meets the standards set forthwith.

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

The proposed project is a high quality industrial building that conforms with the general design standards of the district and is consistent with the type of proposed redevelopment occurring within the industrial zoned areas of the City. Therefore, the proposed PUD meets the standards set forthwith.

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

The proposed project conforms with the City's designation as an Industrial/Business Park on the future land use map of the Comprehensive Plan. Therefore, the proposed PUD meets the standards set forthwith.

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

The proposed project is a high quality industrial building that conforms with the general design standards of the district it is proposed to be located within. It is not inconsistent with the public general welfare and does not conflict with this standard. Therefore, the proposed PUD meets the standards set forthwith.

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.

The proposed project features extensive site landscaping and also includes a 20-foot greenway buffer that is planned along and abutting Central Avenue. Therefore, the proposed PUD meets the standards set forthwith.

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

Based upon the Traffic Impact Study (TIS) the two proposed access points from Central Avenue will be sufficient for accommodating the traffic that is planned to be generated by the proposed project. Furthermore, the TIS concludes that the proposed project will generate a low volume of traffic during the peak hours and will not have a significant impact on the area roadways. Therefore, the proposed PUD meets the standards set forthwith.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

There are no dwelling units proposed in the PUD. Off-street parking spaces are located conveniently adjacent to the proposed building and will meet the landscaping

screening requirements of the code. Therefore, the proposed PUD meets the standards set forthwith.

14. A pedestrian circulation network is provided.

The proposed project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. In addition, a pedestrian walkway will be provided on-site to connect the auto parking to future office areas. Therefore, the proposed PUD meets the standards set forthwith.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

All utilities to be provided as outlined in the utility plan shall be in accordance with the requirements and regulations of the City. Therefore, the proposed PUD meets the standards set forthwith.

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

The proposed project will support the following objectives as outlined in Section B:

- *Objective 3: functional and beneficial use of open space by providing better connectivity to existing properties along Central Avenue and by providing a 20-foot landscaped buffer along the primary street frontage.*
- *Objective 4: preservation of natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border.*
- *Objective 5: provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by creating and maintaining a 20-foot landscape buffer along Central Avenue, enhanced pedestrian connectivity within and around the site and high-quality building design.*
- *Objective 6: rational and economic development in relation to public services by establishing a proposed project that conforms with future land use plans, creates a value-added annexation opportunity that has limited impact on the required public services.*

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

The proposed project provides for improved and enhanced buffering for the critical wetland located on the western border of the subject property. Therefore, the proposed PUD meets the standards set forthwith.

Standards For Site Plan Review:

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan.

The proposed project conforms to the future land use plan and is consistent with each goal and many of the objectives within the Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17.

The proposed project has been designed to increase pedestrian mobility both on-site and along Central Avenue. Furthermore, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrians and vehicle traffic. Therefore, the proposed Site Plan meets the standards set forthwith.

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements.

The proposed project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements. Therefore, the proposed Site Plan meets the standards set forthwith.

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code.

Detailed engineering plans have been submitted for review by the City Consultant Engineer. The Fire District and Public Works Department has also been asked to review the associated plans and provide comments. Therefore, the proposed Site Plan meets the standards set forthwith.

5. That the proposed use(s) is/are permitted in the district in which the property is located.

The proposed project and use is consistent with the subject property's designation as Industrial/Business Park in the future land use map of the City's Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles.

The proposed project is planned to be a high quality and high image industrial with office facility that is compatible with adjacent land uses and employs sound planning and zoning principles. Therefore, the proposed Site Plan meets the standards set forthwith.

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

The planned project provides for an efficient separation of automobile and truck traffic. Per the TIS, the proposed access points along Central Avenue will be sufficient to serve the planned project with a low traffic impact on the surrounding roadway network. Further, the construction of an on-site walkways and a pedestrian sidewalk along Central Avenue shall provide for the safe movement of pedestrian traffic. Therefore, the proposed Site Plan meets the standards set forthwith.

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage is planned as part of the planned project. Therefore, the proposed Site Plan meets the standards set forthwith.

Standards for Final Plat:

The Community Development Commission shall recommend approval and the City Council shall approve a Final Plat unless it makes written findings specifying the manner in which (*staff comments in italicized*):

1. The design and layout of the subdivision does not conform to the provisions of the UDO.

The proposed subdivision includes an additional seven foot of right-of-way dedication, and all required improvements with an additional pedestrian sidewalk along Central Avenue. The design and layout of the proposed subdivision does conform to the provisions of the Unified Development Ordinance (UDO). Therefore, the proposed Site Plan meets the standards set forthwith.

2. The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.

The applicant has made adequate provisions to install improvements required by both the CDC and/or City Council under the authority of the UDO. Therefore, the proposed Site Plan meets the standards set forthwith.

3. The Final Plat fails to comply with an approved Preliminary Plat.

This standard does not apply because the applicant is applying for a combined Concept, Preliminary and Final Plat concurrently. Therefore, the proposed Site Plan meets the standards set forthwith.

4. The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.

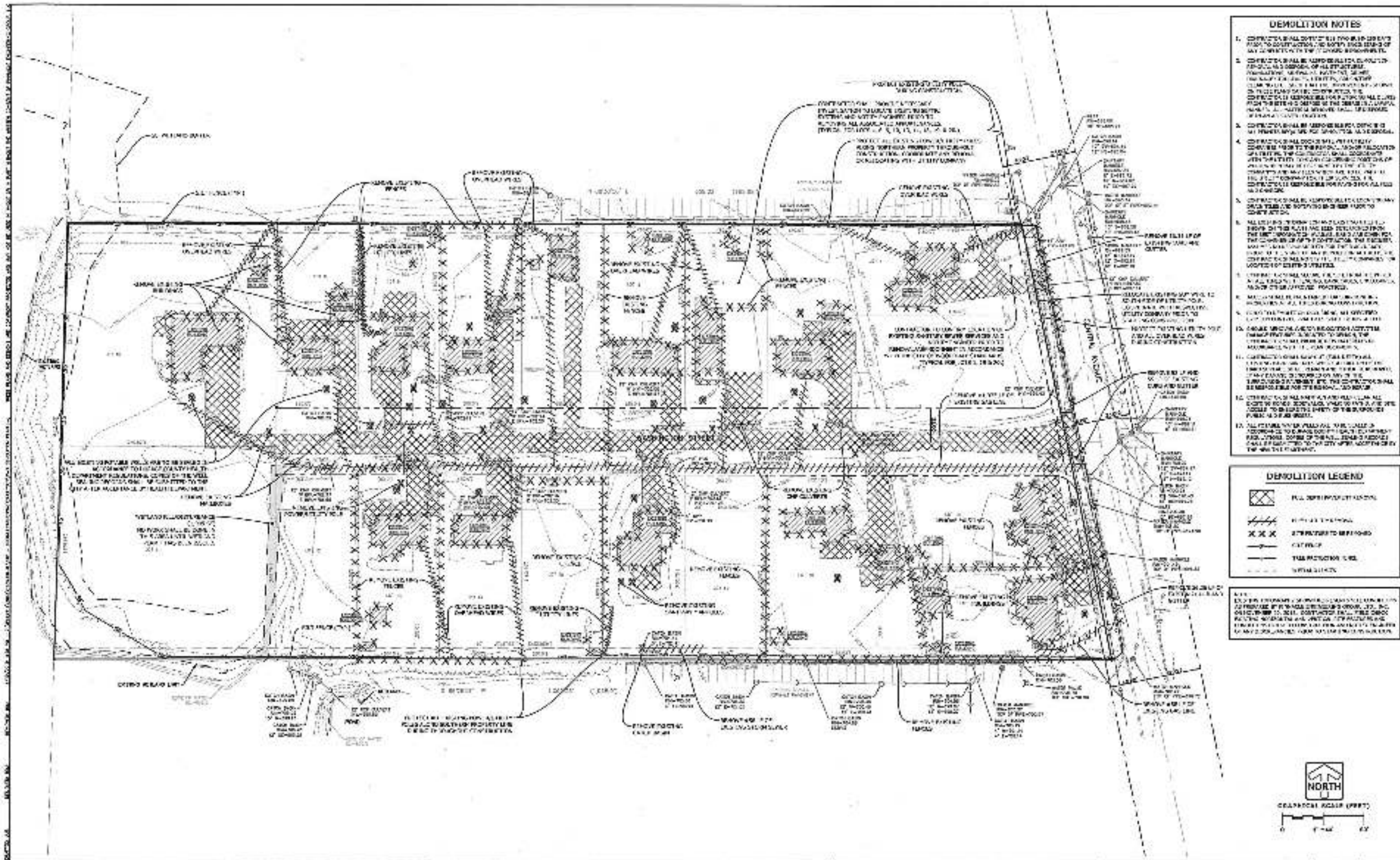
The Final Plat of Subdivision conforms with the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, all applicable City Ordinances and planning policies of the City. Therefore, the proposed Site Plan meets the standards set forthwith.

RECOMMENDATION

The Community Development Department finds that the request for a Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to redevelop 640 N. Central Avenue is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review meets the standards of approval and is consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo as the findings of the Community Development Commission, and recommend to the City Council approval of Case No. 2019-CDC-01 subject to the following conditions:

1. The Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
2. Prior to the issuance of a Certificate of Occupancy: the concrete sidewalk along the western side of Central Avenue shall be installed and inspected by the City of Wood Dale.

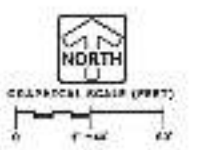


- ### DEMOLITION NOTES
1. DEMOLITION SHALL BE COMPLETED WITHIN 90 DAYS OF THE START DATE OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WOOD DALE.
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 15. DEMOLITION SHALL BE COMPLETED WITHIN 90 DAYS OF THE START DATE OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WOOD DALE.
 16. DEMOLITION SHALL BE COMPLETED WITHIN 90 DAYS OF THE START DATE OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WOOD DALE.
 17. DEMOLITION SHALL BE COMPLETED WITHIN 90 DAYS OF THE START DATE OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WOOD DALE.
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DEMOLITION LEGEND

- FULL DEMOLITION REQUIRED
- PARTIAL DEMOLITION
- STRUCTURES TO BE REMOVED
- EXISTING
- PROPOSED
- UTILITIES

NOTES:
 1. ALL UTILITIES SHALL BE DELETED AND REMOVED.
 2. ALL UTILITIES SHALL BE DELETED AND REMOVED.
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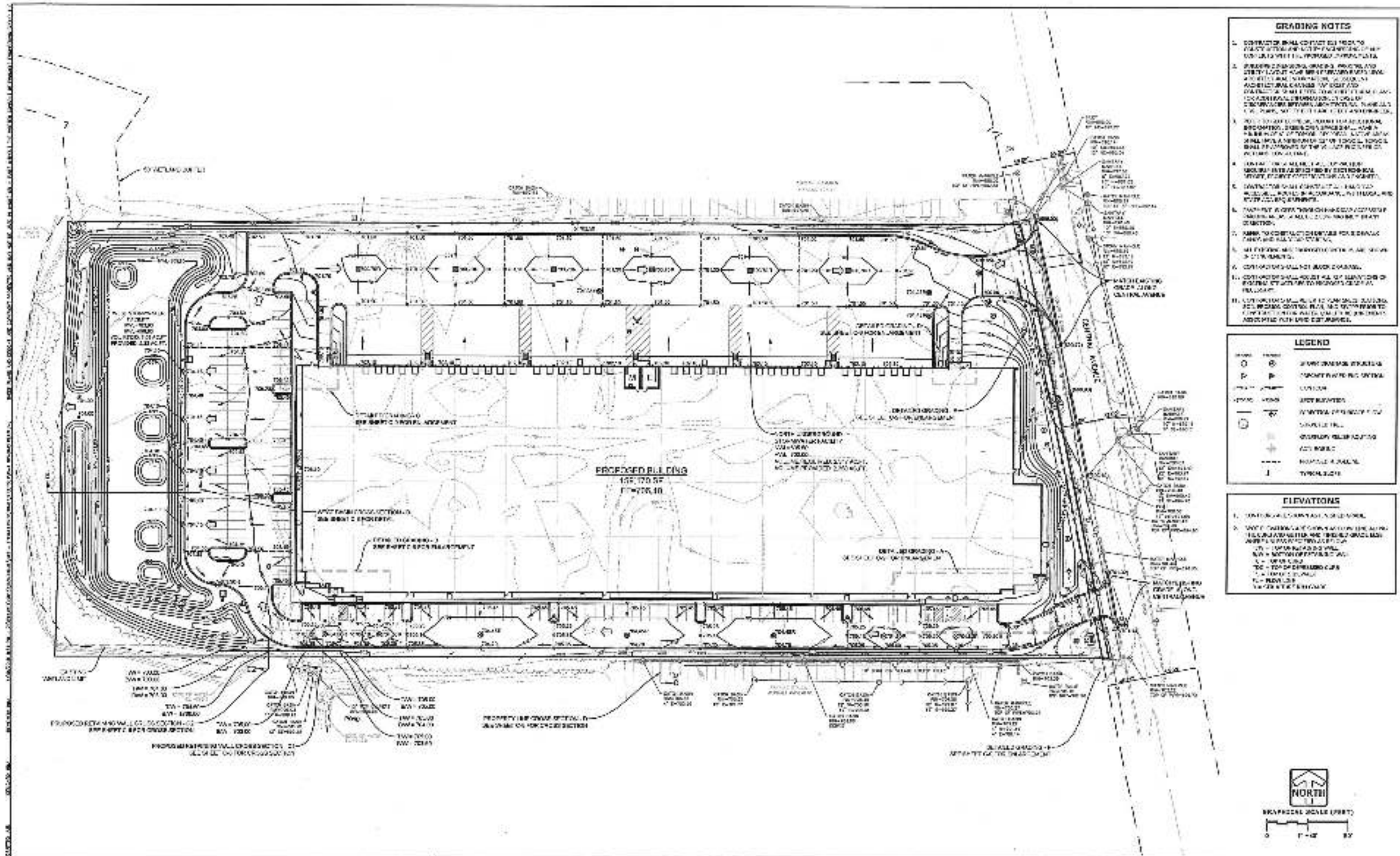
PINNACLE ENGINEERING GROUP
 1500 W. 111TH STREET, SUITE 100, CHICAGO, IL 60642
 TEL: (773) 334-1111 FAX: (773) 334-1112
 WWW.PINNACLE-ENG.COM

WOOD DALE INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS	
1. TO CONTRACTOR	DATE
2. TO CONTRACTOR	DATE
3. TO CONTRACTOR	DATE

EXISTING CONDITIONS & DEMOLITION PLAN
 SHEET C-14

www.pinnacle-eng.com
 EXISTING CONDITIONS & DEMOLITION PLAN



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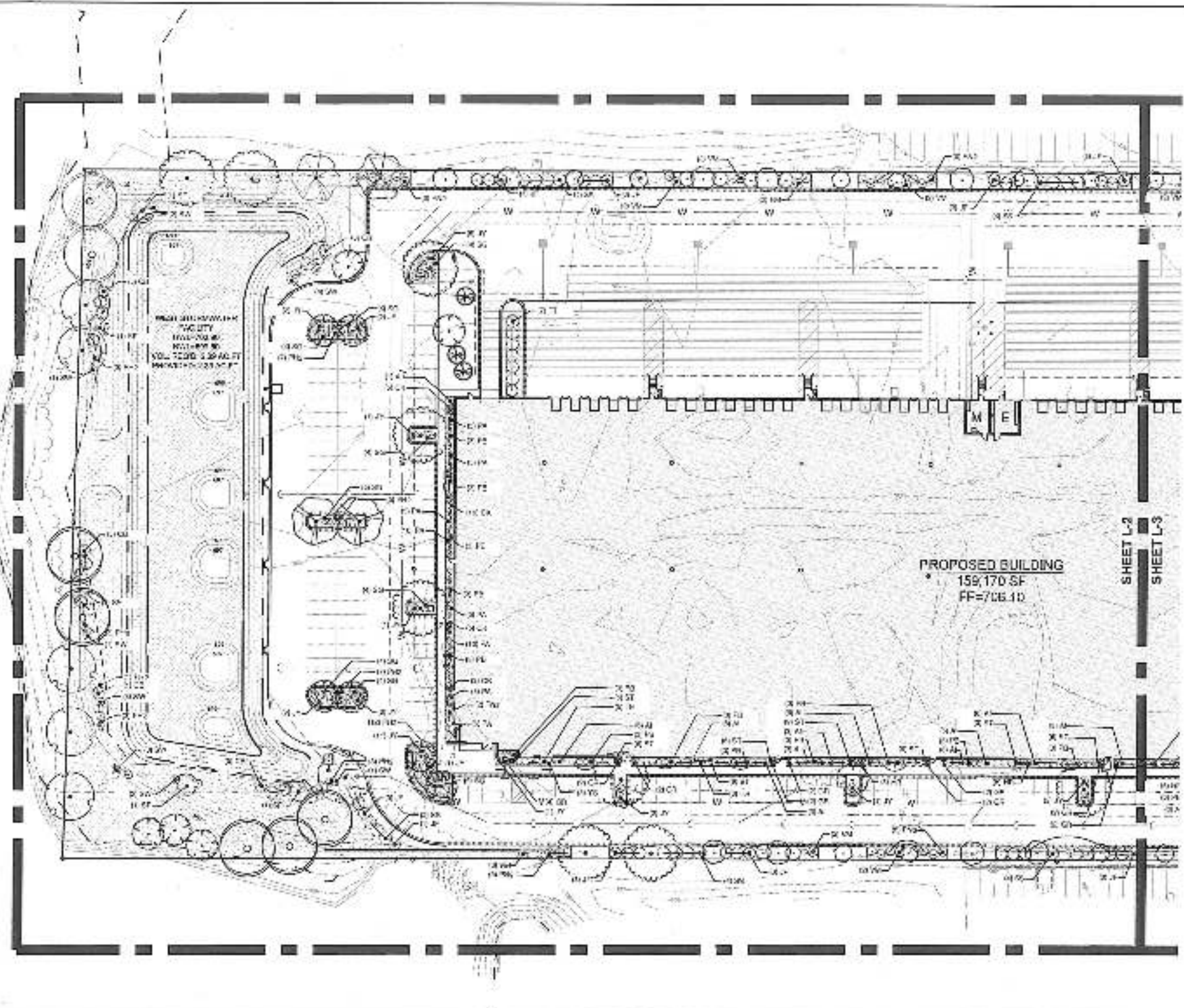
WOOD DALE INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS	
1. NO CONTACT WITH	DATE
2. NO CONTACT WITH	DATE
3. NO CONTACT WITH	DATE

GRADING PLAN

SHEET
C-5
 OF
C-14

GRADING PLAN



PLANT KEY

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	1" CALIBER TREE	10	10" CALIBER TREE
2	2" CALIBER TREE	11	11" CALIBER TREE
3	3" CALIBER TREE	12	12" CALIBER TREE
4	4" CALIBER TREE	13	13" CALIBER TREE
5	5" CALIBER TREE	14	14" CALIBER TREE
6	6" CALIBER TREE	15	15" CALIBER TREE
7	7" CALIBER TREE	16	16" CALIBER TREE
8	8" CALIBER TREE	17	17" CALIBER TREE
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Pinnacle Engineering Group
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WOOD DALE INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

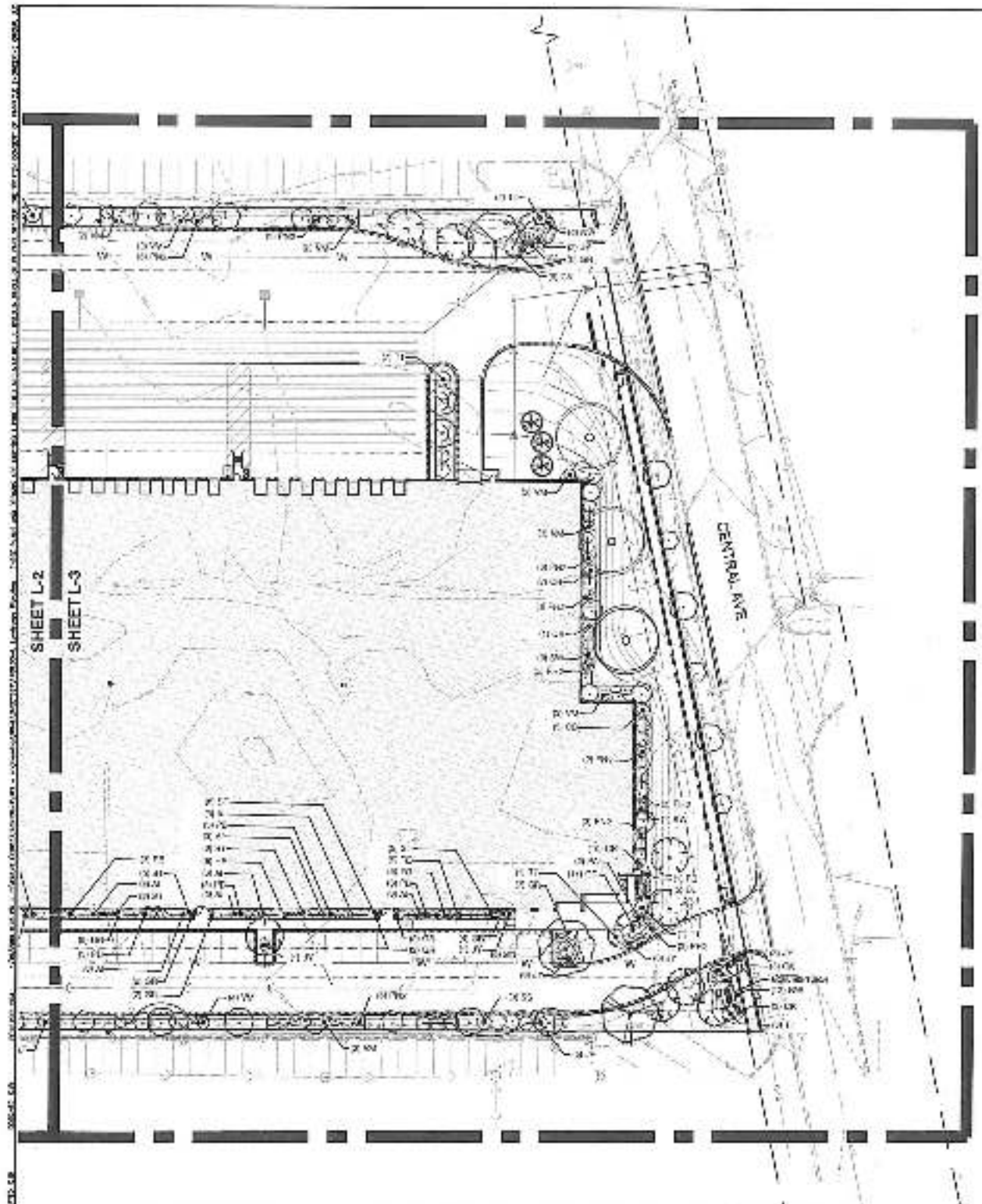
REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	05/11/10
2	ISSUED FOR CONSTRUCTION	05/11/10

ENLARGED PLANTING PLAN

SHEET L-2
L-5

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PLANT KEY

PLANT CODE	PLANT NAME	PLANT NAME
10-1	Small Tree	Small Tree
10-2	Medium Tree	Medium Tree
10-3	Large Tree	Large Tree
10-4	Shrub	Shrub
10-5	Flowering Shrub	Flowering Shrub
10-6	Perennial	Perennial
10-7	Annual	Annual
10-8	Grass	Grass
10-9	Groundcover	Groundcover
10-10	Water Feature	Water Feature
10-11	Lighting	Lighting
10-12	Signage	Signage
10-13	Utility	Utility
10-14	Structure	Structure
10-15	Wall	Wall
10-16	Gate	Gate
10-17	Driveway	Driveway
10-18	Parking	Parking
10-19	Walkway	Walkway
10-20	Other	Other

Delaney
4-2-10



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 www.pinnacle-engineers.com

WOOD DALE INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	4/2/10
2	REVISED	
3	REVISED	

ENLARGED PLANTING PLAN

SHEET
 L-3
 OF
 L-5

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GENERAL PLANTING NOTES

1. THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAYED BY THE CONTRACTOR IN ACCORDANCE WITH THE LANDSCAPE PLANS. PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. AN APPROVED NURSERY LIST WILL BE PROVIDED TO THE CONTRACTOR AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY OBTAINING THE PLANT MATERIAL QUANTITIES SHOWN ON THE LANDSCAPE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AND/OR STATE STANDARDS OF NURSERY STOCK. LANDSCAPE ARCHITECT'S APPROVAL OF ANY PLANT MATERIAL IS NOT A GUARANTEE OF THE QUALITY OF THE PLANT MATERIAL. PLANT MATERIAL SHALL BE STORED PROPERLY TO PREVENT DRYING AND DAMAGE.
4. NO PLANT MATERIAL OR PLANTING SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
5. ALL PLANTING MATERIAL SHALL BE PROVIDED FROM AN UNSETTLED AND UNDISTURBED SOURCE. PLANTING MATERIAL SHALL BE STORED PROPERLY TO PREVENT DRYING AND DAMAGE.
6. ALL PLANT MATERIAL SHALL BE STORED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S REQUIREMENTS.
7. ALL PLANTING MATERIAL SHALL BE STORED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S REQUIREMENTS. EXISTING SOIL SHALL BE PROTECTED AND NOT DISTURBED UNLESS NECESSARY FOR PLANTING.
8. WHEN PLANTING IN A PLANTING BED, THE CONTRACTOR SHALL FILL THE PLANTING BED WITH THE PROPER SOIL MIXTURE. AFTER PLANTING, THE CONTRACTOR SHALL WATER THE PLANTS AND SOIL TO SETTLE AND MOISTEN THE SOIL.
9. THE CONTRACTOR SHALL MAINTAIN ALL TREES WITH THE COMMON AND BOTANICAL NAMES FROM THE PLANTING LIST.
10. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
11. ALL PLANTING BEDS AND TREE PLANTS SHALL HAVE A DEEP (6 INCHES) LAYER OF TOPSOIL. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
12. ALL PLANTING BEDS SHALL HAVE A DEEP (6 INCHES) LAYER OF TOPSOIL. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
13. FOR PLANTING BEDS, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY THE MANUFACTURER. PROVIDE A LAYER OF MULCH THAT IS 2 INCHES THICK TO PROMOTE SEED GERMINATION AND TURTLE TURTLE TURTLE. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, BARRIERS, CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (DRALES, STORM EXPOSURE, AND OTHER AREAS REQUIRING STABILIZATION).
14. THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM SURFACE IS ACHIEVED WITH NO DATE SPOTS LARGER THAN 1/2 INCH. ANY DATE SPOTS LARGER THAN 1/2 INCH SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO OBTAIN A SMOOTH, UNIFORM SURFACE.
15. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
16. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
17. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
18. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
19. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING UTILIZATION LINES, PRIOR TO PLANTING. CONTACT THE UTILITY COMPANIES FOR MORE INFORMATION.
20. THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER PLANTING AND THAT THE PLANTING BEDS ARE PROPERLY COMPACTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES.
21. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE MATERIALS TO BE USED IN THE PROJECT.
22. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS AND THE LISTED NURSERIES SHALL BE THE BASIS FOR ALL PLANTING MATERIAL QUANTITIES AND SPECIFICATIONS.
23. THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 90 DAYS TO ENSURE THE PLANTS ARE PROPERLY ESTABLISHED. THE CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH A DETAILED WATERING AND MAINTENANCE SCHEDULE.
24. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS AND THE LISTED NURSERIES SHALL BE THE BASIS FOR ALL PLANTING MATERIAL QUANTITIES AND SPECIFICATIONS.

SOIL PLACEMENT NOTES

1. SOIL IS TO BE PLACED TO A MINIMUM OF 12 INCHES BELOW THE FINISH GRADE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES.
3. TREE AND SHRUB HOLES SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL. ALL PLANTING BEDS SHALL BE FILLED WITH A DEEP (6 INCHES) LAYER OF TOPSOIL.
4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET THE FINISH GRADE. AFTER NATURAL SETTLEMENT, FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES.
5. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL RECOMMENDED WORK INTO TOP OF EXISTING SURFACE TO CREATE A SMOOTH, UNIFORM SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIAL FROM THE LISTED NURSERIES.
6. DO NOT SPREAD PLANTING SOIL OR SURFACE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
7. FINISH GRADE SURFACE SHALL BE A SMOOTH, UNIFORM SURFACE WITH A LOOSE, UNIFORM FINE TEXTURE.
8. FILL AND WARE REMOVE DEBRIS AND ALL DEBRIS FROM THE PLANTING BEDS.
9. RESTORE PLANTING BEDS IF EXCESSIVE OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

NATIVE PLANTINGS AND STORMWATER BASIN

- Specifications for Seed Broadcasting**
- Seed broadcasting shall be completed by the contractor in accordance with the specifications and standards of the state of Illinois, including the following:
1. Preparation of Soil Prior to Seeding
 1. Incorporate soil to a depth of 12 inches below the surface and to a depth of 12 inches below the surface. The soil should be incorporated into the soil in a manner that allows for a depth of 12 inches below the surface.
 2. All foreign materials larger than 1/2 inch shall be removed from the soil prior to seeding.
 3. Areas should be free from any vegetation, rocks, and debris.
 4. Avoid seeding on the specified areas of the site.
 2. Native Planting
 1. Prepare the soil to a depth of 12 inches below the surface and to a depth of 12 inches below the surface. The soil should be incorporated into the soil in a manner that allows for a depth of 12 inches below the surface.
 2. When seeding on the soil, the contractor shall use a broadcast spreader. The contractor shall use a broadcast spreader to apply the seed to the soil in a manner that allows for a depth of 12 inches below the surface.

- Native Planting Schedule**
- The contractor shall complete the following tasks in accordance with the specifications and standards of the state of Illinois, including the following:
1. Distribute the seed over the entire site in a uniform manner.
 2. Distribute the seed over the entire site in a uniform manner.
 3. Cover seed with 1/2 inch of soil to a depth of 12 inches below the surface.
 4. Roll the seed into the soil to a depth of 12 inches below the surface.
 5. Keep seed covered with a layer of soil to a depth of 12 inches below the surface.

- Native Planting Schedule**
- The contractor shall complete the following tasks in accordance with the specifications and standards of the state of Illinois, including the following:
1. Distribute the seed over the entire site in a uniform manner.
 2. Distribute the seed over the entire site in a uniform manner.
 3. Cover seed with 1/2 inch of soil to a depth of 12 inches below the surface.
 4. Roll the seed into the soil to a depth of 12 inches below the surface.
 5. Keep seed covered with a layer of soil to a depth of 12 inches below the surface.

- Native Planting Schedule**
- The contractor shall complete the following tasks in accordance with the specifications and standards of the state of Illinois, including the following:
1. Distribute the seed over the entire site in a uniform manner.
 2. Distribute the seed over the entire site in a uniform manner.
 3. Cover seed with 1/2 inch of soil to a depth of 12 inches below the surface.
 4. Roll the seed into the soil to a depth of 12 inches below the surface.
 5. Keep seed covered with a layer of soil to a depth of 12 inches below the surface.

PLANTING SCHEDULE

Task	Year 1 Quarter	Year 2 Quarter	Year 3 Quarter
1. Mowing: One-time mow in the first and second years once annually. Mowing should be completed in the spring and fall.	1 2 3 4	1 2 3 4	1 2 3 4
2. Herbicide Application: One-time application in the first and second years once annually. Herbicide application should be completed in the spring and fall.	1 2 3 4	1 2 3 4	1 2 3 4
3. Supplemental Seeding/Planting: One-time application in the first and second years once annually. Supplemental seeding/planting should be completed in the spring and fall.	1 2 3 4	1 2 3 4	1 2 3 4
4. Supplemental Woody Species Removal: One-time application in the first and second years once annually. Supplemental woody species removal should be completed in the spring and fall.	1 2 3 4	1 2 3 4	1 2 3 4

The contractor shall complete the following tasks in accordance with the specifications and standards of the state of Illinois, including the following:

Pinnacle Engineering Group
 1111 W. Lake Street, Suite 100, Chicago, IL 60606
 (773) 334-1111
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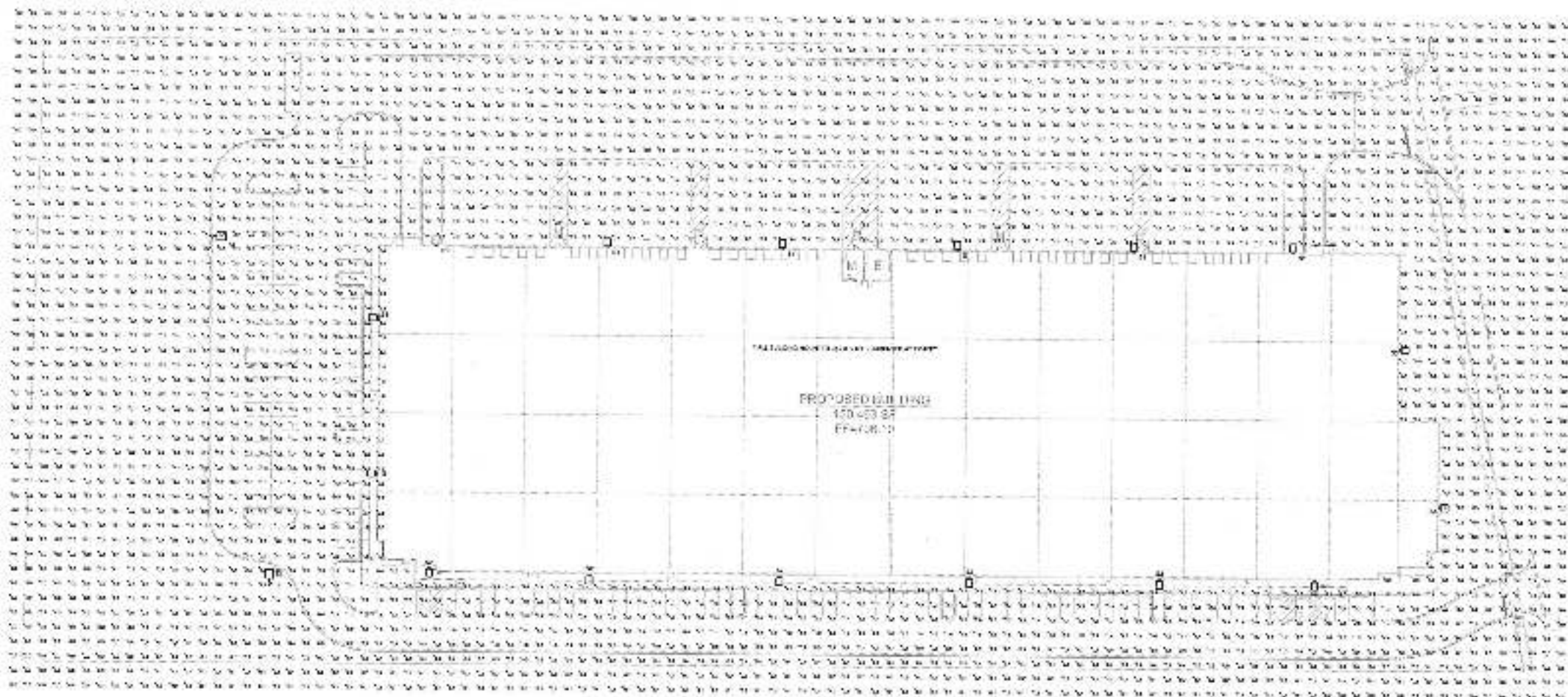
WOOD DALE INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/2023
2	ISSUED FOR PERMIT	08/15/2023
3	ISSUED FOR PERMIT	08/15/2023

PLANTING NOTES

SHEET
 L-4
 L-5

WOOD DALE INDUSTRIAL REDEVELOPMENT - PLANTING NOTES



① SITE PHOTOMETRIC PLAN
REV. 1-10-10

VILLAGE COMMENTS

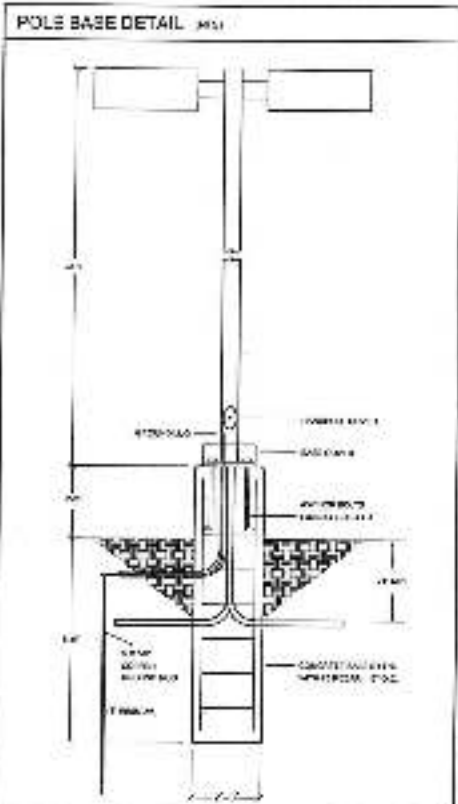
1. ALL LIGHTING POLES WILL BE 15' TALL WITH 2' SPACING BETWEEN POLES.
2. LIGHTING POLES WILL BE 15' TALL WITH 2' SPACING BETWEEN POLES.
3. LIGHTING POLES WILL BE 15' TALL WITH 2' SPACING BETWEEN POLES.

PHOTOMETRIC STATISTICS

FOOTCANDLES	7.00-10.00	10.00-15.00	15.00-20.00	20.00-25.00	25.00-30.00
PERCENTAGE	30%	35%	15%	10%	10%

LUMINAIRE SCHEDULES

POLE #	TYPE	DESCRIPTION	WATTAGE	FOOT CANDLE	FOOT
01	0	RECESSED POLE MOUNTED	150 WATT	15	15
02	0	RECESSED POLE MOUNTED	150 WATT	15	15
03	0	RECESSED POLE MOUNTED	150 WATT	15	15
04	0	RECESSED POLE MOUNTED	150 WATT	15	15
05	0	RECESSED POLE MOUNTED	150 WATT	15	15



40 S. ADDISON ROAD
ADDISON, IL 60101
630-543-9059
www.connellyelectric.com

James E. Connelly
Professional Engineer
04117418
Illinois State Board of Engineers

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	01/10/10
02	REVISED FOR COMMENTS	01/10/10
03	REVISED FOR COMMENTS	01/10/10

WOOD DALE
PHOTOMETRIC
CENTRAL AVE,
WOOD DALE

SITE
PHOTOMETRIC

PROJECT NO.	01-010
DATE	01/10/10
DRAWN BY	JLC
CHECKED BY	JLC

E100

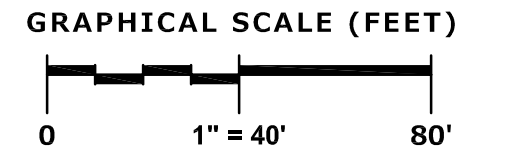
PLAT OF ANNEXATION

TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 AND 20, AND ALL OF WASHINGTON STREET LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF CENTRAL AVENUE, ALL IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NO. 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID WOOD DALE HIGHLAND GARDEN LOTS, RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 9.663 ACRES, MORE OR LESS.

Exhibit C



LEGEND OF LINES

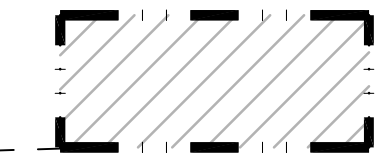
- SUBDIVISION BOUNDARY
- ADJACENT BOUNDARY
- UNDERLYING LOT LINE
- RIGHT-OF-WAY
- CENTER OF RIGHT-OF-WAY
- EXISTING CORPORATE LIMITS

180.00' MEASURED DIMENSION
180.0' RECORD DIMENSION

BEARINGS AND DISTANCES SHOWN HEREON REFERENCE THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST GRID, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) "GRID". ALL MEASURED AND CALCULATED DISTANCES ARE "GRID" NOT "GROUND". TO OBTAIN GROUND DISTANCES, DIVIDE GRID DISTANCES SHOWN BY THE COMBINATION FACTOR OF 0.9999952584.

AREAS SHOWN ON PLAT ARE GROUND.

NOTE: PARCEL IDENTIFICATION NUMBERS SHOWN ON THIS PLAT ARE AS OF 1/30/2019



AREA TO BE ANNEXED

CERTIFICATE OF THE COUNTY RECORDER
THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____ 20____ A.D. AT _____ O'CLOCK _____ M. AS DOCUMENT NUMBER _____

COUNTY RECORDER

THIS PLAT IS BEING SUBMITTED BY:

NAME: _____

ADDRESS: _____

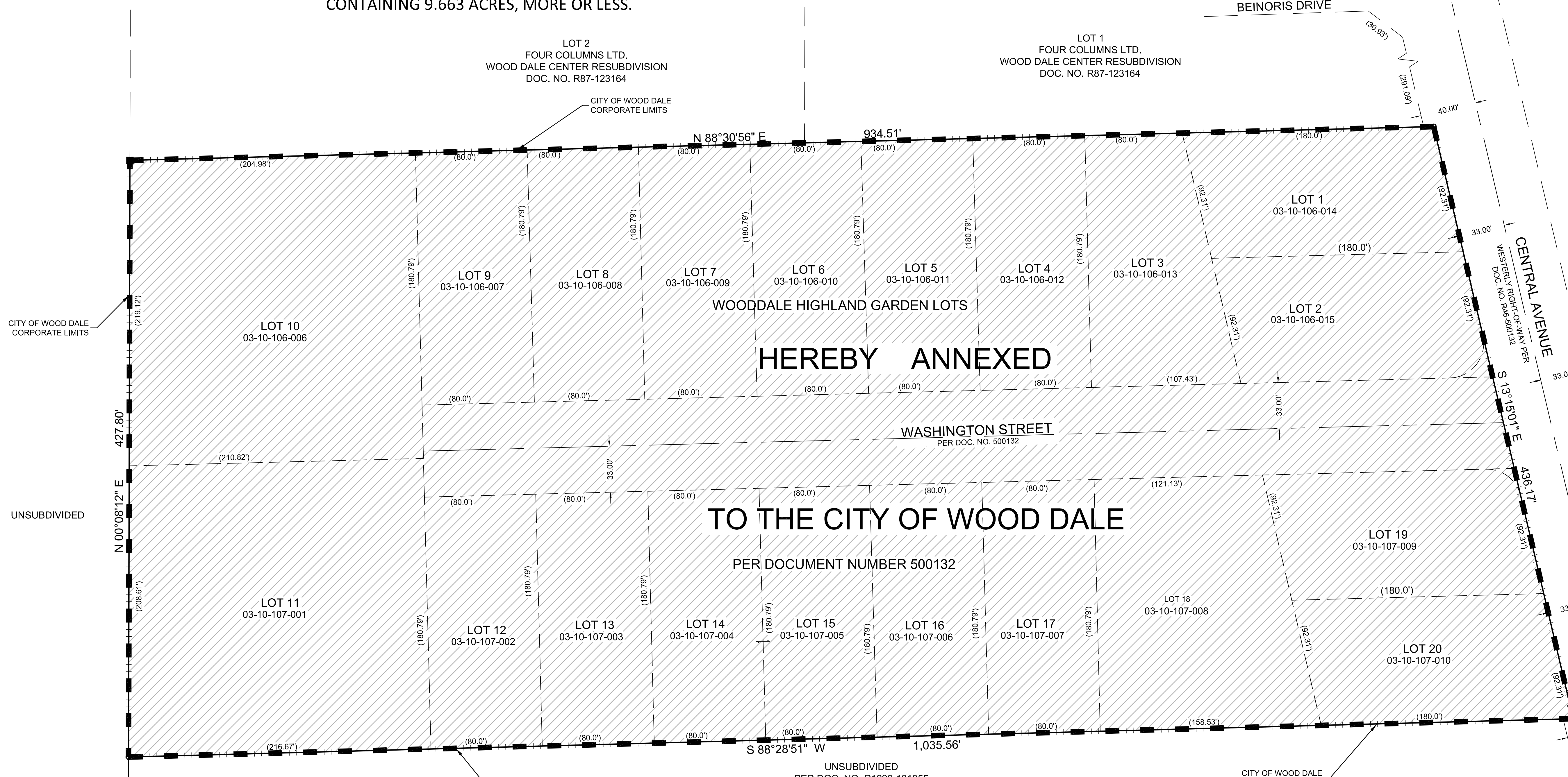
I, DONALD E. RERICKA, AN ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3465, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF ANNEXATION TO THE CITY OF WOOD DALE, ILLINOIS.

MARCH 12, 2019

Donald E. Rericka

DONALD RERICKA
PLS #035-003465

ALL LICENSES EXPIRE NOVEMBER 30, 2019



NOTARY CERTIFICATE
STATE OF ILLINOIS
) SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE AFORESAID STATE AND COUNTY DO HEREBY CERTIFY THAT _____, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S), WHOSE NAME(S) IS(ARE) SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THE ANNEXED PLAT AND ACCOMPANYING INSTRUMENTS FOR THE USES AND PURPOSES THEREIN SET FORTH AS HIS(THEIR) OWN FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20__.

NOTARY PUBLIC

- PARCEL ADDRESSES**
- 03-10-106-014: 6N606 CENTRAL AVENUE
 - 03-10-106-015: CENTRAL AVE (NO HOUSE NUMBER)
 - 03-10-106-013: 17W476 WASHINGTON STREET
 - 03-10-106-012: 17W486 WASHINGTON STREET
 - 03-10-106-011: 17W510 WASHINGTON STREET
 - 03-10-106-010: 17W520 WASHINGTON STREET
 - 03-10-106-009: 17W522 WASHINGTON STREET
 - 03-10-106-008: 17W540 WASHINGTON STREET
 - 03-10-106-007: 17W550 WASHINGTON STREET
 - 03-10-106-006: 17W570 WASHINGTON STREET
 - 03-10-107-001: WASHINGTON STREET (NO HOUSE NUMBER)
 - 03-10-107-002: 17W539 WASHINGTON STREET
 - 03-10-107-003: 17W537 WASHINGTON STREET
 - 03-10-107-004: 17W527 WASHINGTON STREET
 - 03-10-107-005: 17W527 WASHINGTON STREET
 - 03-10-107-006: 17W511 WASHINGTON STREET
 - 03-10-107-007: 17W489 WASHINGTON STREET
 - 03-10-107-008: 17W475 WASHINGTON STREET
 - 03-10-107-009: 6N562 CENTRAL AVENUE
 - 03-10-107-010: 6N550 CENTRAL AVENUE

OWNER CERTIFICATE

I, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C., HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND I HAVE CAUSED THE SAME TO BE SURVEYED AND ANNEXED AS SHOWN ON THE PLAT HEREON DRAWN.

NOTARIZED OWNER(S) SIGNATURE AND DATE

CITY COUNCIL CERTIFICATE

THE ANNEXED PROPERTY SHOWN ON THE ABOVE PLAT OF ANNEXATION IS IDENTIFIED AS THAT INCORPORATED AND MADE PART OF THE CITY OF WOOD DALE BY ORDINANCE NO. _____ ADOPTED BY THE COUNCIL OF SAID CITY ON THE _____ DAY OF _____ 20__.

MAYOR

CITY CLERK

DESIGNED: ST DRAFTED: ST REVIEWED: JPK THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

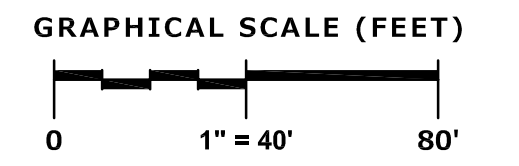
www.pinnacle-engr.com

<p>PINNACLE ENGINEERING GROUP ENGINEERING NATURAL RESOURCES SURVEYING</p>	<p>PLAN DESIGN DELIVER www.pinnacle-engr.com</p> <p>ILLINOIS OFFICE: 1051 E. MAIN STREET - SUITE 217 EAST DUNDEE, IL 60118 (847) 551-5300</p>	<p>WOODDALE HIGHLAND GARDEN LOTS WOOD DALE, IL</p>	<p>PLAT OF ANNEXATION</p>										
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>												<p>REG. JOB No. 14889.00 REG. PM. _____ DATE 11/30/2019 SCALE 1"=40' SHEET 1 of 1</p>	<p>SURVEY</p>

FINAL PLAT OF SUBDIVISION WASHINGTON STREET ADDITION TO WOOD DALE

BEING A SUBDIVISION OF THAT PART OF THE NORTH HALF OF SECTION 10-40-11, DUPAGE COUNTY, ILLINOIS.

Exhibit D



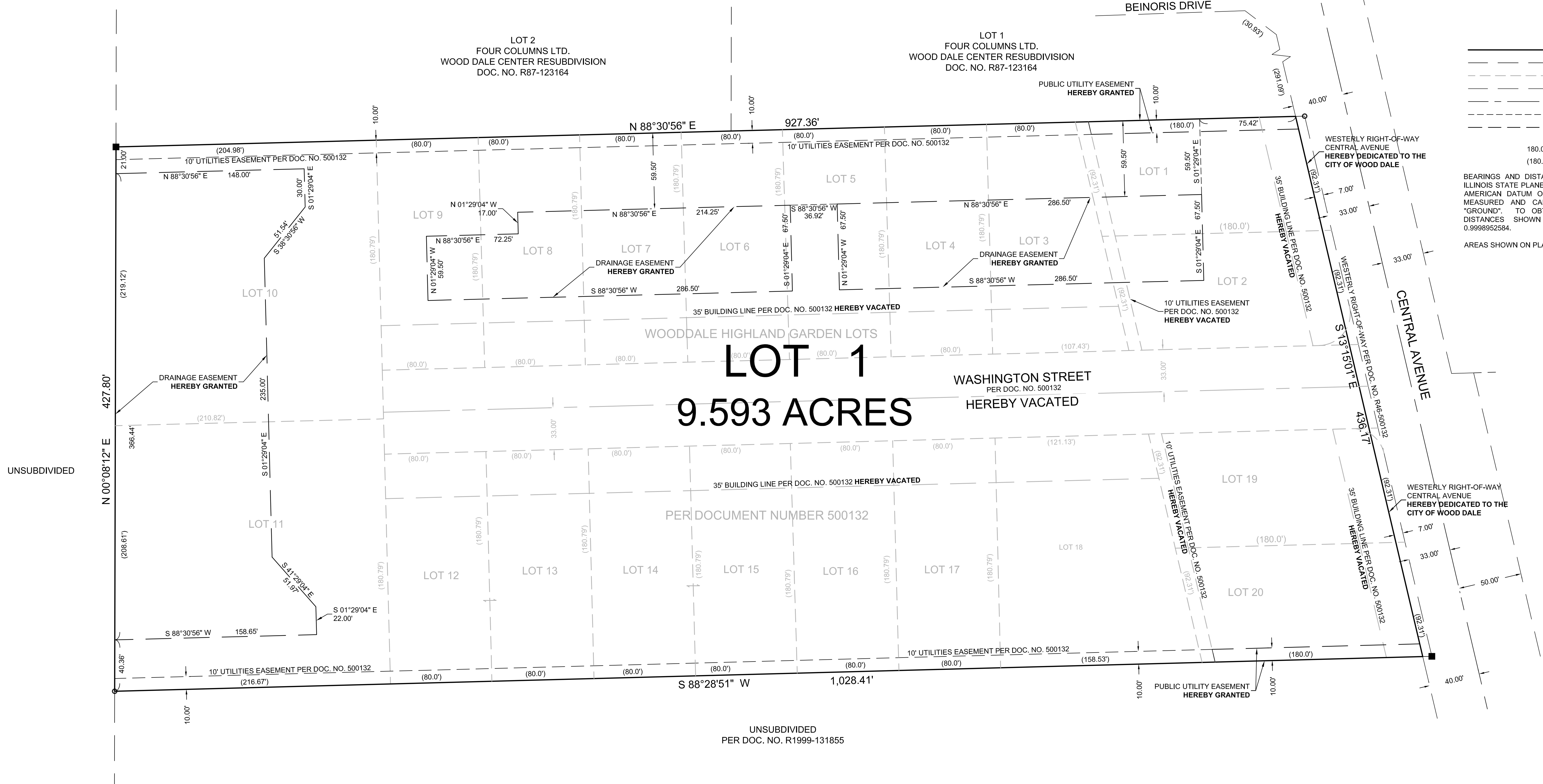
LEGEND OF LINES

- SUBDIVISION BOUNDARY
- ADJACENT BOUNDARY
- UNDERLYING LOT LINE
- RIGHT-OF-WAY
- CENTER OF RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE

180.00' MEASURED DIMENSION
(180.0') RECORD DIMENSION

BEARINGS AND DISTANCES SHOWN HEREON REFERENCE THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST GRID, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) "GRID". ALL MEASURED AND CALCULATED DISTANCES ARE "GRID" NOT "GROUND". TO OBTAIN GROUND DISTANCES, DIVIDE GRID DISTANCES SHOWN BY THE COMBINATION FACTOR OF 0.9998952584.

AREAS SHOWN ON PLAT ARE GROUND.



DESIGNED: ST DRAFTED: ST REVIEWED: PKP THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

ILLINOIS OFFICE:
1051 E. MAIN STREET - SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

WASHINGTON STREET ADDITION TO WOOD DALE WOOD DALE, IL

FINAL PLAT OF SUBDIVISION

REVISIONS	

REG. JOB NO. 14899.00	SHEET 1
DATE 1/10/2019	2
SCALE 1"=40'	

SURVEY

FINAL PLAT OF SUBDIVISION WASHINGTON STREET ADDITION TO WOOD DALE

BEING A SUBDIVISION OF THAT PART OF THE NORTH HALF OF SECTION 10-40-11, DUPAGE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE:

STATE OF _____)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C., A DELAWARE LIMITED LIABILITY COMPANY IS THE OWNER OF THE LAND DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN ON THE ANNEXED PLAT FOR THE USES AND PURPOSES THEREIN SET FORTH AS ALLOWED AND PROVIDED BY STATUTE, THE SUBDIVISION TO BE KNOWN AS "_____" CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS AND DOES HEREBY ACKNOWLEDGE AND ADOPT SAME UNDER THE AFORESAID STYLE AND TITLE.

DATED THIS ____ DAY OF _____, 20__.

BY: _____
OWNER

SCHOOL DISTRICT BOUNDARY STATEMENT

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, AND KNOWN AS CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF THE DISTRICT 7 ELEMENTARY SCHOOL DISTRICT AND THE DISTRICT 100 HIGH SCHOOL DISTRICT IN DUPAGE COUNTY, ILLINOIS.

DATED AT _____, ILLINOIS THIS ____ DAY OF _____, 20__.

By: _____
OWNER

NOTARY CERTIFICATE:

STATE OF _____)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR THE AFORESAID STATE AND COUNTY DO HEREBY CERTIFY THAT, _____ (OWNER) PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S), WHOSE NAME(S) IS(ARE) SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THE ANNEXED PLAT AND ACCOMPANYING INSTRUMENTS FOR THE USES AND PURPOSES THEREIN SET FORTH AS HIS(THEIR) OWN FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20__.

NOTARY PUBLIC

DUPAGE COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES OR SPECIAL ASSESSMENTS, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT.

GIVEN UNDER MY NAME AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS ____ DAY OF _____, 20__.

COUNTY CLERK

DUPAGE COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS INSTRUMENT NO. _____, WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE ____ DAY OF _____, 20__.

COUNTY RECORDER

COMMUNITY DEVELOPMENT COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

PLAT APPROVED BY THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF WOOD DALE THIS ____ DAY OF _____, 20__.

BY: _____
COMMUNITY DEVELOPMENT COMMISSION CHAIRMAN

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

PLAT APPROVED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE THIS ____ DAY OF _____, 20__.

BY: _____
MAYOR

ATTEST: _____

CITY CLERK

CITY TREASURER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, TREASURER FOR THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED ON THIS PLAT.

DATED THIS ____ DAY OF _____, 20__.

BY: _____
CITY TREASURER

DRAINAGE EASEMENTS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF WOOD DALE (HEREINAFTER "THE GRANTEE"), AND TO ITS SUCCESSORS AND ASSIGNS IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "DRAINAGE EASEMENT" ON THIS PLAT OF SUBDIVISION, OR WHERE OTHERWISE NOTED IN THE ABOVE LEGEND FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION FACILITIES, SUBSURFACE DRAINAGE SYSTEMS AND APPURTENANCES, AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATIONS, SUCH OTHER INSTALLATIONS AS THE GRANTEE MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK.

IN FURTHERANCE OF THE FOREGOING AFFIRMATIVE RIGHTS, THE FOLLOWING COVENANTS SHALL RUN WITH SAID LAND IN PERPETUITY:

- NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID DRAINAGE EASEMENTS;
- NO TREES OR SHRUBS SHALL BE PLACED ON SAID DRAINAGE EASEMENT AT A LOCATION WITH A GROUND ELEVATION BELOW THE HIGHWATER LEVEL OF THE STORMWATER MANAGEMENT FACILITY WITHOUT APPROVAL BY THE CITY ENGINEER, BUT THE PREMISES MAY BE USED FOR LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS;
- THERE SHALL BE NO DREDGED OR FILL MATERIAL PLACED UPON SAID DRAINAGE EASEMENT; AND
- FENCES SHALL NOT BE ERECTED UPON SAID DRAINAGE EASEMENTS IN ANY WAY WHICH WILL RESTRICT THE USES HEREIN GRANTED.

THE RIGHT IS ALSO HEREBY GRANTED TO THE GRANTEE TO REMOVE ANY BUILDINGS OR STRUCTURES, TO CUT DOWN, TRIM OR REMOVE ANY TREES, FENCES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SUCH DRAINAGE FACILITIES IN, ON, UPON, ACROSS, UNDER OR THROUGH SAID DRAINAGE EASEMENTS.

THE GRANTEE SHALL NOT BE RESPONSIBLE FOR REPLACEMENT OF ANY SUCH BUILDINGS, STRUCTURES, IMPROVEMENTS, FENCES, GARDENS, SHRUBS OR LANDSCAPING REMOVED DURING EXERCISE OF THE HEREIN GIVEN RIGHTS. REPLACEMENT OF ITEMS SO REMOVED SHALL BE THE RESPONSIBILITY OF THE THEN LOT OWNER.

WHERE DRAINAGE EASEMENTS ARE ALSO USED FOR ELECTRIC, TELEPHONE, CABLE TELEVISION, OR NATURAL GAS DISTRIBUTION SYSTEMS OR COMPONENTS, SUCH OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF THE CITY OF WOOD DALE SO AS NOT TO INTERFERE WITH THE MAINTENANCE OF GRAVITY FLOW AND STABILIZATION OF VEGETATION GROUND COVER ON THE ABOVE-MENTIONED DRAINAGE FACILITIES.

ANY AREA DISTURBED BY MAINTENANCE OR OTHER ACTIVITY SHALL BE RESTORED IN ACCORDANCE WITH ANY AND ALL WOOD DALE STORMWATER CERTIFICATIONS ISSUED FOR THIS SUBDIVISION. IN THE EVENT ANY OWNER OR SUBSEQUENT PURCHASER FAILS TO PROPERLY MAINTAIN THE WATER DETENTION AREA EASEMENTS, THE GRANTEE SHALL, UPON TEN (10) DAYS PRIOR WRITTEN NOTICE, RESERVE THE RIGHT TO PERFORM OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK WITHIN STORMWATER MANAGEMENT FACILITIES REASONABLY NECESSARY TO INSURE ADEQUATE STORMWATER STORAGE AND FREE FLOW OF STORMWATER THROUGH THE DRAINAGE EASEMENTS. IN THE EVENT THE GRANTEE SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK IN THE STORMWATER MANAGEMENT EASEMENT, THE COST TOGETHER WITH AN ADDITIONAL SUM OF TEN (10) PERCENT OF SAID COST SHALL UPON RECORDATION OF A NOTICE OF LIEN WITHIN NINETY (90) DAYS OF COMPLETION OF THE WORK CONSTITUTE A LIEN AGAINST ALL LOTS CREATED BY THIS PLAT WHICH MAY BE FORECLOSED BY ANY ACTION BROUGHT BY OR ON BEHALF OF THE GRANTEE.

PUBLIC UTILITY EASEMENTS

A PERPETUAL EASEMENT APPURTENANT IS HEREBY GRANTED TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, ITS SUCCESSORS AND ASSIGNS, OVER, UPON, ACROSS, THROUGH AND UNDER THOSE PORTIONS OF THE ABOVE DESCRIBED REAL ESTATE DESIGNATED PUBLIC UTILITY EASEMENT ON THIS PLAT FOR THE PURPOSE OF INSTALLING, LAYING, CONSTRUCTING, OPERATING, MAINTAINING, REPAIRING, RENEWING, AND REPLACING WATER MAINS, AND SANITARY SEWER LINES, STORM SEWER LINES, STREET LIGHT CABLE, AND ANY OTHER CITY UTILITIES, TOGETHER WITH ALL APPURTENANT STRUCTURES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, WET WELLS, LIFT STATIONS, FIRE HYDRANTS, VALVE VAULTS, AND ANY AND ALL OTHER FIXTURES AND EQUIPMENT REQUIRED FOR THE PURPOSE OF SERVING THE ABOVE DESCRIBED REAL ESTATE WITH WATER SERVICE, SANITARY SEWER SERVICE, STORM WATER COLLECTION, STREET LIGHTING, AND OTHER MUNICIPAL SERVICES AND FOR THE PURPOSE OF PROVIDING INGRESS AND EGRESS FROM THE PROPERTY SHOWN HEREON FOR EMERGENCY VEHICLES OF ANY AND ALL TYPES WHATSOEVER. IN NO EVENT SHALL ANY PERMANENT BUILDING BE PLACED UPON SAID EASEMENT AREAS, BUT THEY MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND SUCH OTHER PURPOSES THAT DO NOT, AND WILL NOT IN THE FUTURE, INTERFERE UNREASONABLY WITH EASEMENT RIGHTS HEREIN GRANTED TO THE CITY OF WOOD DALE.

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:

COMMONWEALTH EDISON COMPANY
AND

SBC - AMERITECH ILLINOIS A.K.A. ILLINOIS BELL TELEPHONE COMPANY, GRANTEES.

THEIR RESPECTIVE LICENSES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DESIGNATED EASEMENT AREA WITHOUT THE PRIOR WRITTEN CONSENT OF THE GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, IT SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT, SAID EASEMENT TO BE FOR THE INSTALLATIONS, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING ALL AREAS SHOWN ON THIS PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO. NO BUILDINGS OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS OR OTHER PUBLIC WAYS OR PLACES, NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY.

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT I, DONALD E RERICKA, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED, SUBDIVIDED AND PLATTED FOR THE OWNERS THEREOF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 AND 20, AND ALL OF WASHINGTON STREET LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF CENTRAL AVENUE, ALL IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISORS ASSESSMENT PLAT NO. 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID WOOD DALE HIGHLAND GARDEN LOTS, RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 9.593 ACRES, MORE OR LESS.

I FURTHER CERTIFY THAT IRON STAKES HAVE BEEN SET AT ALL LOT CORNERS, POINTS OF CURVATURE AND TANGENCY, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED, AND THAT THE PLAT HEREON DRAWN CORRECTLY REPRESENTS SAID SURVEY AND SUBDIVISION. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT THE FOREGOING PROPERTY FALLS WITHIN THE CORPORATE LIMITS OF THE CITY OF WOOD DALE, AND I FURTHER CERTIFY THAT NO PART OF SAID PROPERTY IS SITUATED WITHIN A FLOOD HAZARD AREA, AS PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 17043C0302H, EFFECTIVE DATE DECEMBER 16, 2004.

DATED AT EAST DUNDEE, ILLINOIS, THIS 18th DAY OF MARCH, 2019.

DONALD E RERICKA, 035-003465, PINNACLE ENGINEERING GROUP, LLC
ALL LICENSES EXPIRE NOVEMBER 30, 2020

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

REVIEWED: JPK

DESIGNED: _____

DRAWN: ST

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com
PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

ILLINOIS OFFICE:
1051 E. MAIN STREET - SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

CHICAGO | MILWAUKEE | NATIONWIDE

WASHINGTON STREET ADDITION TO WOOD DALE WOOD DALE, IL

FINAL PLAT OF SUBDIVISION

REVISIONS

NO.	DESCRIPTION	DATE

PEG JOB No. 14892.00
PEG PIN _____
DATE 1/10/2019
SCALE _____

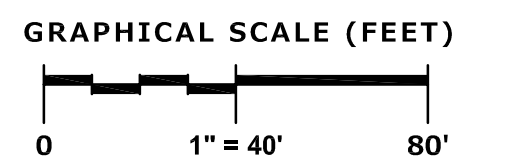
SHEET
2
OF
2

© COPYRIGHT 2018
SURVEY

www.pinnacle-engr.com

ALTA/NSPS LAND TITLE SURVEY

Exhibit E

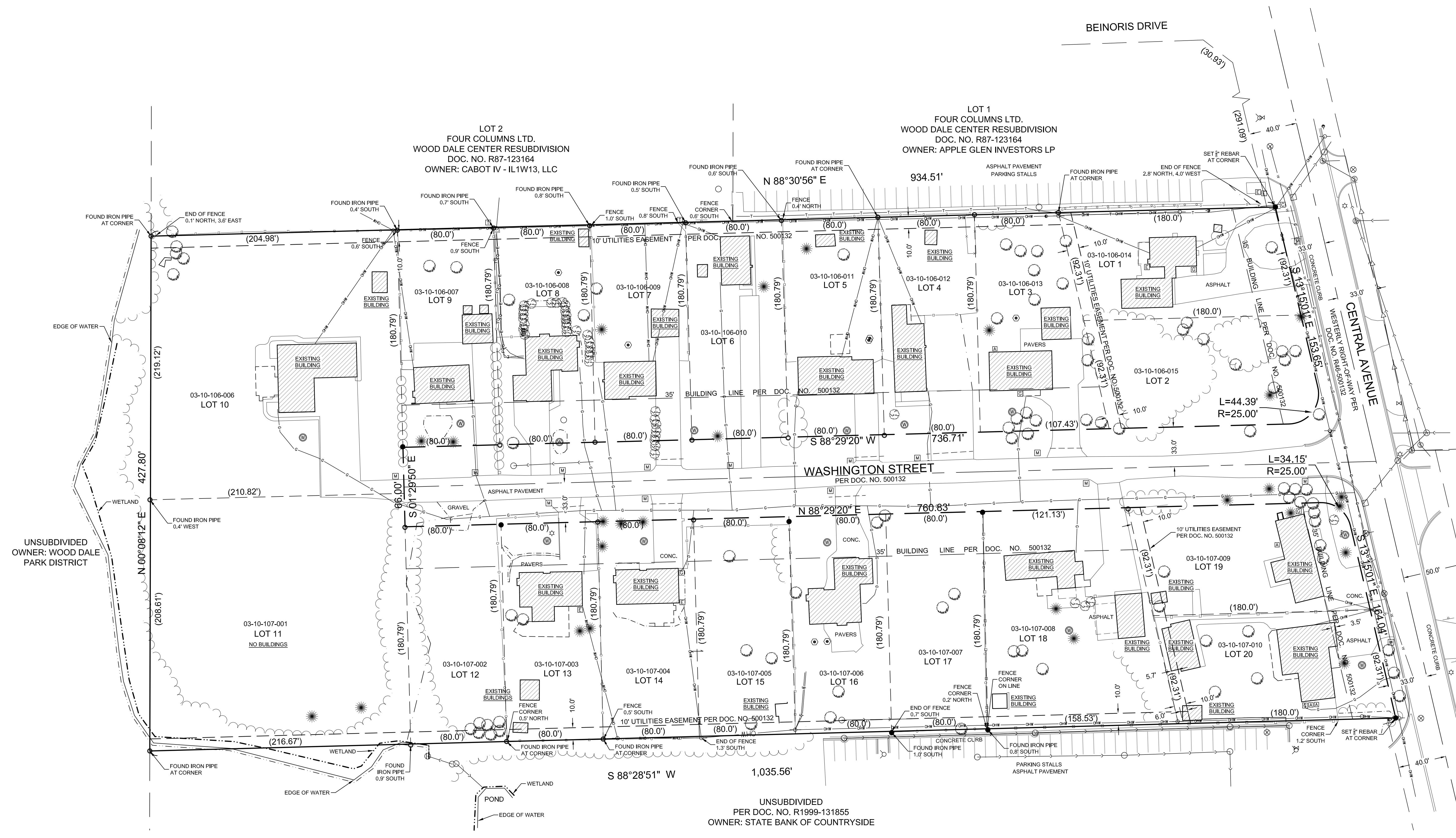


LEGEND OF LINES

- SUBDIVISION BOUNDARY
- ADJACENT BOUNDARY
- INTERIOR LOT LINE
- RIGHT-OF-WAY
- CENTER OF RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING SETBACK LINE
- CHAIN LINK FENCE
- WOOD FENCE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- FO FIBER OPTIC LINE
- T TELEPHONE LINE
- E ELECTRIC LINE
- OHW OVERHEAD WIRES
- CATV CABLE TELEVISION
- G GAS MAIN
- DELIMITED WETLANDS
- EXISTING WATER LINE
- TREE LINE

LEGEND OF SYMBOLS

- ⊕ SANITARY MANHOLE
- ⊕ SEPTIC SYSTEM
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN
- ⊕ WELL
- ⊕ WATER MANHOLE
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ SIGN
- ⊕ MAIL BOX
- ⊕ FLAG POLE
- ⊕ CONIFER TREE
- ⊕ DECIDUOUS TREE
- ⊕ BUSH
- ⊕ IRON PIPE
- ⊕ IRON REBAR/ROD
- ⊕ RECORD DIMENSION
- ⊕ MEASURED DIMENSION



PARCEL ADDRESSES

03-10-106-014: 6N606 CENTRAL AVENUE	03-10-107-001: WASHINGTON STREET (NO HOUSE NUMBER)
03-10-106-015: CENTRAL AVE (NO HOUSE NUMBER)	03-10-107-002: 17W539 WASHINGTON STREET
03-10-106-013: 17W476 WASHINGTON STREET	03-10-107-003: 17W537 WASHINGTON STREET
03-10-106-012: 17W486 WASHINGTON STREET	03-10-107-004: 17W527 WASHINGTON STREET
03-10-106-011: 17W510 WASHINGTON STREET	03-10-107-005: 17W527 WASHINGTON STREET
03-10-106-010: 17W520 WASHINGTON STREET	03-10-107-006: 17W511 WASHINGTON STREET
03-10-106-009: 17W522 WASHINGTON STREET	03-10-107-007: 17W489 WASHINGTON STREET
03-10-106-008: 17W540 WASHINGTON STREET	03-10-107-008: 17W475 WASHINGTON STREET
03-10-106-007: 17W550 WASHINGTON STREET	03-10-107-009: 6N562 CENTRAL AVENUE
03-10-106-006: 17W570 WASHINGTON STREET	03-10-107-010: 6N550 CENTRAL AVENUE

REVIEWED: JPK
 DRAFTED: ST
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 EAST DUNDEE, IL 60118
 (847) 551-5300
 CHICAGO | MILWAUKEE | NATIONWIDE

LOTS 1 - 20, WOODDALE HIGHLAND GARDEN LOTS WOOD DALE, IL

ALTA/NSPS LAND TITLE SURVEY

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO. 1489.00
 REG. PM. _____
 DATE 12/31/2018
 SCALE 1"=40'
SHEET 1 OF 2
 SURVEY

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION

6N606 CENTRAL AVENUE, 03-10-106-014-0000:

LOT 1 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH HALF OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132 IN DUPAGE COUNTY, ILLINOIS.

LOT 2 NEAR 6N606 CENTRAL AVENUE, 03-10-106-015-0000:

LOT 2 IN WOODDALE HIGHLAND GARDEN LOTS IN THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W476 WASHINGTON STREET, 03-10-106-013-0000:

LOT 3 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W486 WASHINGTON STREET, 03-10-106-012-0000:

LOT 4 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W510 WASHINGTON STREET, 03-10-106-011-0000:

LOT 5 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W520 WASHINGTON STREET, 03-10-106-010-0000:

LOT 6 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH HALF OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W522 WASHINGTON STREET, 03-10-106-009-0000:

LOT 7 IN WOOD DALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WOOD DALE HIGHLAND GARDEN LOTS RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W540 WASHINGTON STREET, 03-10-106-008-0000:

LOT 8 IN WOODDALE HIGHLAND GARDEN LOTS IN THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W550 WASHINGTON STREET, 03-10-106-007-0000:

LOT 9 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9, BEING A PART OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WOODDALE HIGHLAND GARDEN LOTS RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W570 WASHINGTON STREET, 03-10-106-006-0000:

LOT 10 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT NUMBER 500132, IN DUPAGE COUNTY, ILLINOIS.

LOT 11 WASHINGTON STREET, 03-10-107-001-0000:

LOT 11 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9, BEING A PART OF THE NORTH HALF OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WOODDALE HIGHLAND GARDEN LOTS RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W539 WASHINGTON STREET, 03-10-107-002-0000:

LOT 12 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W537 WASHINGTON STREET, 03-10-107-003-0000:

LOT 13 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W527 WASHINGTON STREET, 03-10-107-004-0000 & 03-10-107-005-0000:

LOTS 14 AND 15 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID WOODDALE HIGHLAND GARDEN LOTS, RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W511 WASHINGTON STREET, 03-10-107-006-0000:

LOT 16 IN WOOD DALE HIGHLAND GARDEN SUBDIVISION, SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9 IN THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

17W489 WASHINGTON STREET, 03-10-107-007-0000:

LOT 17 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

17W475 WASHINGTON STREET, 03-10-107-008-0000:

LOT 18 IN WOOD DALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WOOD DALE HIGHLAND GARDEN LOT. RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

6N562 CENTRAL AVENUE, 03-10-107-009-0000:

LOT 19 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WOODDALE HIGHLAND GARDEN LOTS RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

6N550 CENTRAL AVENUE, 03-10-107-010-0000:

LOT 20 IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NUMBER 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WOODDALE HIGHLAND GARDEN LOTS, RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

GENERAL NOTES

- FIELD WORK COMPLETED ON NOVEMBER 28, 2018.
- FLOOD ZONE CLASSIFICATION: ALL PARCELS LIE WITH IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 17043C0302H DATED DECEMBER 16, 2004. SUBJECT PARCELS ARE LOCATED WITHIN A T.I.F. DISTRICT IN UNINCORPORATED WOOD DALE, ACCORDING TO THE "2018 OFFICIAL ZONING MAP, WOOD DALE, ILLINOIS," DATED FEBRUARY 1, 2018.
- UNDERGROUND UTILITY LOCATIONS SHOWN ARE BASED ON FIELD LOCATION OF ABOVE GROUND FEATURES. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED BASED ON A REASONABLE VISUAL OBSERVATION AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. PINNACLE ENGINEERING GROUP, LLC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT GUARANTEE THE LOCATION OF UTILITIES SHOWN. CONTACT JULIE PRIOR TO THE START OF ANY ACTIVITY. UNDERGROUND UTILITIES SHOWN ON PLAT ARE BASED UPON MARKINGS PROVIDED BY: G4S TECHNOLOGY LLC; COMED; DUPAGE WATER COMMISSION; MCI; USIC LOCATING SERVICES; AT&T/DISTRIBUTION; COMCAST; LEVEL 3 COMMUNICATIONS; NICOR GAS; THE CITY OF WOOD DALE, ALL BEING MEMBER COMPANIES IN J.U.L.I.E., PER DIG NUMBERS: A3160373; A3160379; A3160385; A3160395; A3160407; A3160443; A3160456; A3160478; A3160493; A3160501; A3160516; A3160520; A3160535; A3160541; A3160572; A3160588; A3160600; A3160609; A3160695.
- ALL DIMENSIONS ARE MEASURED DIMENSIONS. RECORD DIMENSIONS ARE SHOWN PARENTHETICALLY. THE BOUNDARIES OF THE PARCELS AS DEPICTED FORM A MATHEMATICALLY CLOSED FIGURE.
- NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA OR ERRORS IN BOUNDARY LINES EXIST.
- BEARINGS AND DISTANCES SHOWN HEREON REFERENCE THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST GRID, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) "GRID". ALL MEASURED AND CALCULATED DISTANCES ARE "GRID" NOT "GROUND". TO OBTAIN GROUND DISTANCES, DIVIDE GRID DISTANCES SHOWN BY THE COMBINATION FACTOR OF 0.9998952584.
- THE TOTAL GROSS LAND AREA OF ALL PARCELS, INCLUDING WASHINGTON STREET, IS 9.663, MORE OR LESS.
- SURVEYOR OBSERVED ENCROACHMENTS OF BUILDINGS ONTO THE 10' UTILITIES EASEMENTS AT THE REARS OF LOTS 8, 13, 19 & 20. ALSO, FENCES ALONG THE NORTH AND SOUTH LINES OF THE SUBDIVISION AT SOME POINTS CROSS THE BOUNDARY LINES, AND MAY BE ENCROACHING, DEPENDENT UPON OWNERSHIP OF SUBJECT FENCES. SEE SURVEY FOR EXACT LOCATIONS.
- WETLAND LIMITS DEPICTED ON PLAT ARE BASED UPON LOCATION OF WETLAND DELINEATION FLAGS PLACED BY APPLIED ECOLOGICAL SERVICES, INC.

NOTES ON SCHEDULE B, PART II, EXCEPTIONS

THE FOLLOWING CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENTS FOR TITLE INSURANCE, ORDER NUMBERS: 18016579NC; 18016581NC; 18016583NC; 18016584NC; 18016585NC; 18016586NC; 18016588NC; 18016589NC; 18016593NC; 18016595NC; 18016597NC; 18016598NC; 18016599NC; 18016600NC; 18016604NC. ALL DATED OCTOBER 9, 2018, AND: 18016605NC; 18016606NC; 18016607NC. ALL DATED OCTOBER 11, 2018 WERE USED IN PREPARATION OF THIS SURVEY.

- SCHEDULE B, PART II, ITEM A OF COMMITMENT 18016598NC; ITEM B OF COMMITMENTS 18016585NC, 18016600NC, 18016606NC; ITEM C OF COMMITMENTS 18016579NC, 18016588NC, 18016591NC, 18016595NC, 18016597NC, 18016599NC; ITEM D OF COMMITMENTS 18016583NC, 18016584NC, 18016586NC, 18016593NC, 18016604NC, 18016607NC; AND ITEM E OF COMMITMENTS 18016581NC & 18016605NC ALL REFER TO A 10 FOOT UTILITY EASEMENT ON THE REAR OF THE LAND AS SHOWN ON THE PLAT OF WOODDALE HIGHLAND GARDEN LOTS. AS SHOWN ON SURVEY.
- SCHEDULE B, PART II, ITEM A OF COMMITMENTS 18016585NC, 18016586NC, 18016600NC, 18016606NC; ITEM B OF COMMITMENTS 18016579NC, 18016581NC, 18016588NC, 18016591NC, 18016595NC, 18016597NC, 18016599NC, 18016604NC, 18016605NC; ITEM C OF COMMITMENTS 18016583NC, 18016584NC, 18016593NC, 18016607NC; AND ITEM D OF COMMITMENT 18016598NC. ALL REFER TO A 35 FOOT BUILDING LINE AS SHOWN ON THE PLAT OF WOODDALE HIGHLAND GARDEN LOTS. AS SHOWN ON SURVEY.
- SCHEDULE B, PART II, ITEM F OF COMMITMENT 18016591NC REFERS TO DRAINAGE/SANITARY SEWER/PUBLIC UTILITY EASEMENT ENCROACHMENT FORM FOR A PERMIT OF INSTALLATION OF A 6 INCH CEDAR AND VINYL STRUCTURE OVER A DRAINAGE, SANITARY SEWER, OR PUBLIC UTILITY EASEMENT RECORDED JUNE 21, 2012 AS DOCUMENT R2012-079406. REFERS TO LOT 8, ALL ENCROACHMENTS ONTO 10' UTILITY EASEMENT AT REAR OF LOT AS SHOWN ON SURVEY.
- SCHEDULE B, PART II, ITEM G OF COMMITMENT 18016593NC REFERS TO DRAINAGE/SANITARY SEWER/PUBLIC UTILITY EASEMENT ENCROACHMENT FORM FOR A PERMIT OF INSTALLATION OF A FENCE OVER A DRAINAGE, SANITARY SEWER, OR PUBLIC UTILITY EASEMENT RECORDED JUNE 14, 2011 AS DOCUMENT 2011-070795. REFERS TO LOT 7, FENCE ENCROACHMENT ONTO 10' UTILITY EASEMENT AT REAR OF LOT AS SHOWN ON SURVEY.
- SCHEDULE B, PART II, ITEM C OF COMMITMENT 18016604NC REFERS TO VIOLATION OF THE AFORESAID 35 FOOT BUILDING LINE BY THE IMPROVEMENT LOCATED ON THE LAND BY 4 FEET, MORE OR LESS, AS DISCLOSED BY SURVEY MADE BY GREATER ILLINOIS SURVEY COMPANY DATED 6/26/09. REFERS TO LOT 20, ENCROACHMENT OF RESIDENCE OVER BUILDING LINE AS SHOWN ON SURVEY.
- SCHEDULE B, PART II, ITEM G OF COMMITMENT 18016604NC REFERS TO ENCROACHMENT OF ONE STORY FRAME BUILDING AND FRAME SHED, OVER AND ONTO THE AFORESAID 10 FOOT EASEMENT A DISTANCE OF 6 FEET, MORE OR LESS, AS DISCLOSED BY SURVEY MADE BY GREATER ILLINOIS SURVEY COMPANY DATED 6/26/09. REFERS TO LOT 20, ENCROACHMENT OF SAID BUILDING AND SHED OVER EASEMENT LINE AS SHOWN ON SURVEY.

TO: TRANSWESTERN DEVELOPMENT COMPANY; CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C.; RIDGE WASH WD, LLC; CHICAGO TITLE AND TRUST COMPANY; CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 11, 13, 14, 16, 17 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 28, 2018.

DATED THIS 26TH DAY OF FEBRUARY, 2019



DONALD RERICKA
035-003465. ALL LICENSES EXPIRE 11/30/2020.



REVISIONS

NO.	DATE	DESCRIPTION

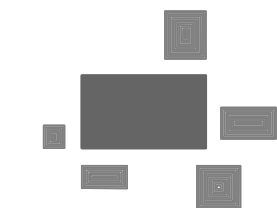
REG. JOB NO. 14892.00
REG. PM.
DATE 12/21/2018
SCALE

SHEET
2
OF
2

© COPYRIGHT 2018
SURVEY

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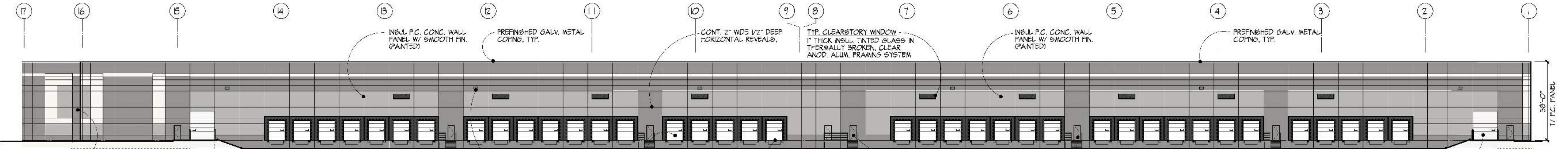

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 (847) 551-5300

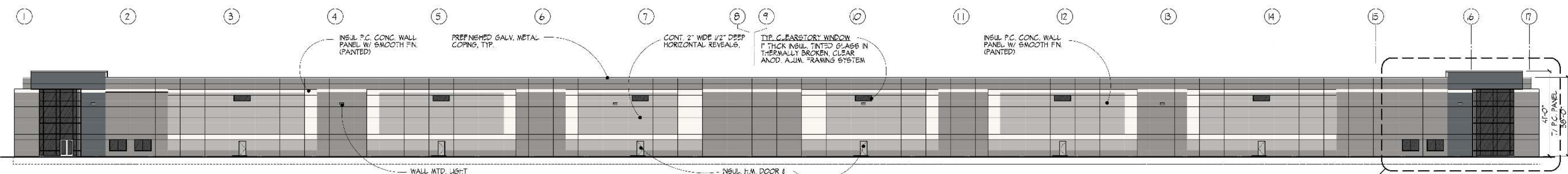
CHICAGO | MILWAUKEE | NATIONWIDE

LOTS 1 - 20, WOODDALE HIGHLAND GARDEN LOTS WOOD DALE, IL

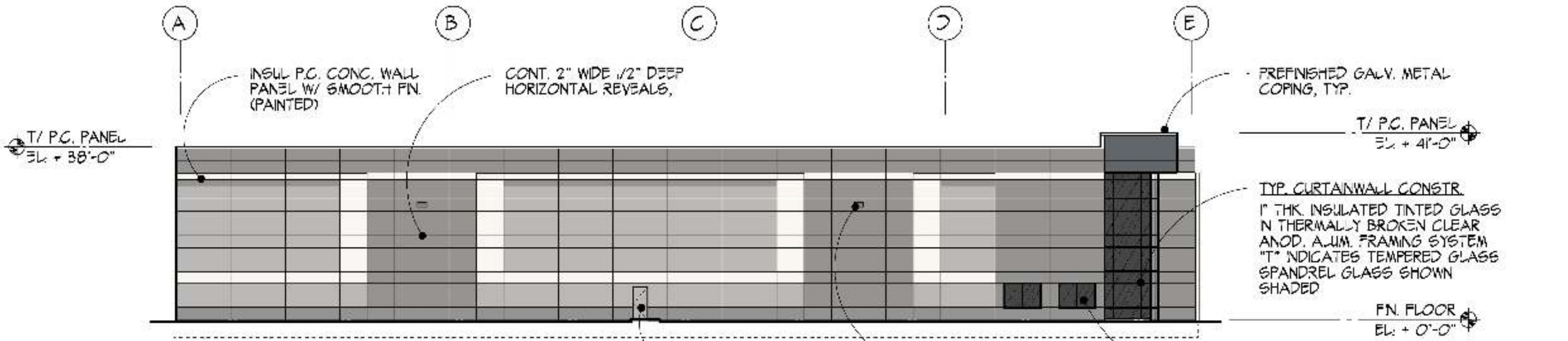
ALTA/NSPS LAND TITLE SURVEY



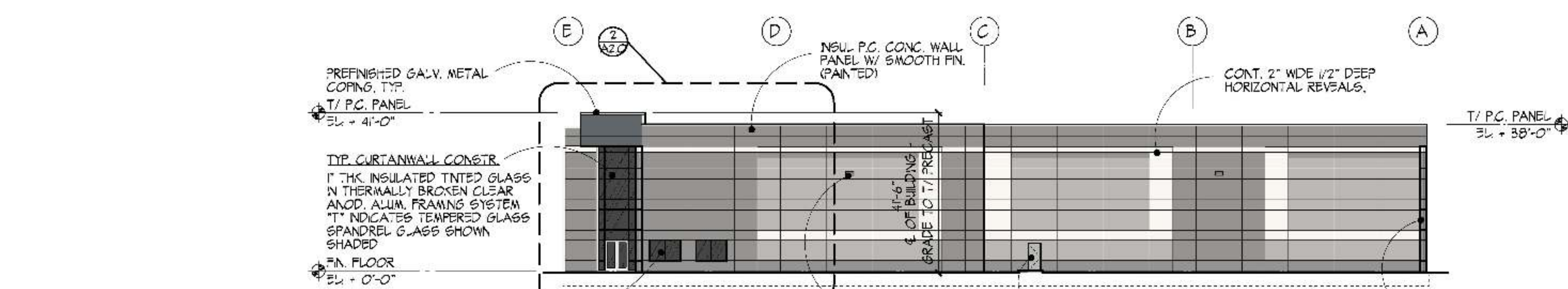
NORTH ELEVATION
SCALE: 1" = 20'-0"



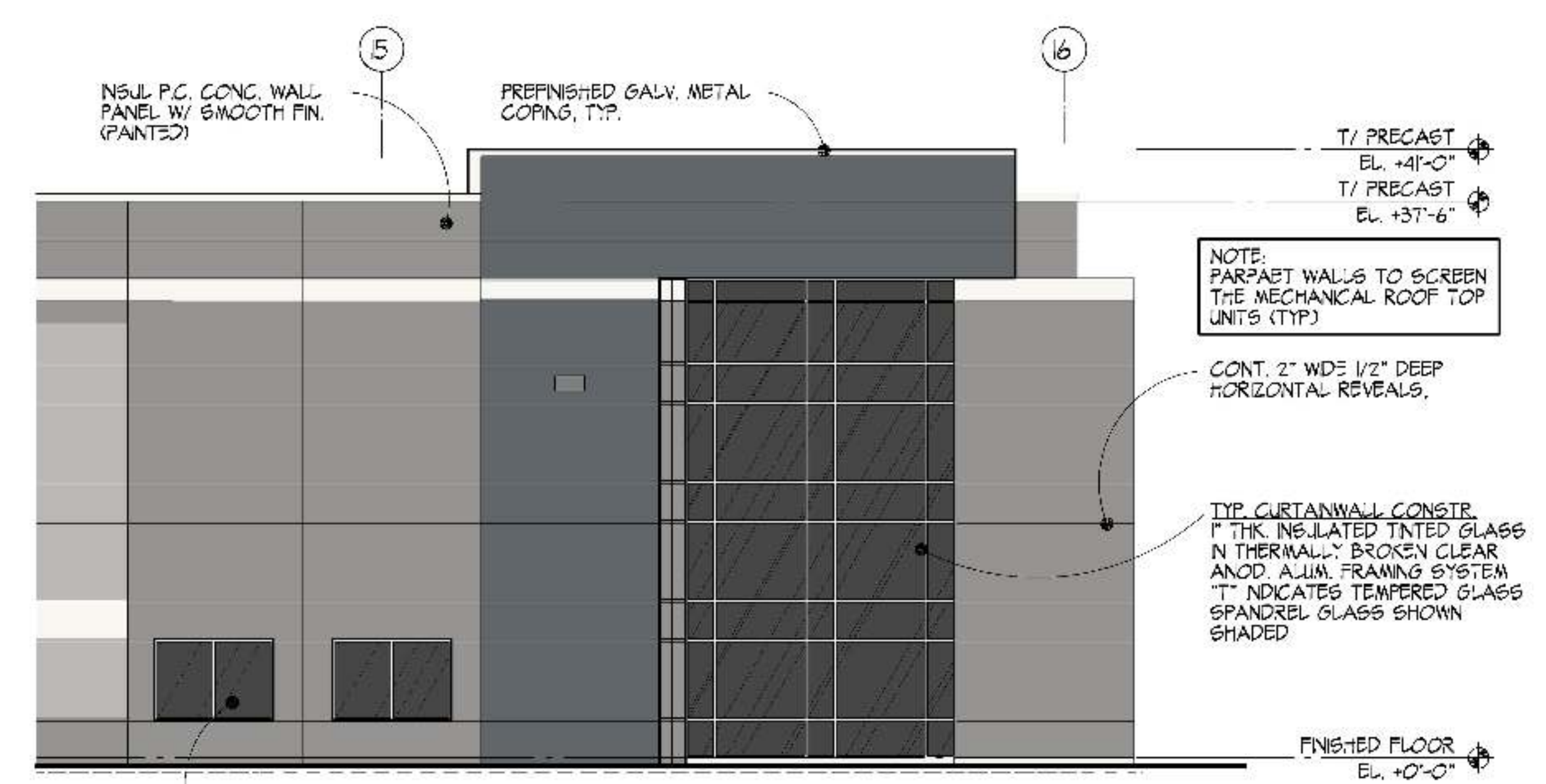
SOUTH ELEVATION
SCALE: 1" = 20'-0"



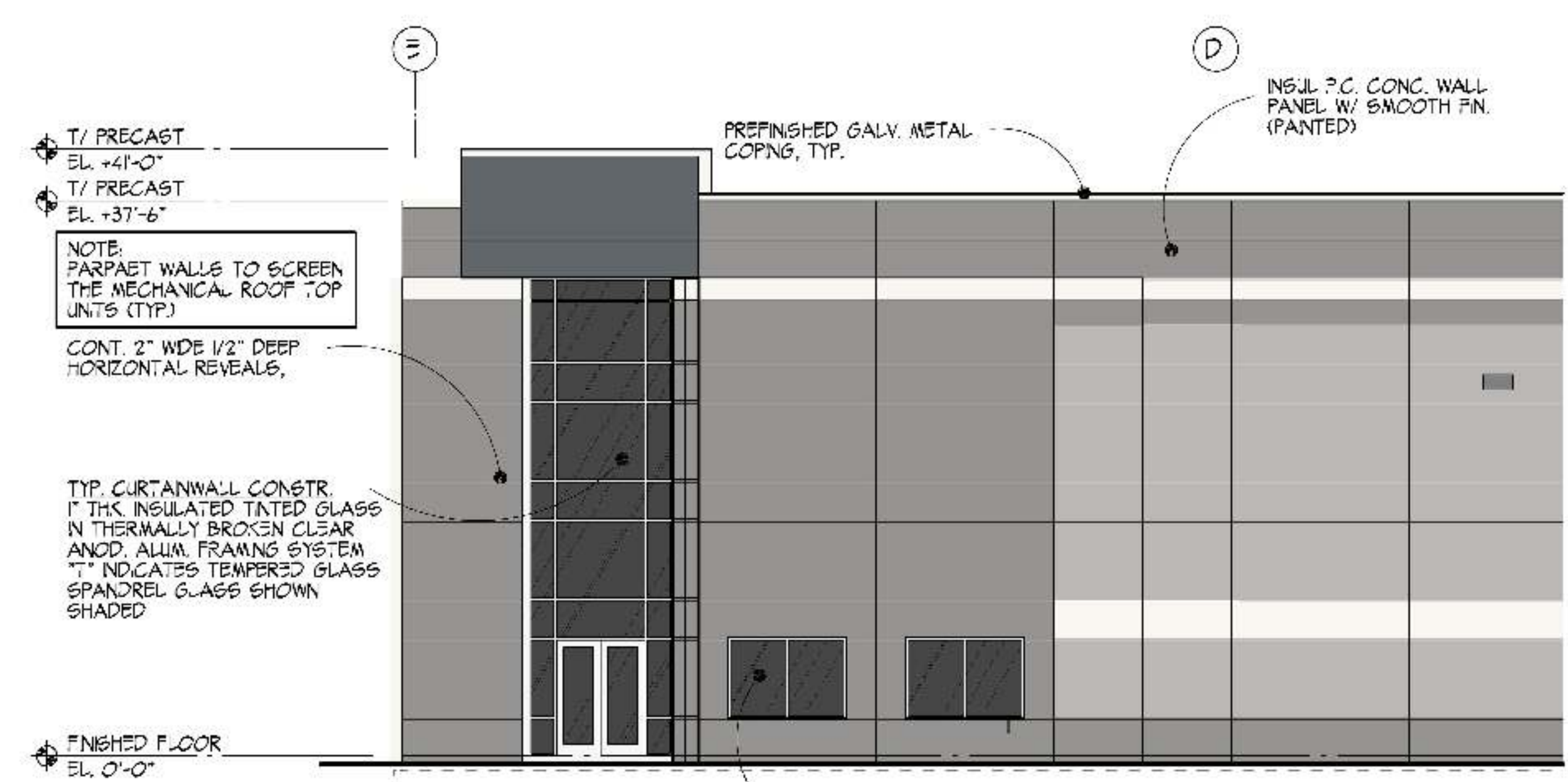
WEST ELEVATION
SCALE: 1" = 20'-0"



EAST ELEVATION
SCALE: 1" = 20'-0"



ENLARGED ENTRY ELEVATION
SCALE: 1/16" = 1'-0"



ENLARGED ENTRY ELEVATION
SCALE: 1/16" = 1'-0"

COLOR LEGEND

EXTERIOR PRECAST TO BE COLORED WITH LEXON VERTICAL CONCRETE STAR BY SHERWIN WILLIAMS. G.C. TO MATCH SHERWIN WILLIAMS COLORS SELECTED BELOW

[Light Gray Box]	HIGH REFLECTIVE WHITE - SW 7757 SHERWIN WILLIAMS
[Medium Gray Box]	MARCH WIND - SW 7668 SHERWIN WILLIAMS
[Dark Gray Box]	SUNNY GRAY - SW 7669 SHERWIN WILLIAMS
[Very Dark Gray Box]	WEB GRAY - SW 7075 SHERWIN WILLIAMS

*ASCIA 1 GRAVEL STOP FAC-CLAD GRANITE

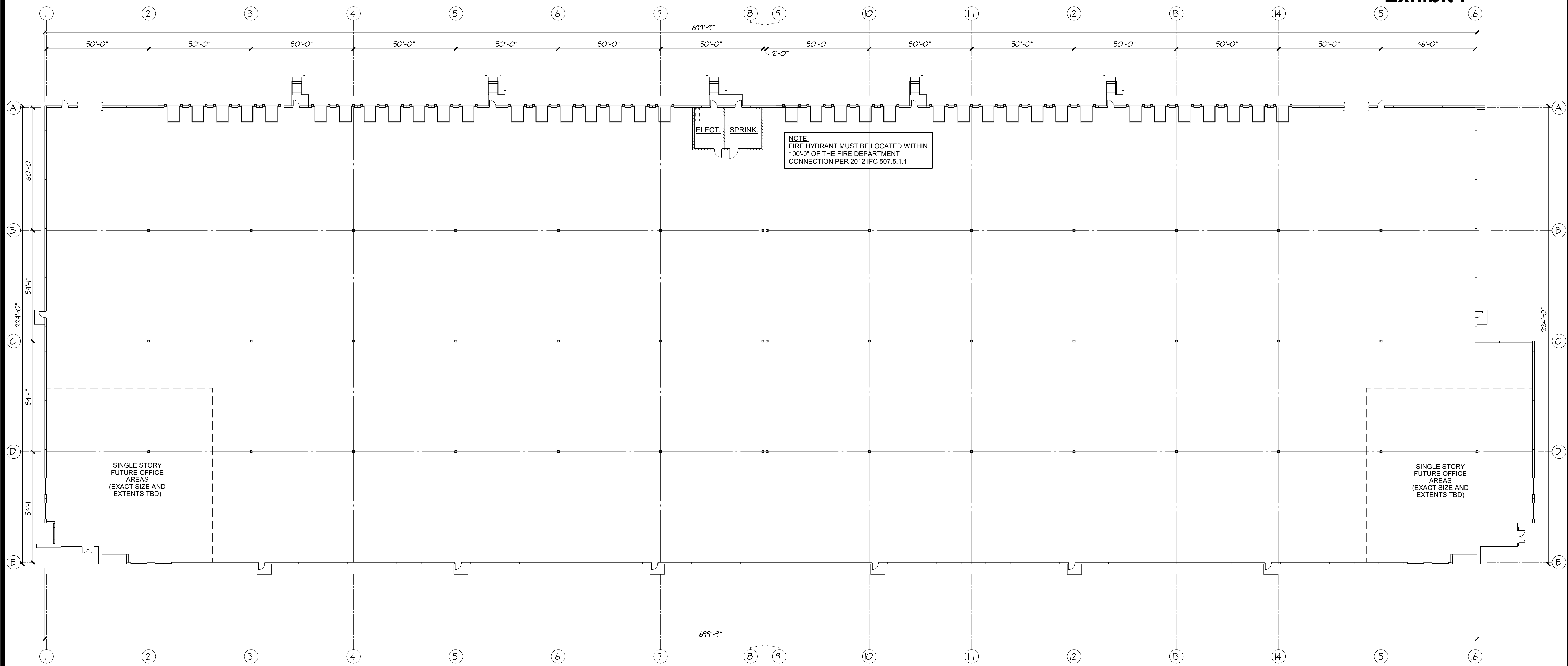
CURTAINWALL SYSTEM
FRAMES - CLEAR ANODIZED ALUMINUM
INSUL. GLASS - GRST TINTED

PUNCHED/CLEARSTORY WINDOWS
FRAMES - CLEAR ANODIZED ALUMINUM
INSUL. GLASS - GRST TINTED

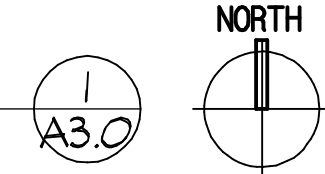
INSUL. MTL. DOORS/FRAMES
FRAME - PAINTED TO MATCH PRECAST DOOR - PAINTED TO MATCH PRECAST

OVERHEAD DOORS
DRIVE-IN DOORS - PREFINISHED WHITE
DOCK DOORS - PREFINISHED WHITE

*PE BOLLARDS
SAFETY YELLOW



OVERALL BUILDING FLOOR PLAN
 SCALE: 1" = 20'-0"





April 19, 2019

Ms. Kelley Chrissie
Assistant Community Development Director
City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191

Re: Redevelopment of Washington Street and Central Avenue

Dear Ms. Chrissie:

CH Realty VIII/I Chicago Washington St., L.L.C. ("Owner") has acquired the twenty (20) parcels located at Washington Street and Central Avenue, which is commonly known as Lots 1-20 of the Wood Dale Highland Garden Lots in Unincorporated DuPage County ("Property"). In its capacity as development manager for the Owner, Ridge Development Company, L.L.C. (a subsidiary of Transwestern Development Company) is proposing the voluntary annexation, rezone and subdivision of the 9.6-acre Property for a transformative light industrial redevelopment ("Project") in the City of Wood Dale ("City"). The Project will create positive economic impacts for the City and will generate new funds that will directly support funding for local schools, fire safety, roads, parks and other critical services that allow the City to attract and retain residents. Moreover, the creation of local employment opportunities through a successful Project will further strengthen the City's ability to support additional commercial and retail amenities for the community.

Located at the intersection of Washington Street and Central Avenue, the Project is consistent with the City's future land use plan and will serve as a natural addition to the local industrial base. With a focus on attractive building design, modern amenities and extensive landscaping, the Project will further strengthen the City's reputation as a premier location for high-image industrial users. Further, the Project will attract a broad range of high-quality corporate tenants, along with the jobs and tax revenues that accompany them.

We're confident that the Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan, including creating opportunities for economic development, expanding job opportunities in the community and pursuing annexation of sites that add value to the City. We look forward to an opportunity to discuss this Project and the many benefits it will provide to the City.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Mohoney', is written over a light blue horizontal line.

Kevin Mohoney
Vice President
Transwestern Development Company

Project Overview

The Property is located within the City's primary industrial business park south of Illinois 390 and is surrounded by industrial buildings to the north, east and south. To the west of the Property is a known wetland which is owned by the City of Wood Dale Park District. The Property is currently improved with fifteen (15) residential homes which were primarily constructed before 1980. Due to the unincorporated nature of the parcels, water and sewer is provided individually to the homes by private well and septic systems. The Property also includes five (5) unimproved vacant land parcels. In total, the twenty (20) parcels comprise approximately 9.6-acres (inclusive of Washington Street). In its current state, the Property provides limited benefits to the City and as such has been a longtime target for annexation.

As further outlined in the detailed plans accompanying this submittal, the annexed Property can accommodate the construction of a state-of-the-art light industrial building totaling 159,170 square feet. The Project, to be constructed of precast concrete, glass and steel, is consistent with the City's future land use plan and will serve as a natural addition to the area's high-image industrial base.

Existing site constraints including poor soil conditions and required wetland buffering prevent the opportunity to develop the western boundary of the site. As a result, the building has been oriented to the eastern boundary of the site while maintaining the required 20-foot greenway buffer and 7-foot ROW dedication along Central Avenue. The following requested deviations are necessary to provide a building that meets modern design standards while maximizing potential economic benefits to the City:

- 1) *Number of Required Parking Spaces:* parking for the Project, currently designed at 1 space per 1,098 SF, is adequate for a typical distribution tenant. The requested reduction in spaces will allow the Project to maintain a low traffic impact on the surrounding roadway network as outlined in the enclosed traffic study;
- 2) *Service Drive Off-Set:* with respect to driveway alignment, auto access has been aligned with Tempco's northerly access drive. Site constraints do not allow for alignment of the proposed service drive, however as outlined in the enclosed traffic study the proposed access point shall provide minimal potential conflicts;
- 3) *Service and Auto Drive Curb-Cut Width:* driveway width for both service and auto drives has been widened to accommodate the safe and efficient flow of traffic;
- 4) *Elimination of Surface Parking Zone:* the building has been oriented to avoid unsuitable soils while also preserving the natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border. Further, the proposed layout highlights the building's architecturally significant features along Central Avenue while efficiently dispersing auto parking around the building to accommodate multiple future tenants.
- 5) *Elimination of Build-To Line Requirements:* the angled nature of the Property line prevents the ability to fully comply with the build-to line requirements. The building has been designed to meet as much of the requirement as possible, while maintaining a building that meets modern design standards.
- 6) *Elimination of Required Trash Enclosure:* in lieu of a dedicated enclosed refuse collection area, it is typical for tenants to utilize a trash compactor at an existing dock door. Given the orientation of the building and the use of extensive landscaping, it is expected that these future areas would be adequately screened from both the ROW and adjacent properties.

The preliminary Project schedule targets City approval in June with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately seven (7) months with substantial completion projected in January 2020.

As detailed in the enclosed application, the Owner is requesting the following:

- Annexation into the City of Wood Dale pursuant to an annexation agreement
- Rezoning to Business Park sub-area of the Thorndale Corridor Corporate Overlay with I-1, Light Industrial, underlying zoning
- Vacation of Washington Street
- Final Plat of Subdivision to consolidate lots
- Special Use to allow a Planned Unit Development (PUD)
- PUD – Final Development Plan with deviations

Comprehensive Plan

The Property is designated as Industrial/Business Park in the future land use map of the City's comprehensive plan which was adopted on August 2, 2018. The Project would support the following Goals and Objectives as outlined in the comprehensive plan:

- **GOAL 1: Connect Wood Dale Citizens to...**
 - *Objective 2: Increase walking and biking amenities*
 - Construction of pedestrian sidewalk to connect existing properties along Central Avenue.
 - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale*
 - The Project will attract a broad range of high-quality corporate tenants and the jobs that accompany them.
 - **GOAL 2: Build Community Capacity**
 - *Objective 1: Seek opportunities for economic development*
 - The special use and PUD process will support the redevelopment and annexation of the Property which is currently unincorporated and provides limited value to the City in its current state.
 - *Objective 2: Expand job opportunities in the community*
 - The Project will further strengthen the City's industrial base and will be attractive to a range of businesses and associated jobs.
 - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational function.*
 - The Project will add value to the City through the creation of new tax revenues and local jobs.
 - **GOAL 3: Embrace Small-Town Charm**
 - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas*
 - With the use of attractive building design and extensive landscaping, the Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.
 - **GOAL 4: Keep Wood Dale Diverse**
 - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life*
 - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary industrial uses that can be located in the city and complement existing industries."
 - **GOAL 5: Protect Land Values**
 - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents*
 - The Project is consistent with the City's stated strategy to "Balance land use decisions to maintain strong tax base and minimize property tax burden on residents."
-

Special Use Standards

1. **The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;**

The Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction, will add value to the City through the establishment of new tax revenues and will encourage the creation of jobs for residents.

2. **The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;**

The Project will further strengthen the City's industrial base by greatly enhancing an underutilized site that is not currently within the City's jurisdiction. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties. Additionally, as outlined in the enclosed traffic study, the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

3. **The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;**

The Project will allow adjacent property owners to continue to operate in accordance with existing zoning regulations and will serve to promote future investment in the area and ultimately enhance area property valuations.

4. **The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;**

The Project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties.

5. **The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;**

The Project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties.

6. **Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;**

The Property has ready access to existing City utilities which run along Central Avenue. The proposed utility connections as outlined in the enclosed utility plan shall be reviewed and approved by the City.

7. **Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and**

Parking for the Project is adequate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped 20-foot greenway buffer has been established along Central Avenue. The proposed access points to the Property have been designed to minimize traffic hazards and where possible have been aligned with existing access points on the east side of Central Avenue.

PUD Standards

1. **The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.**

The Property is designated as Industrial/Business Park in the future land use map and the Project is consistent with the type of redevelopment occurring within the industrial zoned areas within the City. The Project will be a high-image addition to the City's industrial base and will not injure or damage the use, value and enjoyment of adjacent properties or discourage the development of surrounding properties.

2. **The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.**

The preliminary Project schedule targets City approval in June with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately seven (7) months with substantial completion projected in January 2020.

3. **The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.**

The Property is owned by CH Realty VIII/I Chicago Washington St., L.L.C.

4. **The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.**

Given the proposed single building and consolidation of multiple lots into one, it is applicant's understanding that Covenants, Conditions and Restrictions (CCRs) will not be necessary. Any proposed public utility easements would be identified on the enclosed Final Plat to be approved by the City.

5. **Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.**

The Property has ready access to existing utilities which run along Central Avenue. The utility requirements of the Project shall not reduce capacity for existing developments nor overload local facilities beyond capacity.

6. **The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.**

The Project is compatible with surrounding land uses and will incorporate substantial site landscaping, including a 20-foot greenway buffer that is to be established along Central Avenue. Further, the Project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue.

7. **The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.**

The Project is compatible with the surrounding area and will be a high-image addition to the City's industrial base. The use of attractive building design, extensive landscaping and the addition of sidewalks should enhance the surrounding area and encourage pedestrian mobility.

8. **The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is consistent with the type of redevelopment occurring within the industrial zoned areas within the City.

9. **The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.**

The Project conforms to the City's designation as Industrial/Business Park in the future land use map of the comprehensive plan.

10. **Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is not inconsistent with the public general welfare. The deviations requested are warranted to create a building that will attract high-image tenants and jobs while maximizing economic development within the City.

11. **Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.**

As outlined in the enclosed landscaping plan, the Project features extensive site landscaping and includes a 20-foot greenway buffer that is to be established along Central Avenue.

12. **All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.**

Based on the enclosed Traffic Impact Study (TIS), the two (2) proposed access points off Central Avenue will be adequate in accommodating the traffic to be generated by the Project. Further, the TIS concludes that the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

- 13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.**

There are no dwelling units within the PUD.

- 14. A pedestrian circulation network is provided.**

The Project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. In addition, a pedestrian walkway will be provided on-site to connect the auto parking to future office areas.

- 15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.**

All utilities to be provided for the Project as outlined in the enclosed utility plan shall be in accordance with the requirements and regulations of the City.

- 16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.**

The Project will support the following objectives as outlined in subsection B:

- *Objective 3:* functional and beneficial use of open space by providing better connectivity to existing properties along Central Avenue and by providing a 20-foot landscaped buffer along the primary street frontage.
- *Objective 4:* preservation of natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border.
- *Objective 5:* provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by maintaining and creating a 20-foot landscaped buffer along Central Avenue, enhanced pedestrian connectivity within and around the site and high-quality building design.
- *Objective 6:* rational and economic development in relation to public services by establishing a Project that conforms with future land use plans, creates a value-add annexation opportunity and has limited impact on public services required.

- 17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.**

As previously noted, the Project provides for improved and enhanced buffering for the critical wetland located on the western border of the Property.

Standards for Major Site Plan Review

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;

The Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan.

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17;

The Project has been designed to increase pedestrian mobility both on-site and along Central Avenue. Further, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrian and vehicle traffic.

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;

The Project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements.

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code;

Detailed engineering plans are enclosed for review and comment by City staff.

5. That the proposed use(s) is/are permitted in the district in which the property is located;

The Project is consistent with the Property's designation as Industrial/Business Park in the future land use map of the City's comprehensive plan.

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;

The Project will be a high-image industrial building that is compatible with adjacent land uses and employs sound planning principles.

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well; and

The Project provides for efficient separation of auto and truck traffic. Per the TIS, the proposed access points along Central will be adequate to serve the Project with a low traffic impact on the surrounding roadway network. Further, the construction of on-site walkways and a pedestrian sidewalk along Central Avenue shall provide for the safe movement of pedestrian traffic.

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage is planned as part of the Project.

Standards for Final Plat

1. **The design and layout of the subdivision does not conform to the provisions of the UDO.**

The proposed subdivision includes the requested 7-foot ROW dedication and all required improvements, including a pedestrian sidewalk along Central Avenue. The design and layout of the subdivision does conform to the provisions of the UDO.

2. **The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.**

The applicant has made adequate provisions to install improvements required by the CDC or City Council under authority of the UDO.

3. **The Final Plat fails to comply with an approved Preliminary Plat.**

Not applicable as the applicant is applying for a combined Concept, Preliminary and Final Plat approval process.

4. **The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.**

The Final Plat of Subdivision conforms to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, applicable City ordinances and planning policies of the City.