



CITY OF WOOD DALE

NEXT ORDINANCE NUMBER: O-19- 012

NEXT RESOLUTION NUMBER: R-19- 28

PUBLIC NOTICE OF CITY COUNCIL MEETING

IN ACCORDANCE WITH THE APPLICABLE STATUTES OF THE STATE OF ILLINOIS AND THE ORDINANCES OF THE CITY OF WOOD DALE, THE NEXT REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF WOOD DALE IS SCHEDULED TO BE HELD AT THE HOUR OF 7:30 P.M. ON THURSDAY, JUNE 20, 2019 IN THE COUNCIL CHAMBERS OF THE CITY HALL, 404 N. WOOD DALE ROAD, WOOD DALE, ILLINOIS, DURING WHICH MEETING IT IS ANTICIPATED THAT THERE WILL BE DISCUSSION OF THE FOLLOWING:

REVISED AGENDA

CITY OF WOOD DALE, ILLINOIS
REGULAR CITY COUNCIL MEETING
JUNE 20, 2019

I. CALL TO ORDER

II. ROLL CALL

Mayor Pulice

Alderman Catalano

Alderman Jakab

Alderman Messina

Alderman Sorrentino

Alderman Susmarski

Alderman Eugene Wesley

Alderman Roy Wesley

Alderman Woods

III. PLEDGE OF ALLEGIANCE

IV. PUBLIC HEARING – ANNEXATION AGREEMENT FOR THE WASHINGTON STREET REDEVELOPMENT PROJECT, 640 N. CENTRAL

V. APPROVAL OF MINUTES

A. June 6, 2019 Regular City Council Meeting Minutes

VI. COMMUNICATIONS AND PETITIONS

Citizens will be given the opportunity to address the City Council during the time set aside in the Meeting for Public Comment under Communications and Petitions. Please direct your comments to the Mayor, limit your remarks to three (3) minutes, and kindly refrain from making repetitive statements.

- A. Citizens To Be Heard
- B. Written Communiques of Citizens to Be Heard

VII. MAYOR'S REPORT

- A. Combined City of Wood Dale/Wood Dale Chamber of Commerce Scholarship Program Recipients

VIII. CITY MANAGER'S REPORT

IX. CONSENT AGENDA

- A. Omnibus Vote
 - i. An Ordinance Approving the Grant of a Special Use Permit for an Insurance Agency Office and Major Site Plan Review concerning Property Located at 130 E. Irving Park Road in the City of Wood Dale
 - ii. An Ordinance Approving the Grant of a Special Use Permit, Planned Unit Development and Major Site Plan Review Concerning Property Located at 170 S. Wood Dale Road in the City of Wood Dale
 - iii. A Resolution Authorizing the Execution of an Annexation Agreement for Property Commonly Known as the Washington Street Redevelopment Property 640 N. Central Avenue, Wood Dale, Illinois
 - iv. An Ordinance Annexing Property Commonly Known as the Washington Street Redevelopment Property 640 N. Central Avenue to the City Of Wood Dale, Illinois
 - v. An Ordinance Rezoning Land From R-1 Estate Residential to Business Park Sub-Area in the Thorndale Corridor Corporate Overlay District (640 N. Central Avenue)
 - vi. An Ordinance Approving a Special Use for a Planned Unit Development for the Washington Street Redevelopment Property 640 N. Central Avenue, Wood Dale, Illinois
 - vii. An Ordinance Vacating Washington Street (South of Beinoris Drive Between N. Central Avenue and N. Wood Dale Road)
 - viii. A Resolution Approving the Final Plat of Subdivision to Consolidate Lots for Property Commonly Known as Washington Street Redevelopment 640 N. Central Avenue, Wood Dale, Illinois
 - ix. A Resolution Authorizing the Execution of an Intergovernmental Police Service Assistance Agreement to Join the DuPage Metropolitan Emergency Response and Investigation Team (Merit)
 - x. An Ordinance Amending Chapter 5, Article III, Section 5.304.A.2. of the Municipal Code of the City of Wood Dale Of 1993 to Provide for an Amendment to the Class "P" Liquor License
 - xi. An Ordinance Amending Chapter 5, Article III, Section 5.305, of the Municipal Code of the City Of Wood Dale to Increase the Number of

Class "A" Liquor Licenses and Decrease the Number of Class "P"
Liquor Licenses Authorized for Issuance

- xii. A Resolution Approving an Agreement between the City of Wood Dale and Christopher B. Burke Engineering, Ltd. (CBBEL) for Professional Engineering Services for Richert Station and Tank Maintenance in an Amount Not to Exceed \$60,443
- xiii. A Resolution Approving an Agreement between the City of Wood Dale and Robinson Engineering for Professional Services for Community Rating System (CRS) Administration in an Amount Not to Exceed \$15,865
- xiv. A Resolution Approving an Agreement Between the City of Wood Dale and Robinson Engineering for the FY 2020 Management of the Industrial Pre-Treatment Program, NPDES Permit Required Nutrient Studies And Other Design Work in the Not to Exceed Amount of \$202,300

X. COMMITTEE CHAIRMAN REPORTS

- A. Planning, Zoning And Building Committee
- B. Public Health, Safety, Judiciary And Ethics Committee
- C. Public Works Committee
 - i. An Ordinance Eliminating the Stormwater Management Commission as Provided for in Chapter 3, Articles 1 And 4 of the City Of Wood Dale Municipal Code
- D. Finance And Administration Committee

XI. OTHER BUSINESS

- A. Airport Noise Report
- B. Stormwater Commission Report
- C. A Resolution Authorizing the City of Wood Dale, DuPage County, Illinois, to Sell Municipally Owned Real Estate Commonly Known as 145 Elmwood

XII. APPROVAL OF LIST OF BILLS

- i. List of Bills for June 13, 2019 - \$651,432.30

XIII. EXECUTIVE SESSION

XIV. ITEMS TO BE REFERRED

XV. ITEMS FOR INFORMATION ONLY

XVI. ADJOURNMENT

POSTED IN CITY HALL ON JUNE 18, 2019 AT 4:00 PM

Shirley J. Siebert, City Clerk



CITY OF WOOD DALE

404 North Wood Dale Rd • Wood Dale, Illinois 60191

MINUTES OF THE REGULAR CITY COUNCIL MEETING OF THE CITY OF WOOD DALE, DU PAGE COUNTY, ILLINOIS IN THE CITY ADMINISTRATION BUILDING
JUNE 6, 2019:

I. CALL TO ORDER:

Mayor Pulice called the meeting to order at 7:30 p.m.

II. ROLL CALL:

Upon roll call the following were:

Present: Aldermen Catalano, Jakab, Messina, Sorrentino, Susmarski, E. Wesley and Woods along with Mayor Pulice

Absent: Alderman R. Wesley

Also Present: Legal Counsel Bond, City Manager Mermuys, City Clerk Siebert and Treasurer Porch

Whereupon the Mayor declared a quorum present.

III. PLEDGE OF ALLEGIANCE

IV. APPROVAL OF MINUTES: City Council Meeting – May 16, 2019

On a motion by Alderman E. Wesley, seconded by Alderman Messina, to approve the Regular City Council Meeting Minutes of May 16, 2019, as presented. When the question was put, a roll call vote was taken with the following results:

Ayes: Aldermen Catalano, Jakab, Messina Sorrentino, Susmarski, E. Wesley and Woods

Nays: None

Whereupon the Mayor declared the motion carried.

V. COMMUNICATIONS AND PETITIONS:

A. **Citizens to Be Heard on Matters Not Listed On Agenda**

Nicholas Mock, 394 Elmhurst, complaining about the neighbors parking at 397 Elmhurst.

B. **Written Communiqués of Citizens to Be Heard**

Mayor Pulice received and read a letter from Judith Ryan, First Vice President and Treasurer, Wood Dale Historical Society Board of Directors:

Ms. Ryan thanked the City of Wood Dale for the gracious support given to their past Fiscal Year Events, and the funds received totaling \$7,000.00.

The Historical Society invites friends, families and constituents to become members of the Historical Society. Their dues are paid annually: Business Membership is \$50.00, Family is \$20.00, Individuals are \$10.00 and Senior Citizens are \$6.00 each.

VI. MAYOR’S REPORT:

- A. Mayor Pulice called on Police Chief Vesta to explain the Domestic Violence call that Sgt. Melody Rissman, Officer Bryan Shelton and Officer Kevin Perez answered on the first of this year. Police Chief Vesta called upon Deputy Chief Frese to present the Awards. Sgt. Melody Rissman received the Department of Commendation – Officer Bryan Shelton received the Medal of Valor – Officer Kevin Perez received the Medal of Honor. Thanks to the integrity of these Officers, they diffused a life-threatening situation.
- B. Wood Dale’s Movie Series will present their first movie, “Space Jam” on June 14, 2019 at the Beach Water Park.

VII. CITY MANAGER MERMUYS REPORTED:

- A. Due to the wettest season for Parkway Restorations, which would have been done by this time had we not had monsoon season. However, Parkway restorations are underway and continuing all next week. We hope to have them completed by June 14.
- B. A City-wide mosquito spraying will likely be performed next week as a brood of flood water mosquitos are expected to hatch on June 10th.

VIII. CONSENT AGENDA

IX. COMMITTEE CHAIRMAN REPORTS:

A. PLANNING, ZONING & BUILDING COMMITTEE:

No Report

B. PUBLIC HEALTH, SAFETY, JUDICIARY AND ETHICS COMMITTEE:

No Report

C. PUBLIC WORKS COMMITTEE:

- 1. On a motion by Alderman Catalano, seconded by Alderman E. Wesley to pass Resolution No. R-19-011 being **“A RESOLUTION APPROVING A CONTRACT BETWEEN THE CITY OF WOOD DALE AND BOWER GROUP FOR THE REMOVAL OF ASBESTOS MATERIALS LOCATED AT 364-376 E. IRVING PARK ROAD IN A NOT-TO-EXCEED AMOUNT OF \$21,000.00.”**

When the question was put, a roll call vote was taken with the following results:

Ayes: Aldermen Catalano, Jakab, Messina, Sorrentino, Susmarski, E. Wesley and Woods

Nays: None

Whereupon the Mayor declared the motion carried.

D. FINANCE AND ADMINISTRATION COMMITTEE:

- 1. On a motion by Alderman Woods, seconded by Alderman Susmarski to adopt Ordinance No. O-19-26 being **“AN ORDINANCE PROVIDING FOR THE EXTENSION OF A PROMISSORY NOTE OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS.”** When the question was put, a roll call vote was taken with the following results:

Ayes: Aldermen Catalano, Jakab, Messina, Sorrentino, Susmarski, E. Wesley and Woods

Nays: None

Whereupon the Mayor declared the motion carried.

2. On a motion by Alderman Woods, seconded by Alderman Susmarski, to pass Resolution No. R-19-012 being “**A RESOLUTION AUTHORIZING THE EXECUTION OF AN AMENDED WOOD DALE ROAD AND COMMERCIAL ROAD DEVELOPMENT AGREEMENT**”. When the question was put, a roll call vote was taken with the following results:
Ayes: Aldermen Catalano, Jakab, Messina, Sorrentino, Susmarski, E. Wesley and Woods
Nays: None
Whereupon the Mayor declared the motion carried.

X. OTHER BUSINESS:

A. **AIRPORT NOISE REPORT:**

No Report

B. **STORMWATER COMMISSION REPORT**

No Report

XI. APPROVAL OF LIST OF BILLS: 06/6/19 - \$565,091.46

On a motion by Alderman Woods, seconded by Alderman E. Wesley to approve the June 6, 2019 payment of the List of Bills as presented, in the amount of \$565,091.46 for the following:

• General Fund	\$	198,399.10
• Road & Bridge Fund	\$	2,143.04
• Motor Fuel Tax Fund	\$	11,522.67
• Tourism Fund	\$	19,815.08
• Narcotics Fund	\$	5,179.16
• TIF District #1	\$	---
• Capital Projects Fund	\$	78,814.23
• Land Acquisition Fund	\$	1,800.00
• CERF	\$	27,200.62
• Commuter Parking Lot Fund	\$	2,969.37
• Sanitation Fund	\$	133,535.88
• Equipment Replacement Fund	\$	---
• Water & Sewer Capital Projects	\$	31,521.25
• Water & Sewer Fund	\$	52,191.06
• Special Service Area Fund	\$	---
• Grants Fund	\$	---
Total of All Funds:	\$	<u>565,091.46</u>

Total Number of Checks: **127**

When the question was put, a roll call vote was taken with the following results:

Ayes: Aldermen Catalano, Jakab, Messina, Sorrentino, Susmarski, E. Wesley and Woods

Nays: None

Whereupon the Mayor declared the motion carried.

XII. ADJOURNMENT: On a motion by Alderman E. Wesley, seconded by Alderman Jakab, to adjourn the Regular Meeting of June 6, 2019 to Executive Session to review Executive Session Official Minutes (Pursuant to 5 ILCS 120/2(c)(21) and Land Acquisition(Pursuant to 5 ILCS 120/2(c)(5)). When the question was put, a roll call vote was taken with the following results:

Ayes: Aldermen Catalano, Jakab, Messina, Sorrentino, Susmarski, E. Wesley and Woods
Nays: None

Whereupon the Mayor declared the motion carried and the meeting adjourned at 7:55 p.m.

*Minutes Taken by City Clerk, Shirley J. Siebert
Minutes Reviewed by Legal Counsel Bond*



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: 2019 City/Chamber Scholarships
Staff Contact: Grant Paplauskas
Department: Marketing & Special Events

TITLE: Combined City of Wood Dale/Wood Dale Chamber of Commerce Scholarship Program Recipients

BACKGROUND:

Each year the City of Wood Dale along with the Wood Dale Chamber of Commerce participates in the City of Wood Dale / Wood Dale Chamber of Commerce Scholarship Program. This program awards deserving high school seniors from local schools (Addison Trail High School and Fenton High School) scholarships to help offset the cost of college expenses.

The 2019 scholarship winners are:

Jeffrey Andrews, Fenton High School

Kyle Cacioppo, Fenton High School

Rafal Kaczowka, Addison Trail High School

Hanna Matuszewski, Fenton High School



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Special Use & Major Site Plan Review for
Insurance Office at 130 E. Irving Park Road
Staff Contact: Ed Cage, AICP, CD Director
Department: Community Development

TITLE: An Ordinance Approving the Grant of a Special Use Permit for an Insurance Agency Office and Major Site Plan Review concerning Property Located at 130 E. Irving Park Road in the City of Wood Dale

COMMITTEE VOTE:

Approve unanimously 8-0.

RECOMMENDATION:

Staff recommends approval of the Special Use Permit and Major Site Plan Review for an Insurance Agency to be locate at 130 E. Irving Park Road.

ANALYSIS:

The subject property is zoned Town Center Business (TCB) which according to the Municipal Code, uses which are engaged in the finance, insurance and real estate Services, are permitted only upon consideration as a Special Use. There are no major changes planned to the existing building. The proposed use meets the intent of both the Unified Development Ordinance (UDO) and the Comprehensive Plan. There were no public comments made at the public hearing.

DOCUMENTS ATTACHED

- ✓ Ordinance – Special Use Permit & Major Site Plan Review
- ✓ Exhibit B – Staff Memo

ORDINANCE NO. O-19-012

**AN ORDINANCE APPROVING THE GRANT OF A SPECIAL USE PERMIT
FOR AN INSURANCE AGENCY OFFICE AND MAJOR SITE PLAN REVIEW
CONCERNING PROPERTY LOCATED AT 130 E. IRVING PARK ROAD
IN THE CITY OF WOOD DALE**

WHEREAS, the City of Wood Dale (the City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City is authorized and empowered, under the Illinois Municipal Code and the Code of Ordinances of the City of Wood Dale (“City Code”), to regulate properties located within the municipal boundaries of the City; and

WHEREAS, in furtherance of this authorization, the City has adopted a the Unified Development Ordinance, codified in Chapter 17 of the City Code, which sets forth provisions regarding land use and improvement regulations, requirements and procedures in the City of Wood Dale; and

WHEREAS, Wood Dale Depot Center is a shopping center located near the southeast corner of Irving Park Road and Wood Dale Road, commonly identified as 120-158 E. Irving Park Road (“the Property”), as described legally, in Exhibit A, attached hereto and incorporated herein by reference, in which Brian and Amber Murphy (collectively “Petitioner”), have submitted a petition for the grant of a special use for the use of an insurance office at the unit located in the Property at 130 E. Irving Park Road, as well as a major site plan review in Case No. 2019-CDC-05 (the “Petition”); and

WHEREAS, section 17.503 D. of the City Code permits the grant of a special use permit for the use of a “insurance services” in the City’s Town Center Business District; and

WHEREAS, on May 20, 2019, the Community Development Commission held a public hearing on the Petition filed by Petitioner, following the necessary publication of a legal notice pursuant thereto, as required by law and the City Code; and

WHEREAS, following said hearing, the Community Development Commission recommended approval of the grant of a special use permit, based on and incorporating the averments in the Petitioner’s Petition and the testimony of City staff during the hearing as to the Petitioner’s satisfaction of the standards for approval of the requested special use permit and a major site plan review; and

WHEREAS, the proposed special use permit and major site plan review, as recommended for approval by the Community Development Commission, has been considered by the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale, which has also recommended approval of the same; and

WHEREAS, the City Council of the City of Wood Dale accepts and incorporates the

recommendation of the Community Development Commission, in its entirety, as set forth in the Staff Report dated May 9, 2019 and attached hereto and incorporated herein as Exhibit B, as to the Petition and has determined that the same is in the best interests of the health, safety and welfare of the citizens of the City of Wood Dale.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That a special use for the use of insurance agency office on the Property and a major site plan review for the same are hereby granted, such use being compatible with surrounding zoning and land use classifications, and meeting the requirements of the Unified Development Ordinance and being consistent with the City’s Comprehensive Plan.

SECTION THREE: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION FOUR: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION FIVE: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

Published in pamphlet form _____, 2019.

EXHIBIT A

Legal Description

Parcel 1

LOT 1 IN G. AND W. PLAT OF CONSOLIDATION, A RESUBDIVISION OF LOT 1 IN G. AND W. SUBDIVISION, BEING PART OF THE WEST L/2 OF THE NORTHWEST L/4 OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 15, 1977 AS DOCUMENT R77-17717, ALSO THAT PART OF VACATED WALNUT STREET RECORDED MARCH 15, 1977 AS DOCUMENT R77-17714, ALSO THE EASTERLY 25.0 FEET OF LOTS 2 AND 3, AS MEASURED ON THE ORIGINAL NORTHERLY LINE OF LOT 2 AND THE SOUTHERLY LINE OF LOT 3 AND LOTS 4 AND 5 (EXCEPT THE NORTH 23.0 FEET THEREOF) IN BLECK'S SUBDIVISION OF 5 ACRES IN THE NORTHWEST ¼ OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 2, 1889 AS DOCUMENT 40583, ACCORDING TO G. AND W. PLAT OF CONSOLIDATION RECORDED OCTOBER 24, 1979 AS DOCUMENT R79-96774, IN DUPAGE COUNTY, ILLINOIS.

Parcel 2

A STRIP OF LAND IN THAT PART OF THE NORTHWEST ¼ OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF EAST LINE OF WOODDALE ROAD WITH THE SOUTHERLY LINE OF IRVING PARK BOULEVARD; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF IRVING PARK BOULEVARD A DISTANCE OF 349.17 FEET TO A POINT ON THE SOUTHERLY LINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF LOT 1 IN G. AND W. PLAT OF CONSOLIDATION RECORDED OCTOBER 24, 1979 AS DOCUMENT R79-96774 AND ALSO BEING 209.79 FEET AS MEASURED ALONG SAID NORTHERLY LINE FROM THE MOST NORTHWEST CORNER OF LOT 1 OF SAID PLAT OF CONSOLIDATION; THENCE ALONG THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHERLY RIGHT OF WAY LINE OF SAID RAILROAD, A DISTANCE OF 80.0 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING ALONG SAID RAILROAD RIGHT OF WAY LINE AND THE NORTHERLY LINE OF SAID LOT 1 A DISTANCE OF 260.0 FEET TO A POINT; THENCE AT RIGHT ANGLES TO THE NORTHEAST, A DISTANCE OF 30.0 FEET TO A POINT; THENCE WESTERLY ALONG A LINE PARALLEL WITH SAID SOUTHERLY LINE OF THE RAILROAD RIGHT OF WAY, THE NORTHERLY LINE OF SAID LOT 1, A DISTANCE OF 260.0 FEET TO A POINT; THENCE AT RIGHT ANGLES TO THE SOUTHWEST, A DISTANCE OF 30.0 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

Common Address: 130 E Irving Park Road, Wood Dale, IL 60191
PIN: 03-15-107-020

EXHIBIT B

Staff Memo with Exhibits for Case No. 2019-CDC-05 dated May 9, 2019

CITY OF WOOD DALE

Community Development



MEMO

DATE: May 9, 2019

TO: Community Development Commission

FROM: Gosia Pociecha, AICP, Planner

SUBJECT: Case No. 2019-CDC-05, Special Use and Major Site Plan Review for the Allstate Insurance Agency, 130 E Irving Park Rd

REQUEST

An application has been filed by Brian and Amber Murphy for a Special Use and Major Site Plan Review to permit the operation of Allstate Insurance Agency at 130 E Irving Park Road, Wood Dale, Illinois.

PROPERTY INFORMATION

Unit Address: 130 E Irving Park Road
Site Address: 120-158 E Irving Park Road
PIN: 03-15-107-020
Property Size: 2.17 Acres (approx. 94,525 square feet)
Existing Land Use: Retail/Commercial
Future Land Use: Retail/Commercial
Existing Zoning: TCB (Town Center Business District)

Surrounding Zoning & Land Use

North: TCB, Retail/Commercial
South: TCB and R-G (General Residential), Townhouse/Multi-Family Residential
East: R-G, Utility/Transportation
West: TCB, Retail/Commercial

ANALYSIS

Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Public Hearing Application

- Plat of Survey (Exhibit A)
- Site Plan (Exhibit B)
- Petitioner Narrative (Exhibit C)

Project Description

The subject property, commonly known as Wood Dale Depot Center, is a shopping center located near the southeast corner of Irving Park Road and Wood Dale Road (see image below) and is zoned TCB, Town Center Business. The 2.17 acre site is improved with two single-story brick buildings divided into multiple tenant-spaces and surface parking (see Exhibit A). The addresses for the subject site range from 120-158 E. Irving Park Road (Exhibit B).

The applicant has petitioned for Special Use approval (see Exhibit C) to permit the operation of Allstate Insurance Agency in one of the vacant units facing Irving Park Road. No physical changes to the building or the site are requested as part of this application.



Subject Site Location

Compliance with the Comprehensive Plan

The subject property is designated as Retail/Commercial in the Future Land Use Plan of the Comprehensive Plan. This Land Use Category intends to maintain a wide range of retail, restaurant and personal/business service uses. This use category includes small office uses and hotels.

The proposed business use of an insurance agency would be similar to what is described in the Comprehensive Plan and fits the general description of the Retail/Commercial category, therefore the request is consistent with the Comprehensive Plan.

The proposed development will help the City in achieving Goal 4, Objective 2: Keep Wood Dale diverse by managing development to create a balanced mix of land uses, promoting economic vitality and sustainable quality of life. The proposed use intends to fill a vacant space at an existing shopping center, adding to the diversity of services offered to the community.

Compliance with the Unified Development Ordinance

Allowable Uses

The subject site is located within the Town Center Business District established to create a walkable, pedestrian friendly environment. It is intended to contain specialty retail, civic, entertainment and service uses catering to the needs of the residents and attracting regional shoppers.

Per the Municipal Code, uses which are engaged in the finance, insurance and real estate services are permitted only upon consideration as a Special Use. In each case, the impact of such use upon neighboring land and of the public need for such a use at the particular location is considered. As such, the applicant has requested an approval of a Special Use to operate an insurance agency at 130 E Irving Park Rd. Due to the request for a Special Use, a Major Site Plan Review is also required.

Lot Development Standards

The applicable building type for this property is a Type 9 Building, Large Commercial Shop. An analysis of the lot development standards as compared to the existing property is summarized below with regulations in bold not meeting the current regulation:

Development Standard	Type 9 Building Standards	Existing Property: 120-158 E Irving Park Rd
Lot Width (min.)	40-feet	Approx. 563-feet
Lot Depth (min.)	140-feet	Approx. 298-feet
Lot Coverage (max.)	n/a	n/a
Front Setback (build-to)	20-feet	Approx. 70-feet
Side Setback (min.)	0-feet	Approx. 0.03-feet
Rear Setback (min.)	35-feet	4.67-feet
Maximum Height	60-feet	Approx. 25-feet
Building Use Standards – Ground Floor	Retail/office/food service	Retail/office/food service
Parking	112 spaces (per Ordinance #1379 granting Special Use/PUD for the Shopping Center)	125 spaces
Handicapped Parking	5 required	5 provided

Parking

No changes are proposed to the site of the subject property. Based on the size of the building and proposed use, the traffic impact will be negligible.

Neighborhood Comment

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO. Staff received two inquiries regarding the requests as of May 15, 2019. Both inquiries wanted clarification of the Special Use process and did not have any comments directly related to the establishment of a Special Use for an insurance agency.

Findings of Fact

The Community Development Commission may recommend approval of a Special Use and Major Site Plan Review if evidence is presented to establish that the application meets the standards. The applicant has provided responses to the standards in Exhibit B. The standards are as follows (*staff comments italicized*):

Special Use Standards

1. The proposed Special Use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

The proposed Special Use will provide agency insurance services. While there are other insurance agencies in the area, there are no other Allstate offices, as they are required to meet certain corporate separation requirements. The proposed business will add to the variety of options for residents and businesses who are shopping for insurance products. The location is desirable to provide a commercial use that can be used by residents and visitors alike. This standard is met.

2. The proposed Special Use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

The proposed Special Use will not adversely affect the adjacent properties or character of the neighborhood. The proposed Special Use is requested for operation of an insurance agency within an already established shopping center. It is not expected that the traffic conditions will be negatively affected as per the applicant there will not be a large flow of customers at one time; most customers will be seen by appointment. Utility facilities and other matters affecting public safety are not anticipated to be impacted by the proposed Special Use. This standard is met.

3. The proposed Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

The proposed Special Use will not be injurious to the use and enjoyment of other properties in the immediate vicinity nor will it substantially diminish or impair other

property valuations within the neighborhood. The proposed Special Use intends to fill a vacant unit within an existing shopping center. Surrounding properties will continue to operate as they do currently. This standard is met.

4. The nature, location, and size of buildings or structures involved with the establishment of the Special Use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

The proposed Special Use of the subject property will not impede, hinder or discourage the development and use of adjacent land and buildings. The proposed Special Use intends to fill a vacant unit within an existing shopping center, possibly encouraging other business to move into the center. The adjacent lots already have existing structures and new development can still occur on adjacent lots with the granting of the Special Use. This standard is met.

5. The proposed Special Use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

The proposed Special Use would provide additional service options for the community with minimal impact to adjacent properties. The development and use of neighboring properties would not be impaired by the approval of the requested Special Use. This standard is met.

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

The proposed Special Use request does not include any interior or exterior work that would impact utilities. The existing shopping center is already served by adequate utilities. This standard is met.

7. Parking areas shall be of adequate size for the particular Special Use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and

The proposed Special Use request does not propose any changes to the parking areas. The shopping center is served by an adequate number of standard and accessible parking spaces. This standard is met.

8. Such other standards and criteria as are established by the ordinance for a particular Special Use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

No other standards apply. This standard is met.

Standards For Site Plan Review

1. The relationship of the site plan is consistent with the policies, goals and objectives of the comprehensive plan;

The existing site plan meets the policies, goals and objectives of the Comprehensive Plan. The ability to provide a wide range of retail, restaurant and personal/business uses in this development will achieve the intended goals of the Retail/Commercial land use category. This standard is met.

2. The proposed traffic and parking layout minimizes the danger and conflicts between pedestrians and motorists, provides efficient and convenient movement of traffic not only within the site but on adjacent roadways, and otherwise complies with the requirements of this chapter;

The proposed Special Use does not propose any changes to the existing site plan. There are no reports indicating that existing site plan has a negative impact on traffic or parking. This standard is met.

3. The location of principal structures, accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;

The proposed Special Use does not propose any changes to the existing site plan. The location of the existing structures does not affect traffic circulation, as they are located within the site. There are no reports related to stormwater drainage. This standard is met.

4. That the proposed use(s) is/are permitted in the district in which the property is located;

The operation of an insurance agency requires a Special Use, which is being requested by the applicant. This standard is met.

5. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles; and

The location and arrangement of existing structures, walks, lighting and appurtenant facilities is consistent with that provided along the corridor and is compatible with surrounding land uses. This standard is met.

6. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage is proposed for this Special Use request. This standard is met.

RECOMMENDATION

The Community Development Department finds that the request for a Special Use and Major Site Plan Review to operate an insurance agency is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above

considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Special Use and Major Site Plan Review meets the standards of approval and is consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo as the findings of the Community Development Commission, and recommend to the City Council approval of Case No. 2019-CDC-05.

(Vote Yes to approve; vote No to deny)

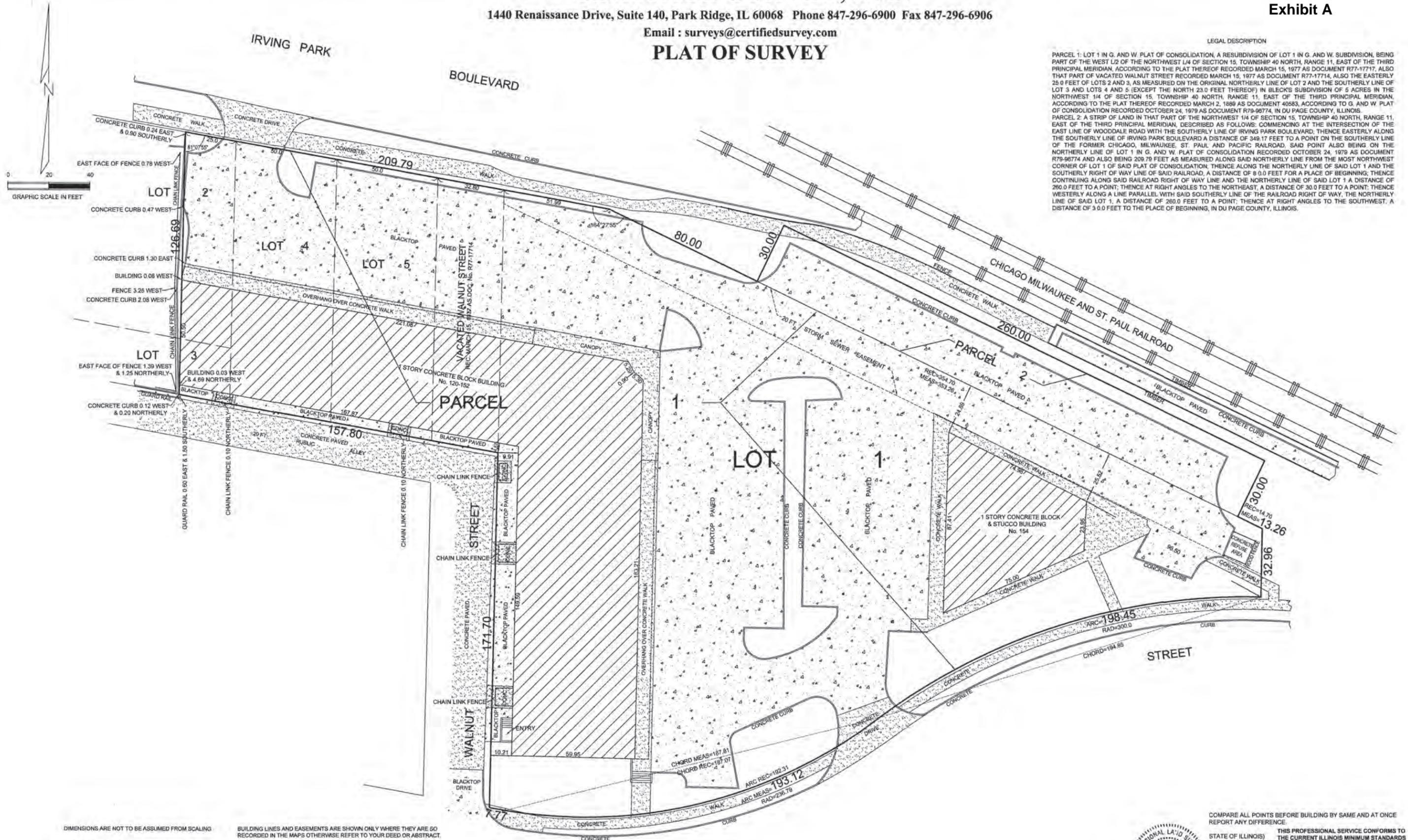
CERTIFIED SURVEY, INC.

1440 Renaissance Drive, Suite 140, Park Ridge, IL 60068 Phone 847-296-6900 Fax 847-296-6906

Email: surveys@certifiedsurvey.com

PLAT OF SURVEY

Exhibit A



LEGAL DESCRIPTION

PARCEL 1: LOT 1 IN G. AND W. PLAT OF CONSOLIDATION, A RESUBDIVISION OF LOT 1 IN G. AND W. SUBDIVISION, BEING PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 15, 1977 AS DOCUMENT R77-17717, ALSO THAT PART OF VACATED WALNUT STREET RECORDED MARCH 15, 1977 AS DOCUMENT R77-17714, ALSO THE EASTERLY 25.0 FEET OF LOTS 2 AND 3, AS MEASURED ON THE ORIGINAL NORTHERLY LINE OF LOT 2 AND THE SOUTHERLY LINE OF LOT 3 AND LOTS 4 AND 5 (EXCEPT THE NORTH 23.0 FEET THEREOF) IN BLECK'S SUBDIVISION OF 5 ACRES IN THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 2, 1888 AS DOCUMENT 40583, ACCORDING TO G. AND W. PLAT OF CONSOLIDATION RECORDED OCTOBER 24, 1979 AS DOCUMENT R79-96774, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2: A STRIP OF LAND IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE EAST LINE OF WOODDALE ROAD WITH THE SOUTHERLY LINE OF IRVING PARK BOULEVARD, THENCE EASTERLY ALONG THE SOUTHERLY LINE OF IRVING PARK BOULEVARD A DISTANCE OF 349.17 FEET TO A POINT ON THE SOUTHERLY LINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF LOT 1 IN G. AND W. PLAT OF CONSOLIDATION RECORDED OCTOBER 24, 1979 AS DOCUMENT R79-96774 AND ALSO BEING 209.79 FEET AS MEASURED ALONG SAID NORTHERLY LINE FROM THE MOST NORTHWEST CORNER OF LOT 1 OF SAID PLAT OF CONSOLIDATION, THENCE ALONG THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHERLY RIGHT OF WAY LINE OF SAID RAILROAD, A DISTANCE OF 8.0 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING ALONG SAID RAILROAD RIGHT OF WAY LINE AND THE NORTHERLY LINE OF SAID LOT 1 A DISTANCE OF 260.0 FEET TO A POINT; THENCE AT RIGHT ANGLES TO THE NORTHEAST, A DISTANCE OF 30.0 FEET TO A POINT; THENCE WESTERLY ALONG A LINE PARALLEL WITH SAID SOUTHERLY LINE OF THE RAILROAD RIGHT OF WAY, THE NORTHERLY LINE OF SAID LOT 1, A DISTANCE OF 260.0 FEET TO A POINT; THENCE AT RIGHT ANGLES TO THE SOUTHWEST, A DISTANCE OF 3.0 FEET TO THE PLACE OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS.

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING

ORDER No. 190183 (Y)
 DATE: APRIL 22, 2019
 ORDERED BY: HALSTED GREAT LAKES MANAGEMENT

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

DECIMALS OF FOOT AND THEIR EQUIVALENT IN INCHES AND FRACTIONS THEREOF.

0.01=1/8"	0.07=7/8"	.50=6"
0.02=1/4"	0.08=1"	.58=7"
0.03=3/8"	0.17=2"	.67=8"
0.04=1/2"	0.25=3"	.75=9"
0.05=5/8"	0.33=4"	.83=10"
0.06=3/4"	0.42=5"	.92=11"
		1.0=12"



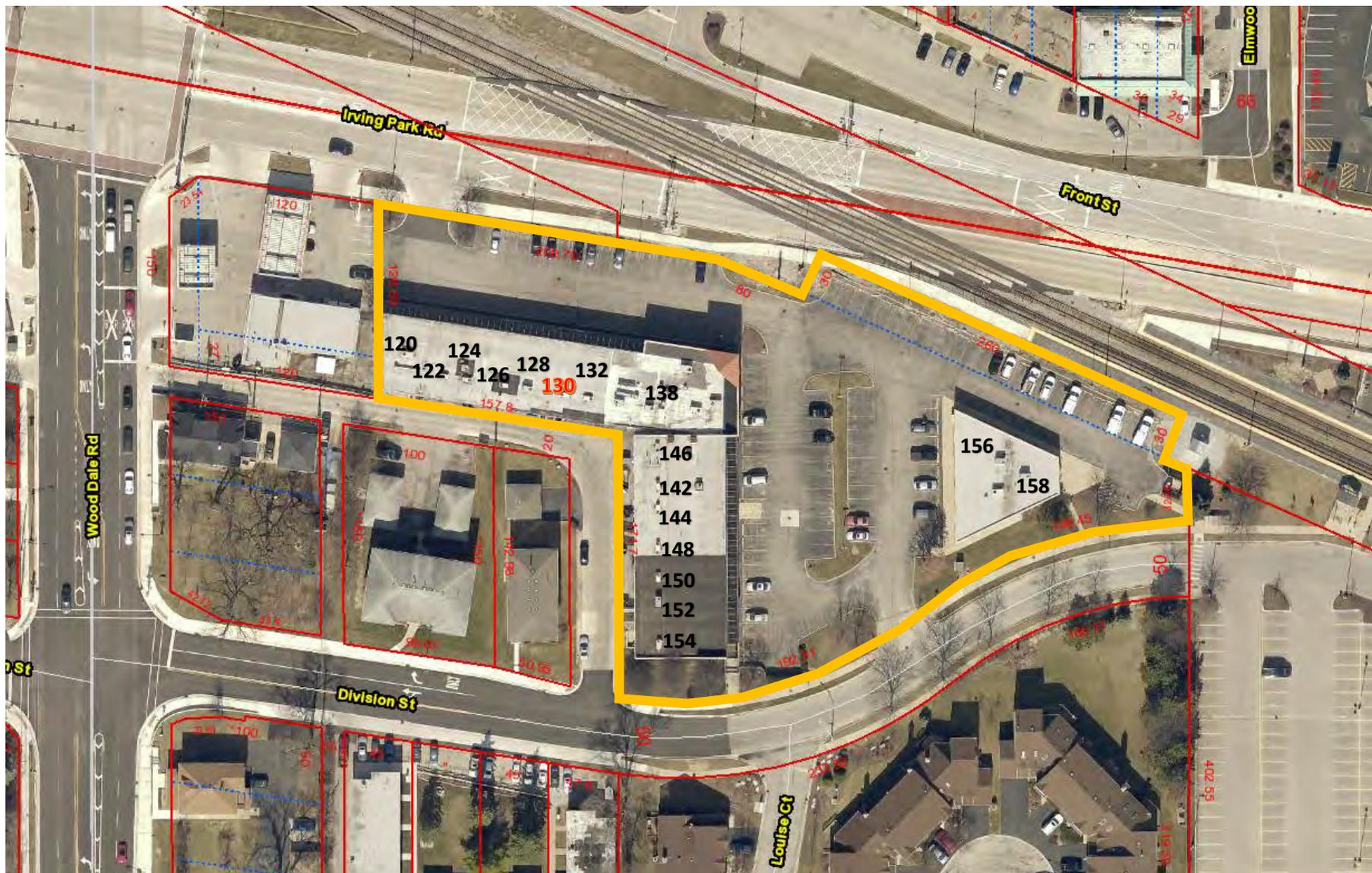
COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

STATE OF ILLINOIS) THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. MONUMENTS NOT SET PER REQUEST OF CLIENT.

WE CERTIFIED SURVEY, INC DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

PROFESSIONAL ILLINOIS LAND SURVEYOR
 LICENSE EXPIRES NOVEMBER 30, 2026

Wood Dale Depot Center
120-158 E Irving Park Road
Site Plan



Murphy Family Insurance Group

130 E. Irving Park Rd.
Wood Dale, IL 60191



Exhibit C

To Whom it May Concern:

I am writing to you to obtain special use for our incoming business. We wish to open an Allstate Insurance Agency at 130 E. Irving Park Rd. in Wood Dale, IL.

1. Having my agency in your city is in the best interest of the community because Allstate is a national brand which people recognize and trust. Having my agency in particular will bring added value because as a business owner I become very involved with my local community. I plan to participate in community events such as the Taste of Wood Dale and any not for profit runs or volunteer events. We also plan to help with local youth sports through sponsorships. Our agency will not cause any unnecessary traffic in your community.

2. We will add more value by giving existing Allstate customers a local office to stop by with questions, concerns or to make payments. We will also become a household insurance name in the community that families can trust.

3. Our Allstate agency will not hinder the use or enjoyment of any of the local businesses within our vicinity. We stay to ourselves and our customers do not come into the office in droves, they usually come by appointment or drop ins for payments.

4. Our agency is going into an already existing location within the strip of business spaces. We are not requiring any build outs or special parking that would hinder any development in or around our area. We are just adding to the community with our National Branding.

5. This space will only be used for our Allstate insurance agency. It will not hinder any development of our neighboring properties

6. Everything is currently set in accordance to standards as there are already operating businesses within this strip plaza.

7. We will not require much parking outside of our small staff. We do not have a large flow of customers at one time. It will be by appointment.

I am looking forward to becoming operational within Wood Dale and being able to help service your community with your necessary insurance needs.

Thank you for your consideration.

Brian Murphy



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Special Use, PUD & Major Site Plan Review
for Oakbrook School at 170 S. Wood Dale Rd
Staff Contact: Ed Cage, AICP, CD Director
Department: Community Development

TITLE: An Ordinance Approving the Grant of a Special Use Permit, Planned Unit Development and Major Site Plan Review Concerning Property Located at 170 S. Wood Dale Road in the City of Wood Dale

COMMITTEE VOTE:

Approve unanimously 8-0.

RECOMMENDATION:

Staff recommends approval of the Special Use Permit, Planned Unit Development and Major Site Plan Review for Oakbrook Elementary School located at 170 S. Wood Dale Road to allow for the expansion of the parking lot.

ANALYSIS:

The School District is proposing to demolish the existing hardscape surface play area to the west of their existing parking lot in order to construct an approximately 20,000 square feet (sf) parking lot expansion. The proposed parking lot improvements do not impact the existing curb cut on Wood Dale Rd. The purpose of this project is to increase the capacity of the parking lot from 45 to 82 parking spaces. The proposed expansion will also provide additional stacking spaces for student drop-off and pick-up times. Reportedly, vehicles often back up into Wood Dale Road while waiting to circulate through the parent drop off/pick up lane. The proposed parking lot expansion will be able to accommodate approximately 25 additional vehicles on site, increasing the total vehicle stacking capacity to 43. Additional other site improvements include relocation of the trash enclosure and installation of a bioswale with native vegetation to meet stormwater requirements.

DOCUMENTS ATTACHED

- ✓ Ordinance – Special Use Permit, PUD & Major Site Plan Review
- ✓ Exhibit B – Staff Memo

ORDINANCE NO. O-19-013

**AN ORDINANCE APPROVING THE GRANT OF A SPECIAL USE PERMIT,
PLANNED UNIT DEVELOPMENT AND MAJOR SITE PLAN REVIEW
CONCERNING PROPERTY LOCATED AT 170 S. WOOD DALE ROAD
IN THE CITY OF WOOD DALE**

WHEREAS, the City of Wood Dale (the City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City is authorized and empowered, under the Illinois Municipal Code and the Code of Ordinances of the City of Wood Dale (“City Code”), to regulate properties located within the municipal boundaries of the City; and

WHEREAS, in furtherance of this authorization, the City has adopted a the Unified Development Ordinance, codified in Chapter 17 of the City Code, which sets forth provisions regarding land use and improvement regulations, requirements and procedures in the City of Wood Dale; and

WHEREAS, Wood Dale School District #7 (“School District”) owns and operates Oakbrook Elementary School at 170 S. Wood Dale Road (“the Property”), as described legally in Exhibit A, attached hereto and incorporated herein by reference; and

WHEREAS, the 5.2 acre Property is zoned R-1, Estate Residential, which zoning district allows property to be used as a school, through issuance of a special use permit; and

WHEREAS, due to site plan changes sought to allow expansion of an existing parking lot, the City determined that a special use permit had never been granted to allow the Property to be used as a school; and

WHEREAS, as part of the application, the School District petitioned for a Special Use Permit, for a Planned Unit Development - preliminary and final development plan - and a Major Site Plan Review in Case No. 2019-CDC-06 (the “Petition”), which approvals, if granted would allow for the continued use of the elementary school use as well as for deviations from certain code requirements related to the proposed expansion of the existing parking lot; and

WHEREAS, on May 20, 2019, the Community Development Commission held a public hearing on the Petition filed by the School District, following the necessary publication of a legal notice pursuant thereto, as required by law and the City Code; and

WHEREAS, following said hearing, the Community Development Commission voted 4-0 (with one recusal and two absent) to recommend approval of the grant of a Special Use Permit, a Planned Unit Development and Major Site Plan review for the continued elementary school use and certain deviations from Code requirement relative to expansion of the parking lot, based on and incorporating the averments in the Petitioner’s Petition and the testimony of City staff during the hearing as to the Petitioner’s satisfaction of the standards for approval of the requested special

use permit, planned unit development and a major site plan review; and

WHEREAS, the proposed Special Use Permit, Planned Unit Development and Major Site Plan Review, as recommended for approval by the Community Development Commission, has been considered by the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale, which has also recommended approval of the same; and

WHEREAS, the City Council of the City of Wood Dale accepts and incorporates the recommendation of the Community Development Commission, in its entirety, as set forth in the Staff Report dated May 20, 2019 and attached hereto and incorporated herein as Exhibit B, as to the Petition and determines that the same is in the best interests of the health, safety and welfare of the citizens of the City of Wood Dale.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That a Special Use Permit for the use of a school on the Property, and a Planned Unit Development to allow deviations from Code requirements for expansion of the parking lot, as well as Major Site Plan Review for the same are hereby granted, such use being compatible with surrounding zoning and land use classifications, and meeting the requirements of the Unified Development Ordinance and being consistent with the City's Comprehensive Plan, subject to the following conditions:

1. The Special User, Planned Unit Development and Major Site Plan Review shall substantially conform to the Staff Memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City Code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application; and
2. A note to title shall be recorded to identify the existence of the stormwater best management practices ("BMP").

SECTION THREE: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION FOUR: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION FIVE: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

Published in pamphlet form _____, 2019.

EXHIBIT A

Legal Description

Parcel 1

NORTH HALF OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 4, AS SAID SECTION WAS SUBDIVIDED BY THE SCHOOL TRUSTEES OF THE TOWN OF ADDISON; THENCE SOUTH 01 DEGREES WEST, 14.03 CHAINS, ALONG THE EAST LINE OF SAID SECTION TO EARNEST BUCHHOLZ' CORNER; THENCE SOUTH 89 DEGREES WEST, 7.09 CHAINS, ALONG THE SAID EARNEST BUCHHOLZ' LINE; THENCE NORTH 01 DEGREE EAST, 14.03 CHAINS, TO THE SOUTH LINE OF SAID LOT 4; THENCE NORTH 89 DEGREES EAST, 7.09 CHAINS, TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

Parcel 2

LOT 33 IN CRESTWOOD ESTATES, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 24, 1963 AS DOCUMENT R63-12443 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3

THAT PART OF LOT 2 LYING WEST OF CENTER LINE OF WOODDALE ROAD (EXCEPT THAT PART THEREOF FALLING IN LOT 1 OF PAUL OTT'S PLAT OF SURVEY, RECORDED AS DOCUMENT 564746) IN PLAGGE ASSESSMENT PLAT, OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 12, 1948 AS DOCUMENT 544843, IN DUPAGE COUNTY, ILLINOIS.

Common Address: 170 S Wood Dale Rd, Wood Dale, IL 60191
PINs: 03-16-402-008; 03-15-306-001, -002

EXHIBIT B

Staff Memo with Exhibits for Case No. 2019-CDC-06 dated May 20, 2019

CITY OF WOOD DALE

Community Development

MEMO

DATE: May 20, 2019

TO: Community Development Commission

FROM: Gosia Pociecha, AICP, Planner

SUBJECT: Case No. 2019-CDC-06, Special Use, Planned Unit Development and Major Site Plan Review for the Oakbrook Elementary School Parking Lot Expansion, 170 S Wood Dale Rd

REQUEST

An application has been filed by the Wood Dale School District #7 for a Special Use and a Planned Unit Development – Preliminary & Final Development Plan, and a Major Site Plan Review for expansion of the parking lot for Oakbrook Elementary School at 170 S Wood Dale Road, Wood Dale, IL.

PROPERTY INFORMATION

Address: 170 S Wood Dale Road
PINs: 03-16-402-008; 03-15-306-001; -002
Property Size: 5.2 Acres (approx. 226,512 square feet)
Existing Land Use: Civic/Institutional
Future Land Use: Civic/Institutional
Existing Zoning: R-1 (Estate Residential)

Surrounding Zoning & Land Use

North: R-2 (Large Lot Single Family), Single-Family Residential
South: R-G (General Residential), Townhouse/Multi-Family Residential and Open Space/Recreation
East: R-3 (Single Family), Single-Family Residential
West: Unincorporated (Forest Preserve), Open Space/Recreation

ANALYSIS

Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Public Hearing Application
- Petitioner Narrative (Exhibit A)
- Parking Lot Expansion drawing set (Exhibit B)
- Landscaping Plans (Exhibit C)
- Emergency Vehicle Access Plan (Exhibit D)
- Plat of Survey (Exhibit E)
- Stormwater Management Permit Application
- Lighting Photometric Plan

Project Description

The subject property, commonly known as Oakbrook Elementary School, is located at 170 S Wood Dale Road (see image to the right) and is zoned R-1, Estate Residential. The approx. 5.2 acre site is improved with a brick school building, sports court, outdoor playground and parking lot (see Exhibit E).

The applicant has petitioned for a Special Use for a Planned Unit Development – Preliminary & Final Development Plan, and a Major Site Plan Review (see Exhibit A) that would grant approval for the continued elementary school use as well as allow for deviations from certain code requirements related to the expansion of the parking lot.

The applicant is proposing to demolish the existing hardscape surface play area to the west of their existing parking lot in order to construct an approximately 20,000 square feet (sf) parking lot expansion. The proposed parking lot improvements do not impact the existing curb cut on



Subject Site Location



View of the proposed parking lot expansion site looking west

Wood Dale Rd. The purpose of this project is to increase the capacity of the parking lot from 45 to 82 parking spaces (see table below). Per applicant, while the existing parking lot is adequate for daily operations, the expanded parking lot will better meet the parking needs for the increasing number of school and community events.

The proposed expansion will also provide additional stacking spaces for student drop-off and pick-up times. Reportedly, vehicles often back up into Wood Dale Road while waiting to circulate through the parent drop off/pick up lane. The proposed parking lot expansion will be able to accommodate approximately 25 additional vehicles on site, increasing the total vehicle stacking capacity to 43 (see table below). For clarity, the existing eastern driveway loop along Wood Dale Rd is used exclusively for bus traffic.

Parking Stall Summary			
	Standard	Accessible	Total
Existing	43	2	45
Proposed	78	4	82

Vehicle Stacking Summary	
Existing	18
Proposed	43

Additional site improvements include relocation of the trash enclosure and installation of bioswale with native vegetation to meet stormwater requirements.

Compliance with the Comprehensive Plan

The subject property is designated as Civic/Institutional in the Future Land Use Map of the Comprehensive Plan. This Land Use Category intends to maintain high quality civic and institutional facilities.

The proposed improvements will help the City achieve Goal 2, Objective 3: Improve Community Services and Intergovernmental Coordination. The project will allow the Wood Dale School District to improve its services to the community by providing expanded parking and additional stacking spaces for parent drop-off/pick-up.

The location of this school, along a major corridor but nestled within a residential neighborhood, provides an ideal setting to maintain the proposed complimentary and compatible land uses that can also utilize the existing road network. The proposed improvements will serve to provide enhanced services for the parents and visitors. The Special Use, Planned Unit Development and Major Site Plan Review requests are consistent with the Future Land Use and the Comprehensive Plan.

Compliance with the Unified Development Ordinance

Allowable Uses

The subject site is located within the R-1, Estate Residential zoning district. Per the current City Code, schools located in residentially zoned areas require a Special Use. The City staff did not find any record of a Special Use ever granted to Oakbrook Elementary School. The school was constructed prior to the enactment of the 1966 Zoning Ordinance, which first required a Special Use approval for schools. However, since a Special Use is required under the current regulations and the applicant is proposing changes to the site plan, the applicant

is seeking approval for the continued elementary school use as part of the Special Use request for Planned Unit Development.

Lot Development Standards

The only permitted building type for the R-1 zoning district is a Type 1 building for large detached houses. A deviation from this regulation is requested in order to provide greater flexibility, since this property is not a residential use. As part of the PUD, the applicant is seeking a deviation to use Type 9 building standards in Sec. 17.605.C.9.

The existing Type 1 building standards have a maximum permitted lot coverage of 40%, while the Type 9 building standards do not have a maximum lot coverage. The proposed parking lot expansion results in approximately 43% of lot coverage, however it would be permitted under the Type 9 building typology.

Development Standard	Type 1 Building Standards	Existing School	Type 9 Building Standards	Proposed Parking Lot Expansion
Lot Coverage	40% maximum	39% (88,447 sf)	N/A	43% (98,256 sf)

The proposed project does not include any changes to the existing school building. Therefore, the existing setbacks, building height and building coverage will remain unchanged.

Parking

An analysis of the parking requirements is summarized below with regulations in bold being requested as deviations:

Regulation	Required	Proposed
Number of Parking Spaces	44 spaces (1 per employee)	82 proposed
Regular Parking Stall Dimensions	9-feet by 18-feet	9-feet by 18-feet
Number of Handicapped Parking Spaces	4 spaces	4 spaces
H/C Parking Stall Dimensions	16-feet by 18-feet	16-feet by 18-feet (shared access aisle)
Drive Aisle Width	12-feet (one-way), 24-feet (two-way)	12-feet (one-way), 24-feet (two-way)
Min. setback from residential district	20-feet	4.75-feet, 7.75-feet

The existing parking located along the south property line does not conform to the 20-foot parking setback required from residential properties but is not proposed to change. The proposed parking lot expansion is consistent with the existing 4.75' setback to allow for traffic flow, but increases to 7.75' setback further to the west (see Exhibit B). The applicant is requesting a deviation for reduction of the parking lot setback as designing the expansion to meet the required 20' setback would create a jogged drive aisle connecting the existing

parking lot to the extension and would significantly reduce the number of parking spaces that could be provided.

Landscaping

Although there are three trees proposed to be removed as part of the proposed improvements, the tree replacement provisions of Section 17.606.B do not apply.

As part of the proposed parking lot expansion, the existing trash enclosure will be removed and relocated to the north-west end of the expanded parking lot. The new enclosure will be located further away from the public right of way and adjacent properties and will be screened by a solid fence. A deviation is requested from Sec.17.606.C.7.a, allowing elimination of the required landscape screening around the trash enclosure, due to the significant distance from property lines and presence of already mature trees on site.



Existing trash enclosure to be removed

In an attempt to minimize new impervious area, there is limited space in the new parking area to provide the required landscape islands at the end of each parking row, per Section 17.606.C.9.b(1). Further, installation of interior landscape islands would greatly reduce the number of available parking spaces and per applicant, make this project infeasible for the District. One of the intents for the interior parking lot landscaping is to break up long rows of parking spaces. However, the proposed parking rows range from only 4 to 9 parking spaces in length. In addition, the existing parking lot, which will remain as is, does not currently have any interior landscape islands. The applicant is requesting a deviation to allow elimination of the required interior parking lot islands.

The perimeter of the proposed parking lot expansion, adjacent to the residential property, is bordered by an existing chain link fence and numerous deciduous and coniferous vegetation. The applicant is proposing a solid landscaping screen composed of shrubs and evergreens with a minimum height of 6' to complement the screening (see Exhibit C). However, a deviation is requested to eliminate the requirement for perimeter shade trees per Sec. 17.606.C.9.c.(2), due to numerous mature trees throughout the subject site, as well as overhead utility wires along the south property line. The proposed vegetation in conjunction with the existing mature trees will meet the intent of the perimeter landscaping code requirements.

Stormwater Management

Applying Type 9 building standards to the subject property eliminates any maximum lot coverage requirements. However, lot coverage is a zoning regulation and the stormwater management regulations apply even if there is no maximum lot coverage. The applicant proposes to install a bioswale basin with native vegetation including grasses and shrubs to meet the stormwater management regulations. The City engineer has reviewed the proposed plans and concluded that they meet the Final Development Plan requirements.

Because the net new impervious area of the proposed development (approx. 9,800 square feet) is less than the City's 10,000 square feet threshold for stormwater detention, detention will not be required. However, if future development takes place on the property that adds an additional impervious area, stormwater detention requirements will be retroactively applied to this development.

The School District is requesting a waiver of the Performance Security requirements in Section 17.809 of the UDO, as they are a public entity. The Performance Security requirement in DuPage County's Stormwater Management regulations exempts public bodies from this requirement but ours does not. The City will be evaluating our stormwater regulations to see if this should be incorporated back into the code.

Public Safety

The Wood Dale Fire Protection District has reviewed the proposed improvements and determined that there is sufficient access for emergency vehicles to access the site (see Exhibit D).

PUD Process

The petitioner is requesting a combined concept, preliminary and final development plan to facilitate construction commencement immediately upon approval. The requested Special Use, PUD and Major Site Plan Review is consistent with the UDO.

Neighborhood Comment

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO. Staff received one inquiry regarding the requests as of May 15, 2019. The interested individual is a resident in the multi-family parcel to the south of the school and wanted to review the application and proposed designs of the parking lot prior to the public hearing.

Findings of Fact

The Community Development Commission may recommend approval of a Special Use, a Planned Unit Development, and a Major Site Plan Review if evidence is presented to establish that the application meets the standards. The applicant has provided responses to the standards in Exhibit A. The standards are as follows (*staff comments italicized*):

Special Use Standards

1. The proposed Special Use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

The subject property has been used as a public school for over 60 years. As part of this petition, the applicant is seeking a Special Use for continued use as an elementary school as there is no record of a prior Special Use approval. The location of the subject site, along a major corridor but nestled within a residential neighborhood, provides an ideal setting for educational services by utilizing the existing road network. The proposed parking lot improvements will provide enhanced services for parents and visitors, improving quality of life within the community. As a public school, the location is necessary and desirable for the residents surrounding the school as well as for those traveling by car, thereby enhancing the existing neighborhood and contributing to the general welfare of the neighborhood and community. This standard is met.

2. The proposed Special Use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

The proposed Special Use will not adversely affect the adjacent properties, but would rather improve the parking for school and community events as well as provide improved stacking facilities available to parents at drop-off and pick-up. The proposed improvements minimize impact to adjacent residential uses by installing a 100% landscape screening along the south property line and siting the trash enclosure further away from the property line. Utility facilities and other matters affecting public safety are not anticipated to be impacted by the proposed Special Use. This standard is met.

3. The proposed Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

The proposed Special Use will not impair the use or enjoyment of adjacent properties and is not likely to negatively affect property values. The existing residential neighborhood surrounding the school will continue to be used as it is currently. In fact, the proposed improvements will provide a better landscape buffer between the school and the residential parcel to the south. This standard is met.

4. The nature, location, and size of buildings or structures involved with the establishment of the Special Use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

Although the school is located within an existing residential neighborhood and can function like a commercial use with regards to parking, lighting and possibly noise, the design of the school building is compatible with and complementary to the neighborhood. The expansion of the parking lot facilities will not be noticeable from Wood Dale Road; impede, substantially hinder or discourage development of the adjacent properties. This standard is met.

5. The proposed Special Use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

The proposed Special Use would provide for continued use of the property as an elementary school use along with enhanced parking services for parents and the community with minimal impact to adjacent properties. The development and use of neighboring properties would not be impaired by the approval of the requested Special Use. This standard is met.

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

The proposed development plan provides for adequate utilities, drainage and other necessary facilities in accordance with code requirements. This standard is met.

7. Parking areas shall be of adequate size for the particular Special Use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and

The existing parking lot is being expanded to accommodate the needs for parking during special school and community events and to expand the vehicle stacking during parent drop-off and pick-up. The use of the existing driveway will continue to provide for safe and efficient circulation. Since the parking lot expansion is located to the west of existing parking lot, there will no impact to the existing curb cut on Wood Dale Rd. The parking lot expansion will be screened with landscaping along the south property line. This standard is met.

8. Such other standards and criteria as are established by the ordinance for a particular Special Use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

The standards for PUDs are evaluated below, per Section 17.405 of the UDO. This standard is met.

General Standards and Criteria for Planned Unit Developments

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

The proposed improvements will not hinder or prevent the development of surrounding properties as the surrounding area was previously developed and any redevelopment of the area can still occur without impact. The existing residential neighborhood will continue to be used as it is currently and in accordance with the Comprehensive Plan but with enhanced parking facilities at the school. This standard is met.

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

The proposed improvements are scheduled to be completed as soon as the project receives City approval. Upon approval of the permit, the improvements will be required to be completed within one year, which is a reasonable time frame for this project. This standard is met.

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

Although the subject property contains three lots of record, it is treated as one zoning lot that is held in common ownership by the Wood Dale School District #7. This standard is met.

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

The installation of the bioswale basin as stormwater best management practice (BMP) will require the recording of a note to title regarding the existing and maintenance of the BMP. This standard is met.

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.

No change is proposed or necessary to existing sanitary and water services. The stormwater BMP is proposed in a location to capture additional runoff from the proposed improvements. This standard is met.

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.

The location and arrangement of the parking lot improvement is an extension of the existing parking lot and as such it minimizes impact to the adjacent uses. The addition of a landscape screening along the south property line will help to protect the privacy of the neighbors. The subject site is already wooded and the applicant has proposed to remove only the trees that are within and immediately adjacent to the construction footprint. This standard is met.

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

The subject property is currently an existing elementary school. The proposed improvements are likely to further encourage neighborhood and/or community cohesiveness as a result of providing improved parking accommodations for services offered to the community. This standard is met.

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

The use proposed in the PUD is both necessary and desirable for the community quality of life. Per the applicant, "due to the increasing frequency of school and community events, as well as traffic stacking issues during daily drop off/pick-up times, the proposed parking lot expansion is both desirable and necessary for the continued operation of the elementary school at the subject site." This standard is met.

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

The Comprehensive Plan has designated the subject site as Civic/Institutional. The expansion and renovation of the parking lot will continue the civic land use. This standard is met.

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

This site is subject to the regulations of the R-1, Estate Residential, zoning. However, the fact that the school functions similar to a commercial business has prompted the applicant to request deviations starting with the building typology to allow construction of a type 9 building. The deviations requested relative to landscaping are due to the existing wooded lot as well as the location of the proposed improvements. The improvements planned will provide an improved parking facilities for the community, while respecting the use of the adjacent residential properties. The school amenities promote the general welfare of the public and would be limited if required to adhere to the R-1 zoning regulations. This standard is met.

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.

The existing site is wooded and the applicant has proposed to add landscaping to comply with code requirements, where reasonable. Given the existing tree coverage, the applicant is not proposing to plant more trees but will supplement the existing vegetation with shrubbery and evergreens to soften and buffer the improvements, as necessary. This standard is met.

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

No additional streets or driveways are proposed to serve the proposed improvements. This standard is not applicable.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

There are no dwelling units within the PUD and no off street parking is proposed. However, the parking expansion will be screened in accordance with the code requirements. This standard is met.

14. A pedestrian circulation network is provided.

An existing pedestrian circulation is provided. The proposed improvements will extend the sidewalk along the north of the parking lot expansion to provide

pedestrian access to the parking stalls as well as the rear of the property. This standard is met.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

All required utilities will be installed in accordance with applicable codes. This standard is met.

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

The proposed PUD will provide for improved parking facilities in conjunction with the existing use as a neighborhood school. The vehicle stacking improvements intent to provide a save and desirable site circulation, while expansion of existing parking lot is a rational development in order to meet the needs of the school patrons and the community. As such, objectives 5 and 6 are met by the proposed improvements and requested PUD. This standard is met.

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

There are no existing rivers, lakes, wetlands or fens on or in near proximity to the planned unit development. The Salt Creek is located on the Forest Preserve property located to the west of the subject site, but is more than 1,400 feet away from the proposed improvements. This standard is met.

Standards For Site Plan Review:

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;

As presented, the site plan meets the policies, goals and objectives of the Comprehensive Plan. The proposed parking lot expansion will help the City achieve Goal 2, Objective 3: Improve Community Services and Intergovernmental Coordination. The project will allow the Wood Dale School District to improve its services to the community by providing expanded parking for school and community events and additional stacking spaces for parent drop-off/pick-up. The subject property is designated as Civic/Institutional in the Future Land Use Map of the Comprehensive Plan. This Land Use Category intends to maintain high quality civic and institutional facilities. This standard is met.

2. The proposed traffic and parking layout minimizes the danger and conflicts between pedestrians and motorists, provides efficient and convenient movement of traffic not only

within the site but on adjacent roadways, and otherwise complies with the requirements of this chapter;

The existing ingress/egress will not change as part of the proposed improvements. However, the parking lot expansion is intended to improve the parking accommodations as well as provide greater vehicle stacking area, potentially minimizing danger and conflict between pedestrians and motorists along South Wood Dale Rd. This standard is met.

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;

The location of the existing structures does not affect traffic circulation and will not be changed. The proposed parking lot expansion is intended to improve safe and efficient circulation, eliminating potential vehicle back-up along Wood Dale Road. The stormwater drainage will be provided on site via a bioswale and landscape screening will be installed to privacy for the neighboring properties. This standard is met.

4. That the proposed use(s) is/are permitted in the district in which the property is located;

The residential zoning of this property requires a Special Use to continue the elementary school use and the PUD approval will authorize the necessary deviations to provide a greater benefit to the community than would otherwise be available under the residential zoning. This standard is met.

5. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;

The proposed parking expansion, landscaping and drainage is compatible with adjacent land uses and employs sound planning principles. Additionally, the installation of the landscape screening will help to increase the use and enjoyment of the adjacent properties. This standard is met.

6. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage areas are present on site. The existing trash enclosure will be removed and relocated to a location further away public view. The new trash enclosure will be screened by a solid fence. Landscaping will also be planted along the south property line to screen the expanded parking lot. This standard is met.

RECOMMENDATION

The Community Development Department finds that the request for a Special Use, a Planned Unit Development and a Major Site Plan Review for the continued elementary school use and deviations from certain code requirements related to the expansion of the parking lot is compatible with surrounding zoning and land use classifications, meets the

requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Special Use, Planned Unit Development and Major Site Plan Review meets the standards of approval and is consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo as the findings of the Community Development Commission, and recommend to the City Council approval of Case No. 2019-CDC-06 with the following conditions:

1. The Special Use, Planned Unit Development and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
2. A note to title shall be recorded to identify the existence of the stormwater best management practices (BMP).

(Vote Yes to approve; vote No to deny)



May 1, 2019

Ms. Gosia Pociecha, AICP
City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191

Re: PUD Application
Parking Lot Expansion
Oakbrook Elementary School
170 S. Wood Dale Rd, Wood Dale, IL 60191

LEI Project No: 22180015.000

Dear Ms. Pociecha:

Site Description

Oakbrook Elementary School is located at 170 S. Wood Dale Road in the City of Wood Dale, Illinois on an approximately 5.299 acre site. The property is bounded by residential homes to the north, the Salt Creek Park Forest Preserve to the west, a multi-family residential complex to the south, and South Wood Dale Road to the east. The parcel is currently zoned R-1 Estate Residential.

Development Proposal

Wood Dale School District 7 is proposing to demolish the existing hard surface play space to the west of their existing parking lot in order to construct an approximately 20,000 square foot parking lot expansion. While the existing 45 parking spaces are adequate for the daily operations of the school, the proposed 37 additional spaces will serve as overflow parking during school and community events. Additionally, the vehicle stacking spaces within the existing lot are inadequate for peak student drop-off and pick-up times. District staff has reported that vehicles often back up into South Wood Dale Road while waiting to circulate through the parent drop off/pick up lane. The proposed plan will allow for 25 additional vehicle stacking spaces. The existing eastern driveway loop is used exclusively for bus traffic.

Additional site improvements associated with the parking lot expansion include relocation of the trash enclosure and construction of a native vegetated basin to meet stormwater requirements.

Applicant Requests

Wood Dale School District 7 is seeking the following:

- Special Use approval to allow for a Planned Unit Development and granting approval for the continued elementary school use,
- PUD – Combined Preliminary and Final Development Plan review allowing for deviations from certain code requirements (listed below),

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City of Wood Dale

- Waiver of the “soft” costs associated with the approval and permitting processes, including the application fees.

Requested Deviations

Section 17.606.C.7.a of the Zoning Ordinance to allow the elimination of landscape screening for refuse collection areas.

The refuse collection area is being relocated further from the adjacent properties and the public way and will be screened from view with solid fencing in order to meet the intent of the screening requirement.

Section 17.606.C.9.b.(1) and (2) of the Zoning Ordinance to allow for elimination of the interior parking lot landscaping.

Due to the skewed geometry of the existing improvements in relation to the property line, installation of the code required interior parking lot landscaping would greatly reduce the number of available parking spaces and make the project infeasible for the District. Per the zoning code, the intent of the interior parking lot landscaping is to break up long rows of parking spaces and provide locations for bioswales and other stormwater filtering devices. The proposed parking rows range from only 4 to 9 parking spaces in length. Native vegetation, including grasses and shrubs will be installed in the proposed BMP basin along the western perimeter of the proposed parking lot expansion. Additionally, there are numerous mature trees throughout the subject site, including along the south, west and north of the proposed parking lot expansion.

Section 17.606.C.9.c.(2) of the Zoning Ordinance to allow for a decrease of the minimum Parking Lot Perimeter Landscaping.

The perimeter of the proposed parking lot expansion, adjacent to the residential property, is bordered by an existing chain link fence and numerous deciduous and coniferous vegetation. The District is proposing conifers and shrubbery to infill any portions of the parking lot perimeter which are not screened by existing vegetation; however, no shade trees are proposed. The proposed vegetation in conjunction with the existing mature trees will meet the intent of the perimeter landscaping code requirements.

Section 17.607.C.5 of the Zoning Ordinance to allow for a decrease of the minimum setback from adjacent residential districts from 20 feet to 4.75 feet.

Due to the skewed geometry of the existing improvements in relation to the property line, applying a 20' setback would greatly reduce the number of available parking spaces and make the project infeasible for the District. The 4.75 foot minimum setback is consistent with the existing parking lot setback to allow for sufficient traffic flow; further to the west, the setback increases to 7.75 feet. The parking lot expansion will be screened with existing and proposed vegetation for 100% of the length of the expansion.

Section 17.605.C.1.b of the Zoning Ordinance to allow for an increase in the maximum lot coverage in the R-1, Estate Residential District.

Since the property is not a residential use, the Type 9 Building Typology (Section 17.605.C.9) is more appropriate for the subject site. Type 9 Buildings do not have a maximum lot coverage requirement.

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Special Use Standard Compliance

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community.
The subject site has been used as a school since 1957 and complements the surrounding residential uses as a neighborhood school. The special use is both desirable and necessary to allow for the continued use as a neighborhood elementary school.
2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare.
The subject site has been used as a school since 1957 and complements the surrounding residential uses as a neighborhood school. The special use will not have a substantial adverse impact upon the adjacent properties or the neighborhood.
3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood.
The subject site has been used as a school since 1957 and complements the surrounding residential uses as a neighborhood school. The special use will not be injurious to the use and enjoyment of the surrounding residential properties, nor substantially diminish and impair other property valuations.
4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie.
The site currently contains one school building, with associated parking and playground areas. The nature, location, and size of the existing buildings does not impede, substantially hinder, or discourage the development and use of adjacent properties.
5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations.
The existing improvements and proposed project are arranged and designed such that neighboring properties can be further developed in accordance with applicable district regulations.
6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided.
The existing school building is already serviced by adequate utilities and access driveways to South Wood Dale Road. Due to the increasing frequency of school and community events, as well as traffic stacking issues during daily drop off/pick up times, the proposed parking lot expansion is both desirable and necessary for the continued operation of the elementary school at the subject site.
7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitable screened from adjoining residential uses, and the entrance and

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exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets.

The existing school building is already serviced by adequate access driveways to South Wood Dale Road and parking for its 44 employees. Due to the increasing frequency of school and community events, as well as traffic stacking issues during daily drop off/pick up times, the proposed parking lot expansion is both desirable and necessary for the continued operation of the elementary school at the subject site.

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of Chapter 17 Article IV Section 403 of the Municipal Code, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405 of the Municipal Code.

The following sections detail compliance with the additional standards.

Major Site Plan Review Standard Compliance

1. The relationship of the site plan is consistent with the policies, goals and objectives of the comprehensive plan.

The proposed parking lot expansion, in conjunction with the existing use as a neighborhood school, is consistent with the policies, goal, and objectives of the comprehensive plan.

2. The proposed traffic and parking layout minimizes the danger and conflicts between pedestrians and motorists, provides efficient and convenient movements of traffic not only within the site but on adjacent roadways, and otherwise complies with the requirements of this chapter.

The proposed parking lot expansion does minimize the danger and conflicts between pedestrians and motorists. It allows for improved traffic flow and additional vehicle stacking during daily drop-off/pick up times, which will in turn improve congestion at South Wood Dale Road.

3. The location of principal structures, accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements.

The location of existing buildings and signage does not impede safe and efficient traffic circulation or stormwater drainage. The proposed parking lot expansion will ease traffic congestion during daily drop-off/pick up times and incorporates a bioswale to meet stormwater requirements. The existing and proposed improvements do not adversely impact adjacent properties or their future improvements.

4. That the proposed use(s) is/are permitted in the district in which the property is located.

A Special Use approval is sought in order to allow for a PUD for the subject site.

5. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles.

The existing and proposed arrangement of buildings, parking, access driveways, lighting, landscaping, and drainage is compatible with the adjacent land uses and grading.

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6. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage areas exist or are proposed on the subject site. The proposed trash enclosure will be screened with solid fencing.

PUD Standard Compliance

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

The subject site has been used as a school since 1957 and complements the surrounding residential uses as a neighborhood school. The proposed parking lot expansion will not adversely impact the surrounding property.

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

The proposed parking lot expansion does not require phasing and will be completed as soon as practicable following City approval.

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

The proposed parking lot expansion is entirely within a parcel owned by one ownership entity (Wood Dale School District #7).

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

The development plan only contains a parking lot expansion for a single public facility. No such covenants, easements or other provisions are necessary.

5. Sanitary Sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.

No new sanitary sewers, storm sewers or water supplies are proposed for the parking lot expansion. The proposed development will not reduce existing capacities or utility services or overload local facilities beyond design capacity.

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or accessways, is landscaped or otherwise improved.

The proposed parking lot expansion is being extended directly from the existing parking lot on the subject site. All disturbed area that is not finished with hardscape will be stabilized with vegetative cover.

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7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

The proposed parking lot expansion is cohesive with the existing neighborhood elementary school on the subject site.

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

Due to the increasing frequency of school and community events, as well as traffic stacking issues during daily drop off/pick up times, the proposed parking lot expansion is both desirable and necessary for the continued operation of the elementary school at the subject site.

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

The proposed planned unit development is an existing school which has been in operation since 1957.

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

The aforementioned requested deviations are warranted in order for the District's continued operation of the site as an elementary school. The proposed development is not inconsistent with the public general welfare.

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of this chapter is provided.

The subject site contains numerous mature trees and landscaping throughout which will be retained with the proposed parking lot expansion.

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois Department of Transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the City Council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

No new entrance points, driveways or traffic control devices are proposed for the subject site. The existing driveway entrances are adequate for the traffic to the site.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

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The proposed off street parking is an extension of existing parking and is convenient to building entrances. The proposed parking lot expansion will be screened, as described previously, by existing and proposed landscaping.

14. A pedestrian circulation network is provided.

The existing and proposed improvements onsite allow for pedestrian circulation.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof.

Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, and prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

The existing school building is already serviced by electrical and telecommunication utilities. Stormwater management for the proposed parking lot expansion is provided in accordance with City regulations.

16. The proposed planned unit development satisfies the applicable objectives provided on page 9 of the PUD packet.

The proposed parking lot expansion, in conjunction with the existing use as a neighborhood school, is consistent with the PUD Objectives listed.

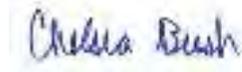
17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

There are no existing ponds, creeks, rivers, lakes, wetlands or fens located on or adjacent to the subject site.

If you have any further questions regarding this matter, please feel free to contact our office.

Sincerely,

Larson Engineering, Inc.



Chelsea E. Bush
Engineer III – Civil
cbush@larsonengr.com

CEB:jlb

PROJECT: PARKING LOT EXPANSION

THE OAKBROOK ELEMENTARY SCHOOL

170 S. WOOD DALE ROAD, WOOD DALE, IL

2019 SITE IMPROVEMENTS AT OAKBROOK ELEMENTARY SCHOOL

170 S WOOD DALE ROAD
WOOD DALE, IL 60191

ARCHITECT

Legat Architects
2015 Spring Road
Oak Brook, IL 60523
P: 630.357.0540
www.legat.com

CIVIL ENGINEER

Larson Engineering
1488 Bond Street Suite 100
Naperville, IL 60563
P: 630.357.0540
www.larsonengr.com
IL Design Firm #184-001442
LEI Job #22180015.000

Exhibit B



PROJECT SITE

LOCATION MAP
N.T.S.

CIVIL INDEX OF DRAWINGS

DESCRIPTION	SHEET NO.
EXISTING CONDITIONS	C1.0
DEMOLITION PLAN	C2.0
GEOMETRIC PAVING PLAN	C3.0
GRADING PLAN	C4.0
EROSION CONTROL PLAN	C5.0
NOTES	C6.0

ABBREVIATIONS

ADS	ADVANCED DRAINAGE SYSTEMS, INC.
B/W	BOTTOM OF WALL
C	TOP OF CONCRETE
CB	PRECAST CONCRETE CATCH BASIN
CMP	CORRUGATED STEEL PIPE
DB	ADS DRAIN BASIN
DIP	DUCTILE IRON PIPE
EX	EXISTING
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
HDPE	HIGH DENSITY POLYETHYLENE
IND	ADS INLINE DRAIN
INL	PRECAST CONCRETE INLET
INV	INVERT
MH	PRECAST CONCRETE MANHOLE
P	TOP OF PAVEMENT
PC	PORTLAND CEMENT
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
SAN	SANITARY
STM	STORM DRAIN
SD	SLOTTED DRAIN
TC	TOP OF CURB
TD	TRENCH DRAIN
TDHP	TRENCH DRAIN HIGH POINT
TDLP	TRENCH DRAIN LOW POINT
TW	TOP OF SIDEWALK
T/WM	TOP OF WATER MAIN
UC	UTILITY CROSSING
V	VALVE
WM	WATER MAIN
WS	WATER SERVICE

LEGEND

EXISTING	PROPOSED

FOR BURIED AND OVERHEAD UTILITIES:
E=ELECTRIC T=TELEPHONE C=COMMUNICATIONS G=GAS

BENCHMARK

SITE BENCHMARK:
NORTHWEST BONNET BOLT ON FIRE HYDRANT ALONG SOUTH BOUNDARY LINE
APPROXIMATELY 390 FEET WEST OF CENTERLINE OF WOOD DALE ROAD.
ELEVATION = 704.75

ELEVATIONS HEREON REFER TO NAVD88 AS ESTABLISHED BY THE TRIMBLE
GPS SYSTEM.

LEGAL DESCRIPTION

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 16,
TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE 3RD PRINCIPAL MERIDIAN, IN
DUPAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: OAKBROOK ELEMENTARY SCHOOL @ 170 S. WOOD
DALE RD., WOOD DALE, ILLINOIS.

BOUNDARY & TOPOGRAPHIC INFORMATION BASED
ON TOPOGRAPHIC EXHIBIT BY:
RIDGELINE CONSULTANTS, LLC
DATE: JANUARY 9, 2019



Digitally signed by Joseph Tindler
Date: 2019.05.01
14:48:44-05'00'

EXP:
11/30/19

SIGNATURE:
DATE: 05/01/19

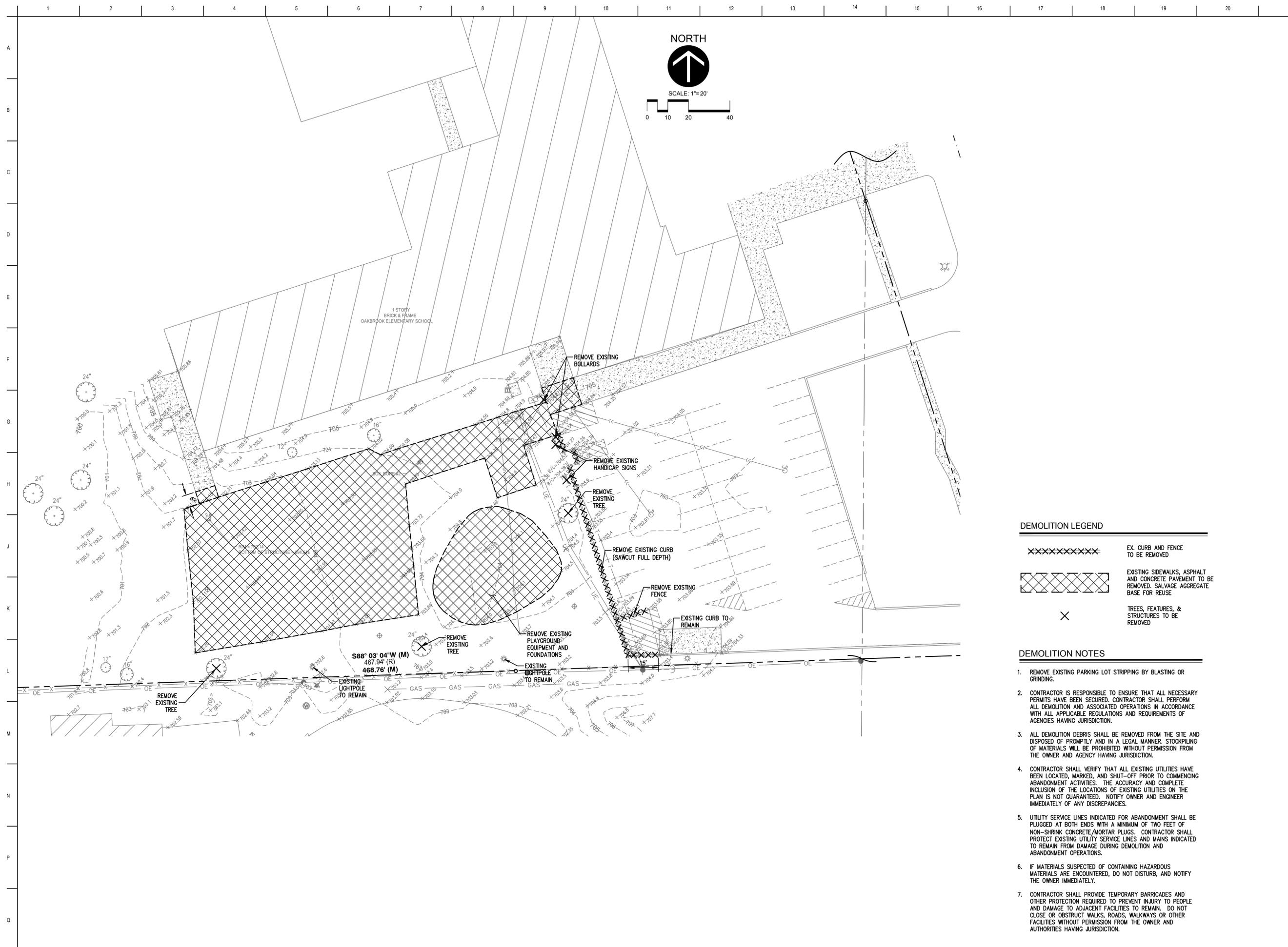
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EXISTING
CONDITIONS

C1.0



**WOOD DALE
SCHOOL
DISTRICT 7**

**2019 SITE
IMPROVEMENTS
AT
OAKBROOK
ELEMENTARY
SCHOOL**

170 S WOOD DALE ROAD
WOOD DALE, IL 60191

ARCHITECT

Legat Architects
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Oak Brook, IL 60523
P: 630.990.3535
www.legat.com

CIVIL ENGINEER

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Naperville, IL 60563
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IL Design Firm #184-001442
LEI Job #22180015.000

DEMOLITION LEGEND

- XXXXXXXXXX EX. CURB AND FENCE TO BE REMOVED
- XXXXXX EXISTING SIDEWALKS, ASPHALT AND CONCRETE PAVEMENT TO BE REMOVED. SALVAGE AGGREGATE BASE FOR REUSE
- X TREES, FEATURES, & STRUCTURES TO BE REMOVED

DEMOLITION NOTES

1. REMOVE EXISTING PARKING LOT STRIPPING BY BLASTING OR GRINDING.
2. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN SECURED. CONTRACTOR SHALL PERFORM ALL DEMOLITION AND ASSOCIATED OPERATIONS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS OF AGENCIES HAVING JURISDICTION.
3. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROMPTLY AND IN A LEGAL MANNER. STOCKPILING OF MATERIALS WILL BE PROHIBITED WITHOUT PERMISSION FROM THE OWNER AND AGENCY HAVING JURISDICTION.
4. CONTRACTOR SHALL VERIFY THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED, MARKED, AND SHUT-OFF PRIOR TO COMMENCING ABANDONMENT ACTIVITIES. THE ACCURACY AND COMPLETE INCLUSION OF THE LOCATIONS OF EXISTING UTILITIES ON THE PLAN IS NOT GUARANTEED. NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
5. UTILITY SERVICE LINES INDICATED FOR ABANDONMENT SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO FEET OF NON-SHRINK CONCRETE/MORTAR PLUGS. CONTRACTOR SHALL PROTECT EXISTING UTILITY SERVICE LINES AND MAINS INDICATED TO REMAIN FROM DAMAGE DURING DEMOLITION AND ABANDONMENT OPERATIONS.
6. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB, AND NOTIFY THE OWNER IMMEDIATELY.
7. CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT FACILITIES TO REMAIN. DO NOT CLOSE OR OBSTRUCT WALKS, ROADS, WALKWAYS OR OTHER FACILITIES WITHOUT PERMISSION FROM THE OWNER AND AUTHORITIES HAVING JURISDICTION.



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**DEMOLITION
PLAN**

C2.0

WOOD DALE
SCHOOL
DISTRICT 7

2019 SITE
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AT
OAKBROOK
ELEMENTARY
SCHOOL

170 S WOOD DALE ROAD
WOOD DALE, IL 60191

ARCHITECT

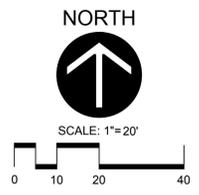
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PARKING STALL SUMMARY			
	STANDARD	ADA	TOTAL
EXISTING	43	2	45
PROPOSED	78	4	82

VEHICLE STACKING SUMMARY	
EXISTING	18
PROPOSED	43



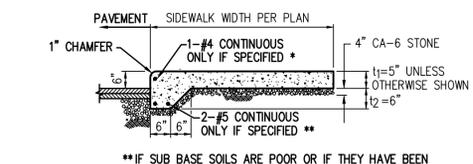
EXISTING IMPERVIOUS SURFACE	88,447 SF
NET NEW IMPERVIOUS SURFACE	9,809 SF
TOTAL IMPERVIOUS SURFACE	98,256 SF

SURFACE LEGEND

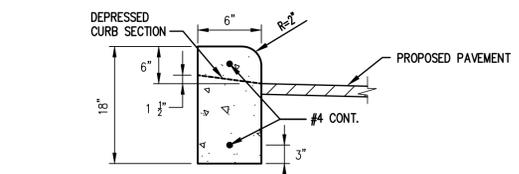
- LIGHT DUTY ASPHALT PAVEMENT
1.5" HMA SURFACE COURSE, IL-9.5, N50, 4% AIR VOIDS, MIX "D"
2.25" HMA BINDER COURSE, IL-19.0, N50, 4% AIR VOIDS, MIX "D"
8" AGGREGATE BASE COURSE, TYPE B, GRADATION CA-6
- CONCRETE SIDEWALK
5" P.C. CONCRETE (CLASS SI)
4" AGGREGATE BASE COURSE, TYPE B, GRADATION CA-6
- CONCRETE PAVEMENT
8" P.C. CONCRETE (CLASS PV) w/ #4 BARS @ 18" O.C.E.W.
6" AGGREGATE BASE COURSE, TYPE B, GRADATION CA-6
- BIOSWALE
NATIVE PLANT
2" SOIL MEDIA MIX (50% SAND, 30% COMPOST, 20% TOPSOIL)
1" COURSE AGGREGATE STORAGE BED

PAVEMENT NOTES

- SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- PARKING STALL STRIPING SHALL BE 4" WIDE YELLOW OR WHITE PAINT MEETING IDOT SPECIFICATION IN ART. 1095.02 OF THE STANDARD SPECIFICATIONS AND SHALL BE APPLIED IN ACCORDANCE WITH ART. 780.
- ALL NON-PAVED AREAS DISTURBED OR REGRADED SHALL BE BACKFILLED WITH A MINIMUM OF 6" TOPSOIL AND SEEDED.
- TIE NEW CURB TO EXISTING CURB WITH 2 #4 REBARS (24" LENGTH, 12" ON EITHER SIDE) EPOXIED INTO EXISTING.



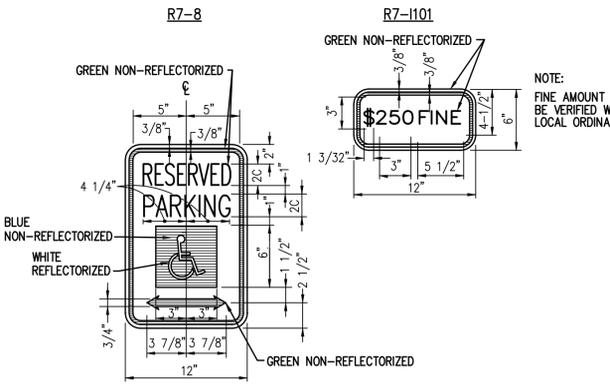
6 SIDEWALK SECTION
AS CURB AGAINST PAVEMENT
C3.0 NTS



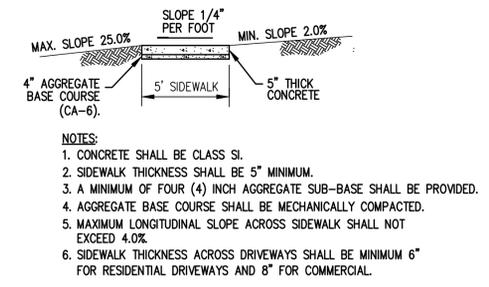
- NOTES:
- 3/4" PERFORMED EXPANSION STRIPS WITH TWO (2) NUMBER 5 SMOOTH DOWEL BARS WITH GREASE CAPS SHALL BE PLACED EVERY 150 FEET, AND AT PC'S AND PT'S.
 - TOOLED CONTROL JOINTS OR SAWCUTS SHALL BE MADE EVERY 15 FEET.
 - SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS AND SEALED WITH A CITY APPROVED JOINT SEALANT. JOINTS SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF SEALANT.

5 CONCRETE BARRIER CURB
C3.0 NTS

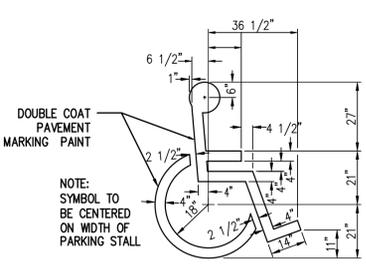
4 PAINTED DIRECTIONAL ARROW
C3.0 NTS



3 HANDICAPPED PARKING SIGNS
C3.0 NTS



2 SIDEWALK CROSS-SECTION
C3.0 NTS



1 HANDICAPPED PAINTED SYMBOL
C3.0 NTS



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GEOMETRIC
PAVING
PLAN

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WOOD DALE
SCHOOL
DISTRICT 7

2019 SITE
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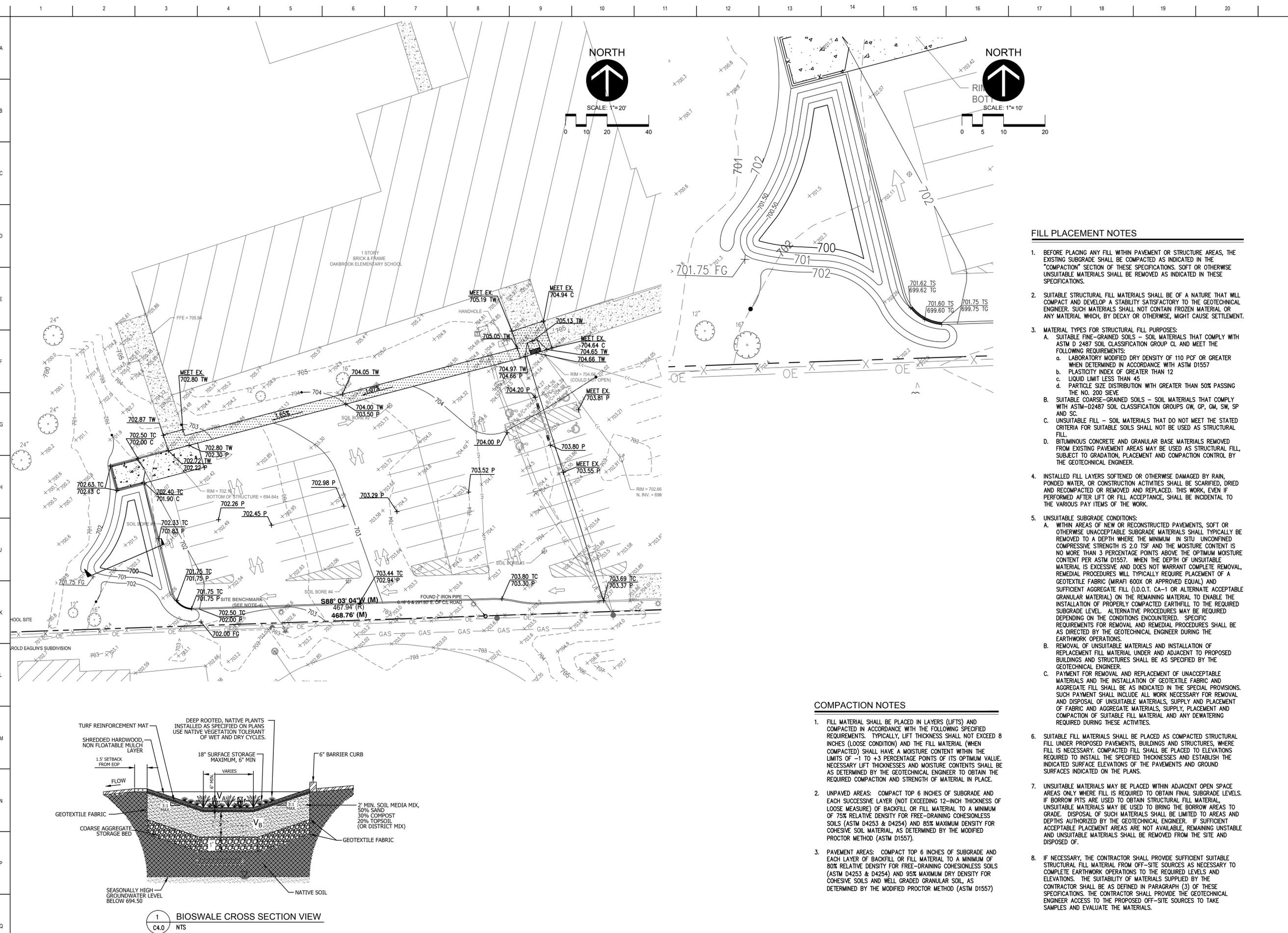
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FILL PLACEMENT NOTES

- BEFORE PLACING ANY FILL WITHIN PAVEMENT OR STRUCTURE AREAS, THE EXISTING SUBGRADE SHALL BE COMPACTED AS INDICATED IN THE "COMPACTION" SECTION OF THESE SPECIFICATIONS. SOFT OR OTHERWISE UNSUITABLE MATERIALS SHALL BE REMOVED AS INDICATED IN THESE SPECIFICATIONS.
- SUITABLE STRUCTURAL FILL MATERIALS SHALL BE OF A NATURE THAT WILL COMPACT AND DEVELOP A STABILITY SATISFACTORY TO THE GEOTECHNICAL ENGINEER. SUCH MATERIALS SHALL NOT CONTAIN FROZEN MATERIAL OR ANY MATERIAL WHICH, BY DECAY OR OTHERWISE, MIGHT CAUSE SETTLEMENT.
- MATERIAL TYPES FOR STRUCTURAL FILL PURPOSES:
 - SUITABLE FINE-GRAINED SOILS - SOIL MATERIALS THAT COMPLY WITH ASTM D 2487 SOIL CLASSIFICATION GROUP CL AND MEET THE FOLLOWING REQUIREMENTS:
 - LABORATORY MODIFIED DRY DENSITY OF 110 PCF OR GREATER WHEN DETERMINED IN ACCORDANCE WITH ASTM D1557
 - PLASTICITY INDEX OF GREATER THAN 12
 - LIQUID LIMIT LESS THAN 45
 - PARTICLE SIZE DISTRIBUTION WITH GREATER THAN 50% PASSING THE NO. 200 SIEVE
 - SUITABLE COARSE-GRAINED SOILS - SOIL MATERIALS THAT COMPLY WITH ASTM-D2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP AND SC.
 - UNSUITABLE FILL - SOIL MATERIALS THAT DO NOT MEET THE STATED CRITERIA FOR SUITABLE SOILS SHALL NOT BE USED AS STRUCTURAL FILL.
 - BITUMINOUS CONCRETE AND GRANULAR BASE MATERIALS REMOVED FROM EXISTING PAVEMENT AREAS MAY BE USED AS STRUCTURAL FILL, SUBJECT TO GRADATION, PLACEMENT AND COMPACTION CONTROL BY THE GEOTECHNICAL ENGINEER.
- INSTALLED FILL LAYERS SOFTENED OR OTHERWISE DAMAGED BY RAIN, PONDED WATER, OR CONSTRUCTION ACTIVITIES SHALL BE SCARIFIED, DRIED AND RECOMPACTED OR REMOVED AND REPLACED. THIS WORK, EVEN IF PERFORMED AFTER LIFT OR FILL ACCEPTANCE, SHALL BE INCIDENTAL TO THE VARIOUS PAY ITEMS OF THE WORK.
- UNSUITABLE SUBGRADE CONDITIONS:
 - WITHIN AREAS OF NEW OR RECONSTRUCTED PAVEMENTS, SOFT OR OTHERWISE UNACCEPTABLE SUBGRADE MATERIALS SHALL TYPICALLY BE REMOVED TO A DEPTH WHERE THE MINIMUM IN SITU UNCONFINED COMPRESSIVE STRENGTH IS 2.0 TSF AND THE MOISTURE CONTENT IS NO MORE THAN 3 PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT PER ASTM D1557. WHEN THE DEPTH OF UNSUITABLE MATERIAL IS EXCESSIVE AND DOES NOT WARRANT COMPLETE REMOVAL, REMEDIAL PROCEDURES WILL TYPICALLY REQUIRE PLACEMENT OF A GEOTEXTILE FABRIC (MIRAFI 600X OR APPROVED EQUAL) AND SUFFICIENT AGGREGATE FILL (L.D.O.T. CA-1 OR ALTERNATE ACCEPTABLE GRANULAR MATERIAL) ON THE REMAINING MATERIAL TO ENABLE THE INSTALLATION OF PROPERLY COMPACTED EARTHFILL TO THE REQUIRED SUBGRADE LEVEL. ALTERNATIVE PROCEDURES MAY BE REQUIRED DEPENDING ON THE CONDITIONS ENCOUNTERED. SPECIFIC REQUIREMENTS FOR REMOVAL AND REMEDIAL PROCEDURES SHALL BE AS DIRECTED BY THE GEOTECHNICAL ENGINEER DURING THE EARTHWORK OPERATIONS.
 - REMOVAL OF UNSUITABLE MATERIALS AND INSTALLATION OF REPLACEMENT FILL MATERIAL UNDER AND ADJACENT TO PROPOSED BUILDINGS AND STRUCTURES SHALL BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
 - PAYMENT FOR REMOVAL AND REPLACEMENT OF UNACCEPTABLE MATERIALS AND THE INSTALLATION OF GEOTEXTILE FABRIC AND AGGREGATE FILL SHALL BE AS INDICATED IN THE SPECIAL PROVISIONS. SUCH PAYMENT SHALL INCLUDE ALL WORK NECESSARY FOR REMOVAL AND DISPOSAL OF UNSUITABLE MATERIALS, SUPPLY AND PLACEMENT OF FABRIC AND AGGREGATE MATERIALS, SUPPLY, PLACEMENT AND COMPACTION OF SUITABLE FILL MATERIAL AND ANY DEWATERING REQUIRED DURING THESE ACTIVITIES.

COMPACTION NOTES

- FILL MATERIAL SHALL BE PLACED IN LAYERS (LIFTS) AND COMPACTED IN ACCORDANCE WITH THE FOLLOWING SPECIFIED REQUIREMENTS. TYPICALLY, LIFT THICKNESS SHALL NOT EXCEED 8 INCHES (LOOSE CONDITION) AND THE FILL MATERIAL (WHEN COMPACTED) SHALL HAVE A MOISTURE CONTENT WITHIN THE LIMITS OF -1 TO +3 PERCENTAGE POINTS OF ITS OPTIMUM VALUE. NECESSARY LIFT THICKNESSES AND MOISTURE CONTENTS SHALL BE AS DETERMINED BY THE GEOTECHNICAL ENGINEER TO OBTAIN THE REQUIRED COMPACTION AND STRENGTH OF MATERIAL IN PLACE.
- UNPAVED AREAS: COMPACT TOP 6 INCHES OF SUBGRADE AND EACH SUCCESSIVE LAYER (NOT EXCEEDING 12-INCH THICKNESS OF LOOSE MEASURE) OF BACKFILL OR FILL MATERIAL TO A MINIMUM OF 75% RELATIVE DENSITY FOR FREE-DRAINING COHESIONLESS SOILS (ASTM D4253 & D4254) AND 85% MAXIMUM DENSITY FOR COHESIVE SOIL MATERIAL, AS DETERMINED BY THE MODIFIED PROCTOR METHOD (ASTM D1557).
- PAVEMENT AREAS: COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO A MINIMUM OF 80% RELATIVE DENSITY FOR FREE-DRAINING COHESIONLESS SOILS (ASTM D4253 & D4254) AND 95% MAXIMUM DRY DENSITY FOR COHESIVE SOILS AND WELL GRADED GRANULAR SOIL, AS DETERMINED BY THE MODIFIED PROCTOR METHOD (ASTM D1557)



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GRADING
PLAN

C4.0

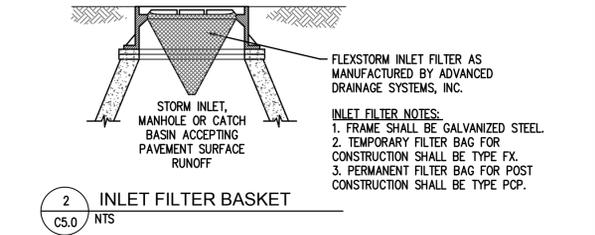
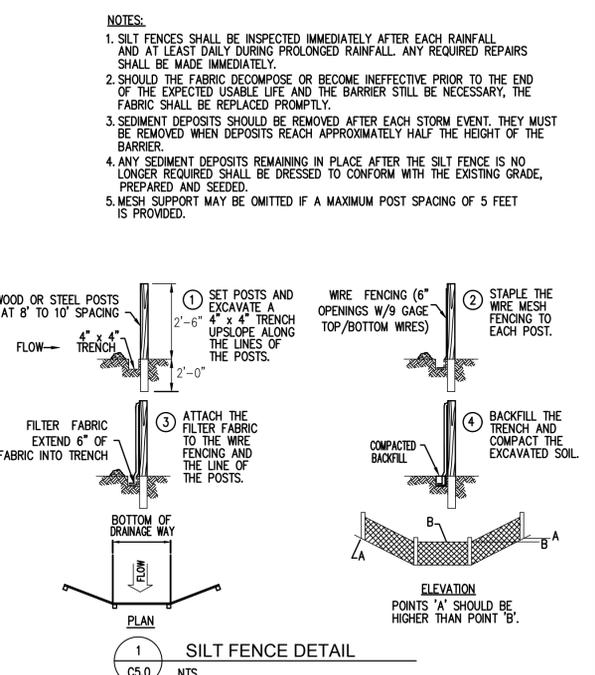
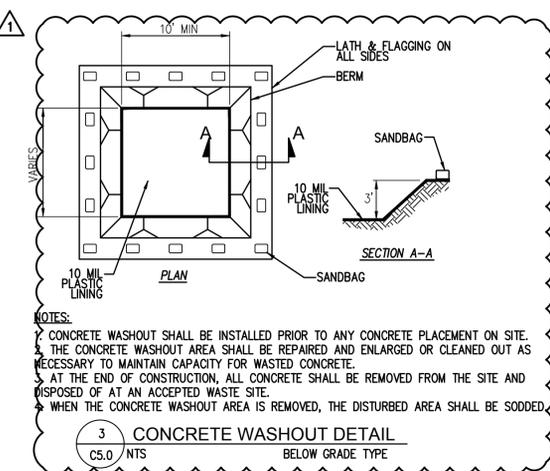
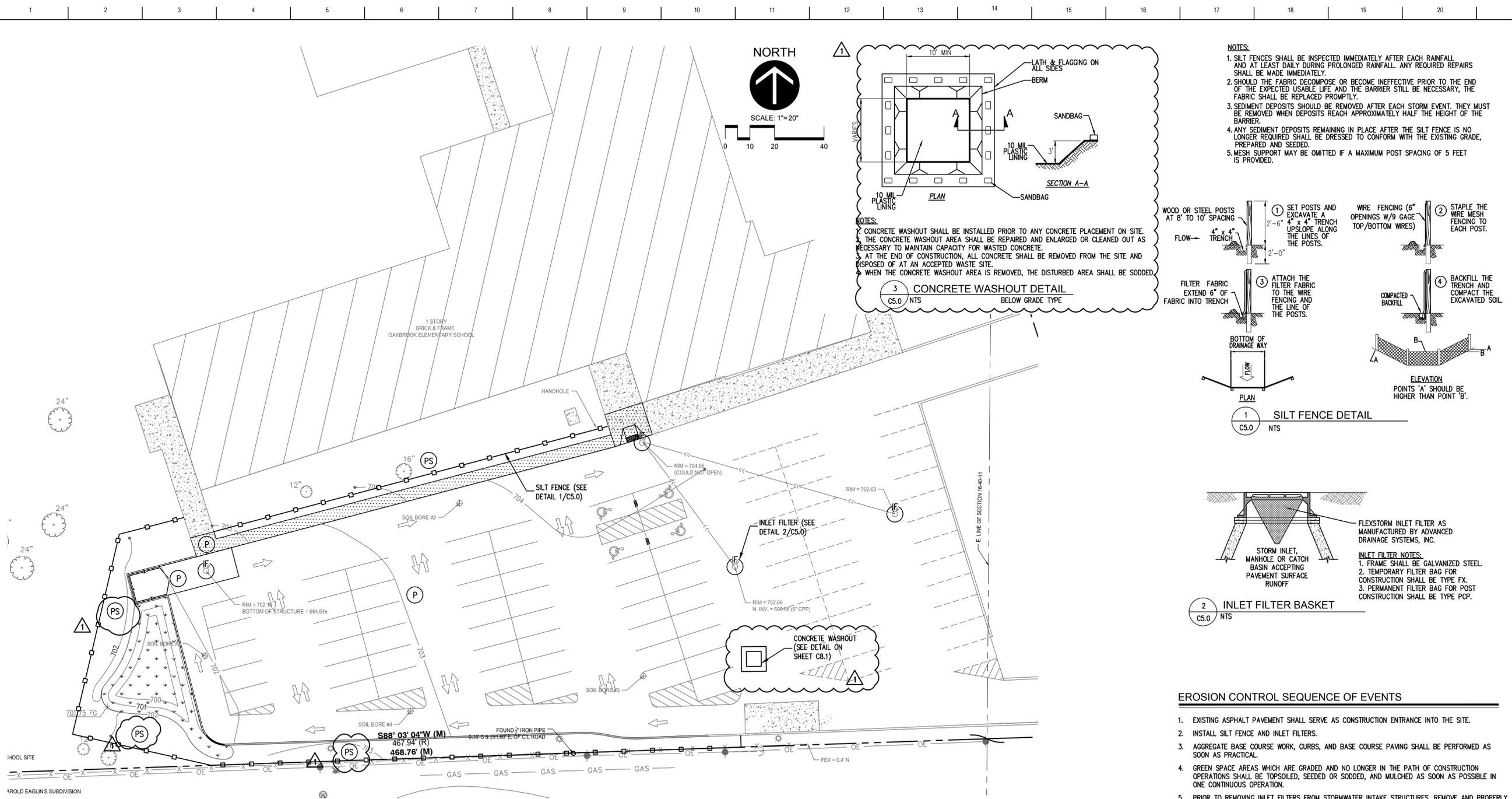
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EROSION CONTROL SEQUENCE OF EVENTS

- EXISTING ASPHALT PAVEMENT SHALL SERVE AS CONSTRUCTION ENTRANCE INTO THE SITE.
- INSTALL SILT FENCE AND INLET FILTERS.
- AGGREGATE BASE COURSE WORK, CURBS, AND BASE COURSE PAVING SHALL BE PERFORMED AS SOON AS PRACTICAL.
- GREEN SPACE AREAS WHICH ARE GRADED AND NO LONGER IN THE PATH OF CONSTRUCTION OPERATIONS SHALL BE TOPSOILED, SEEDING OR SODDED, AND MULCHED AS SOON AS POSSIBLE IN ONE CONTINUOUS OPERATION.
- PRIOR TO REMOVING INLET FILTERS FROM STORMWATER INTAKE STRUCTURES, REMOVE AND PROPERLY DISPOSE OF ALL ACCUMULATED SILT IN FILTERS.

EROSION CONTROL NOTES

- CONTRACTOR SHALL OBTAIN NPDES PERMIT, IF REQUIRED.
- INSTALL TEMPORARY EROSION CONTROL MEASURES (INLET PROTECTION AND SILT FENCE) PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
- EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL TEMPORARY EARTH DIKES, SEDIMENT TRAPS OR BASINS, ADDITIONAL SILTATION FENCING, AND/OR DISK THE SOIL PARALLEL TO THE CONTOURS, AS DEEMED NECESSARY TO FURTHER CONTROL EROSION.
- ALL CONSTRUCTION SITE ENTRANCES SHALL BE SURFACED WITH CRUSHED ROCK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE AND FROM THE ENTRANCE TO A POINT 70' INTO THE CONSTRUCTION ZONE.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN A MINIMUM OF 6". THE TRENCH BACKFILL SHALL BE COMPACTED WITH A VIBRATORY PLATE COMPACTOR.
- ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN.
- ALL EXPOSED SOIL AREAS MUST HAVE TEMPORARY PROTECTION COVER ACCORDING TO THE FOLLOWING:

TYPE OF SLOPE WHEN AREA IS	TIME (MAXIMUM TIME AN AREA CAN REMAIN OPEN WHEN AREA IS NOT ACTIVELY BEING WORKED)
SLOPES STEEPER THAN 3:1	WITHIN 7 DAYS
SLOPES BETWEEN 10:1 AND 3:1	WITHIN 14 DAYS
SLOPES FLATTER THAN 10:1	WITHIN 21 DAYS

 THESE AREAS INCLUDE CONSTRUCTED STORM WATER MANAGEMENT POND SIDE SLOPES, AND ANY EXPOSED SOIL AREAS WITH A POSITIVE SLOPE TO A STORM WATER CONVEYANCE SYSTEM, SUCH AS A CURB AND GUTTER SYSTEM, STORM SEWER INLET, TEMPORARY OR PERMANENT DRAINAGE DITCH, OR OTHER NATURAL OR MAN MADE SYSTEMS THAT DISCHARGE TO A SURFACE WATER.
- IN AREAS WHERE CONCENTRATED FLOWS OCCUR (SUCH AS SWALES AND AREAS IN FRONT OF STORM CATCH BASINS AND INTAKES) THE EROSION CONTROL FACILITIES SHALL BE BACKED BY STABILIZATION STRUCTURE TO PROTECT THOSE FACILITIES FROM THE CONCENTRATED FLOWS. ALL STORM SEWER CATCH BASINS NOT NEEDED FOR SITE DRAINAGE DURING CONSTRUCTION SHALL BE COVERED TO PREVENT RUNOFF FROM ENTERING THE STORM SEWER SYSTEM. CATCH BASINS NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION SHALL HAVE INLET FILTER BASKETS INSTALLED. THE FILTER BASKETS SHALL BE MAINTAINED UNTIL THE TRIBUTARY AREAS ARE RESTORED.
- INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
- ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- ALL SOILS TRACKED ONTO PAVEMENT SHALL BE REMOVED DAILY.
- ALL PERMANENT SEDIMENTATION BASINS MUST BE RESTORED TO THEIR DESIGN CONDITION IMMEDIATELY FOLLOWING STABILIZATION OF THE SITE.
- UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL GRADED AREAS, ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE REMOVED FROM THE SITE.
- RESTORE ALL DISTURBED TURF AREAS WITH 6" TOPSOIL, SEED AND MULCH.

SOIL EROSION SCHEDULE

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
A PERMANENT SEEDING						IRRIGATE						
B DORMANT SEEDING												
C SODDING						IRRIGATE-2 TO 3 WEEKS						
D MULCHING												

A. KENTUCKY BLUEGRASS @ 90#/ACRE MIXED W/PERENNIAL RYE GRASS @ 30#/ACRE
 B. KENTUCKY BLUEGRASS @ 135#/ACRE MIXED W/PERENNIAL RYE GRASS @ 45#/ACRE PLUS 2 TONS STRAW MULCH/ACRE
 C. SOD
 D. STRAW MULCH @ 2 TONS/ACRE

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL SOIL EROSION AND SEDIMENTATION CONTROLS, AS REQUIRED HEREIN, AND MAINTAINING THESE CONTROLS AS FOLLOWS:
 1. FOR 90 DAYS, AFTER OCCUPANCY PERMIT IS ISSUED, EXCEPT THAT AT SUCH TIME ALL SODDED & SEEDING AREAS MUST BE DEVELOPED, HEALTHY STRANDS OF GRASS WHICH SHALL HAVE UNDERGONE AT LEAST THREE MOWINGS.

SOIL EROSION CONTROL MEASURE				
CONTROL MEASURE	PLAN KEY	CONTROL MEASURE CHARACTERISTICS	TEMPORARY	PERMANENT
PERMANENT SEEDING	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLANS.		●
PAVING	P	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.		●
INLET FILTER	IF	USED TO FILTER SEDIMENT FROM RUNOFF BEFORE IT ENTERS A DRAINAGE STRUCTURE.	●	
SILT FENCE	—	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	●	
NATIVE VEGETATION	—	PROVIDES PERMANENT VEGETATIVE COVER TO FILTER SEDIMENT AND POLLUTANTS FROM WATER.		●



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EROSION CONTROL PLAN

C5.0

GENERAL NOTES

1. ALL SITE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION
 - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION
 - CODES AND REGULATIONS OF THE CITY.
 - IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION
2. ELEVATIONS ARE U.S.G.S. DATUM.
3. DO NOT SCALE DIMENSIONS FOR BUILDINGS FROM THESE DRAWINGS.
4. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK. ANY DISCREPANCIES FOUND SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ENGINEER.
5. THE ACCURACY AND COMPLETE INCLUSION OF THE LOCATIONS OF EXISTING UTILITIES IS NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER, PROJECT OWNER AND UTILITY OWNER, BY THE CONTRACTOR AT HIS OWN EXPENSE.
6. THE CONTRACTOR SHALL CONTACT "JULIE" AT (800) 892-0123 TO HAVE CERTAIN UTILITY COMPANIES FIELD LOCATE THEIR INSTALLATIONS. A MINIMUM OF TWO FULL WORKING DAYS NOTICE ARE REQUIRED FOR A FIELD LOCATION. THE CONTRACTOR SHALL EXAMINE THE PLANS AND SPECIFICATIONS, VISIT THE SITE OF THE WORK AND INFORM HIMSELF FULLY WITH THE WORK INVOLVED, GENERAL AND LOCAL CONDITIONS, ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND ALL OTHER PERTINENT ITEMS WHICH MAY AFFECT THE COST AND TIME OF COMPLETION OF THIS PROJECT BEFORE SUBMITTING A PROPOSAL. PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROSECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE REQUIRED TO MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS, STRUCTURES, POLES, CABLES AND PIPE LINES, BEFORE CONSTRUCTION BEGINS. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER AND OWNER AT HIS OWN EXPENSE.
9. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND, OR AFTER 3 P.M. ON THE DAY PRECEDING A HOLIDAY OR WEEKEND, OR ANY TIME THE EXCAVATION CANNOT BE SUPERVISED, SECURED WITH SNOW FENCE AND LIGHTED.
10. THE CONTRACTOR SHALL RESTORE ANY AREA DISTURBED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL USE. THIS SHALL INCLUDE FINISH GRADING, ESTABLISHMENT OF A VEGETATIVE COVER (SEEDING OR SOD) AND GENERAL CLEANUP. THE CONTRACTOR SHALL NOT EXCAVATE OR DISTURB BEYOND PROPERTY LINE BOUNDARIES, UNLESS OTHERWISE NOTED.
11. THE FOLLOWING MUST BE NOTIFIED TWO WORKING DAYS PRIOR TO STARTING CONSTRUCTION:
 - (CITY OR VILLAGE) BUILDING DEPARTMENT (630) 787-3731
 - DEPARTMENT OF PUBLIC WORKS (630) 350-3530
 - INSPECTION ENGINEER (COMMERCIAL) (847) 823-0500 
12. ALL LOT IRONS DAMAGED OR REMOVED DURING CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED BY THE ENGINEER AND SAID COST OF REPLACEMENT SHALL BE PAID BY THE CONTRACTOR.
13. ALL WORK PERFORMED SHALL BE DONE BY QUALIFIED CONTRACTORS AND SUBCONTRACTORS FAMILIAR WITH THE TYPE OF WORK TO BE ACCOMPLISHED.
14. ALL MANHOLES AND VALVE VAULTS SHALL HAVE "SANITARY" "STORM" OR "WATER" CAST INTO THE CAST IRON LIDS, AS APPROPRIATE.
15. ALL SEWERS AND WATER MAINS WHICH FALL WITHIN THREE FEET OF EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH AGGREGATE CA-6 OR OTHER APPROVED GRANULAR MATERIAL. THE GRAVEL SHALL EXTEND A DISTANCE OF 2'-0" BEYOND THE PAVEMENT AND EXTEND DOWN FROM THAT POINT AT A 1:1 SLOPE, AWAY FROM THE PAVEMENT.
16. "BAND-SEAL" CONNECTORS, OR EQUAL, SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIALS.
17. ALL NEW AND EXISTING STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION OF THE WORK. ADJUSTMENTS UPWARD SHALL BE MADE USING PRECAST CONCRETE ADJUSTMENT RINGS, BUT NO MORE THAN 8" OF RINGS SHALL BE USED. IF THE TOTAL HEIGHT OF ALL ADJUSTMENTS EXCEEDS 8", THEN ADJUSTMENTS SHALL BE MADE BY INTERCHANGING AND/OR ADDING/REMOVING COMPLETE BARREL SECTIONS TO ACHIEVE DESIRED ELEVATIONS.
18. WHENEVER A SEWER CROSSES UNDER A WATER MAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATER MAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN ALL SEWERS AND SERVICES AND WATER MAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN A TRENCH WITH THE WATER MAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH KEEPING A MINIMUM OF 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED ABOVE CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THEN WITHIN A DISTANCE OF 10 FEET ON EITHER SIDE OF THE WATER MAIN, THE SEWER PIPES SHALL BE WATER MAIN QUALITY.
19. PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROSECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO ANY MATERIAL OR EQUIPMENT HE DEEMS INADEQUATE AND TO ANY ITEM OF WORK OMITTED.
20. THE CONTRACTOR WILL HAVE IN HIS POSSESSION, ON THE JOB SITE, A COPY OF THE PLANS AND SPECIFICATIONS PRIOR TO BEGINNING WORK.
21. THE FINAL LOCATIONS OF WATER AND SANITARY SERVICES MAY VARY FROM THOSE SHOWN ON THE PLAN.
22. ANY SOIL EROSION CONTROL MEASURES, IN ADDITION TO THOSE OUTLINED IN THESE PLANS AND WHICH ARE DEEMED NECESSARY BY THE CITY OF WOOD DALE ENGINEER SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR.

PAVEMENT & CONCRETE NOTES

1. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL OPERATION BEGINS.
2. ALL CURBS CONSTRUCTED OR REPLACED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO #4 REBARS FOR A LENGTH OF 20 FEET CENTERED OVER THE TRENCH. SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING THREE #6 REBARS.
3. ALL PROPOSED ELEVATIONS SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS.
4. ALL RADII ARE TO THE FACE OF CURB AND ARE NOTED ON THE PLANS.
5. CONTRACTION JOINTS SHALL BE CONSTRUCTED AT TEN (10) FOOT MINIMUM INTERVALS. THE GRANULAR CURB BASE SHALL BE A MINIMUM OF THREE (3) INCHES OF 3/8" TO 3/4" OPEN GRADED GRANULAR MATERIAL TO ALLOW FOR PROPER SUBGRADE DRAINAGE. COMPACTED CURB SUBGRADE SHALL BE SHAPED PARALLEL TO THE CURB FLOW LINE AND POSITIVELY DRAINED TO THE INLETS AND CATCH BASINS. ALL PAVEMENTS SHALL BE CONSTRUCTED ON A SELECT COMPACTED SUBGRADE, GRADED PARALLEL TO THE FINISH SURFACE.
6. EXPANSION JOINTS SHALL BE REQUIRED AT ALL POINTS OF CURVATURE, AT BOTH SIDES OF ALL DRAINAGE STRUCTURES AND ALL LOCATIONS WHERE THE SIDEWALK ABUTS THE CONCRETE CURB AND GUTTER.
7. CURB AND GUTTER SHALL BE CONSTRUCTED AND TIED INTO EXISTING P.C.C. PAVEMENT IN ACCORDANCE WITH I.D.O.T. STANDARDS 606001 AND 420001.
8. ALL CONCRETE CURB AND GUTTER AND SIDEWALKS SHALL BE CURED WITH W.R. MEADOWS CS-309 CURING COMPOUND OR APPROVED EQUAL.
9. ALL CONCRETE CURB AND GUTTER SHALL BE SEALED WITH W.R. MEADOWS T1A44 SEALANT OR APPROVED EQUAL, IMMEDIATELY AFTER SEVEN (7) DAYS OF CURING, AT A RATE OF 300 S.F. PER GALLON UTILIZING A SPRAY APPLICATION. THE SURFACE MUST BE THOROUGHLY CLEAN AND DRY FOR APPLICATION.
10. ALL PUBLIC SIDEWALKS SHALL BE CONSTRUCTED OF CLASS SI CONCRETE, 5" THICK. BASE SHALL BE FOUR INCHES (4") OF COMPACTED CRUSHED STONE OR FINE AGGREGATE BASE ON A DRY NATURAL OR COMPACTED SUBGRADE FOR SIDEWALKS.
11. WHERE NEW PAVEMENT MEETS EXISTING BITUMINOUS CONCRETE OR PORTLAND CEMENT CONCRETE PAVEMENTS, A CUT JOINT OF TRANSITIONAL LENGTH NO LESS THAN TEN (10') FEET WILL BE REQUIRED. THE SUBGRADE SHALL BE GRADED PARALLEL TO THE FINAL SURFACE GRADES AS SUCH, SHALL DRAIN TO THE CURB LINE AND TO THE INLETS AND CATCH BASINS. POSITIVE DRAINAGE MUST BE ACCOMPLISHED ON THE COMPACTED SUBGRADE OR THE PLACEMENT OF BASE MATERIAL WILL BE ALLOWED.
12. THE INSTALLATION OF THE BITUMINOUS SURFACE COURSE SHALL BE DELAYED UNTIL THE BASE COURSE IS "PROOF ROLLED" BY THE CONTRACTOR, AT HIS COST, TO THE SATISFACTION OF THE ENGINEER.

SITE GRADING NOTES

1. EARTHWORK AND EMBANKMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS", ADOPTED APRIL 1, 2016 WITH ALL SUBSEQUENT SUPPLEMENTS. COMPACTION OF ALL EMBANKMENTS SHALL NOT DEVIATE FROM SECTION 205.05.
2. ALL SITE WORK SHALL INCLUDE CLEARING, STRIPPING, AND STOCKPILING OF TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTING NON-STRUCTURAL FILLS, AND FINAL SHAPING, AND TRIMMING TO THE LINES, GRADES AND CROSS-SECTION SHOWN ON THE PLANS.
3. UNSUITABLE MATERIAL ENCOUNTERED IN EXCAVATING FOR PAVEMENT SUBGRADES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO THE LIMITS APPROVED BY THE ENGINEER. UNSUITABLE MATERIAL THAT IS EXCAVATED SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
4. TOPSOIL EXCAVATED SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING.
5. CONTRACTOR SHALL LANDSCAPE DISTURBED R.O.W. BY BACKFILLING FROM BACK OF CURB TO ROW LINE WITH A MINIMUM OF 6-INCHES OF TOPSOIL & PLACING SOD. FERTILIZE TOPSOIL WITH NITROGEN, PHOSPHORUS AND POTASSIUM FERTILIZER NUTRIENT.

**WOOD DALE
SCHOOL
DISTRICT 7**

**2019 SITE
IMPROVEMENTS
AT
OAKBROOK
ELEMENTARY
SCHOOL**

170 S WOOD DALE ROAD
WOOD DALE, IL 60191

ARCHITECT

Legat Architects
2015 Spring Road
Oak Brook, IL 60523
P: 630.990.3535
www.legat.com

CIVIL ENGINEER

Larson Engineering
1488 Bond Street Suite 100
Naperville, IL 60563
P: 630.357.0540
www.larsonenr.com
IL Design Firm #184-001442
LEI Job #22180015.000



EXP:
11/30/19

SIGNATURE:
DATE: 05/01/19

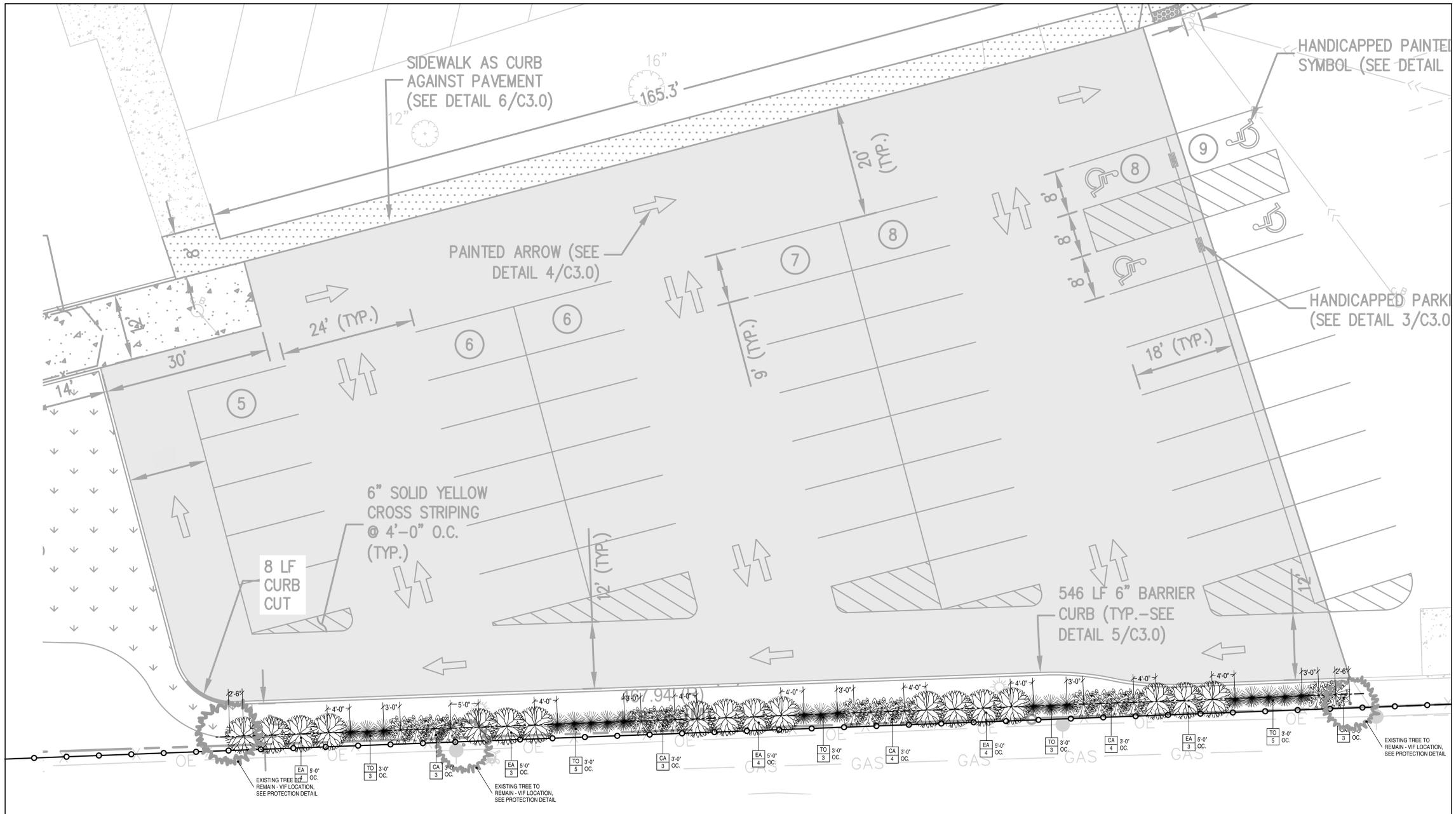
REVISIONS

NO.	DESCRIPTION	DATE
△	CITY COMMENTS	05/01/19

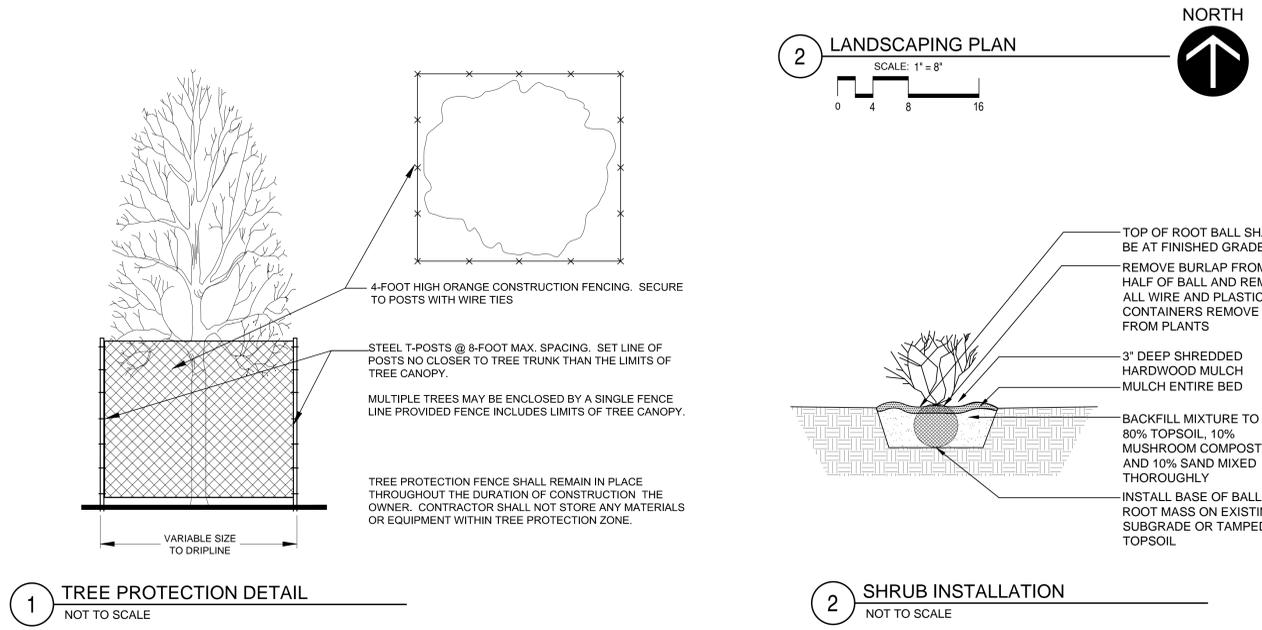
PROJECT NUMBER 219037.00
DATE OF ISSUE 05/01/2019
DRAWN BY JY
CHECKED BY CEB

NOTES

C6.0



PLANT SCHEDULE				
TAG	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE
SHRUB				
CA	SEE PLAN	CORNUS ALBA 'ELEGANTISSIMA'	VARIEGATED RED TWIG DOGWOOD	6-8' H 4-6' SPREAD
EA	SEE PLAN	EDYMIUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	6-8' H 7' SPREAD
TO	SEE PLAN	THUJA OCCIDENTALIS 'SMARAGD'	ARBORVITAE EMERALD GREEN	15' H 3-4' SPREAD



2 LANDSCAPING PLAN
SCALE: 1" = 8'
0 4 8 16

1 TREE PROTECTION DETAIL
NOT TO SCALE

2 SHRUB INSTALLATION
NOT TO SCALE



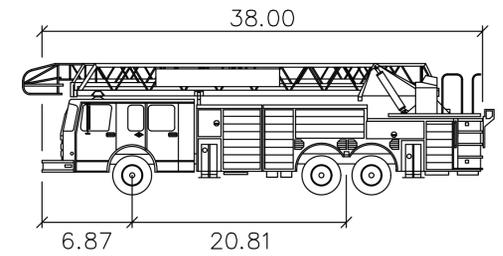
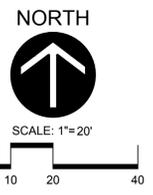
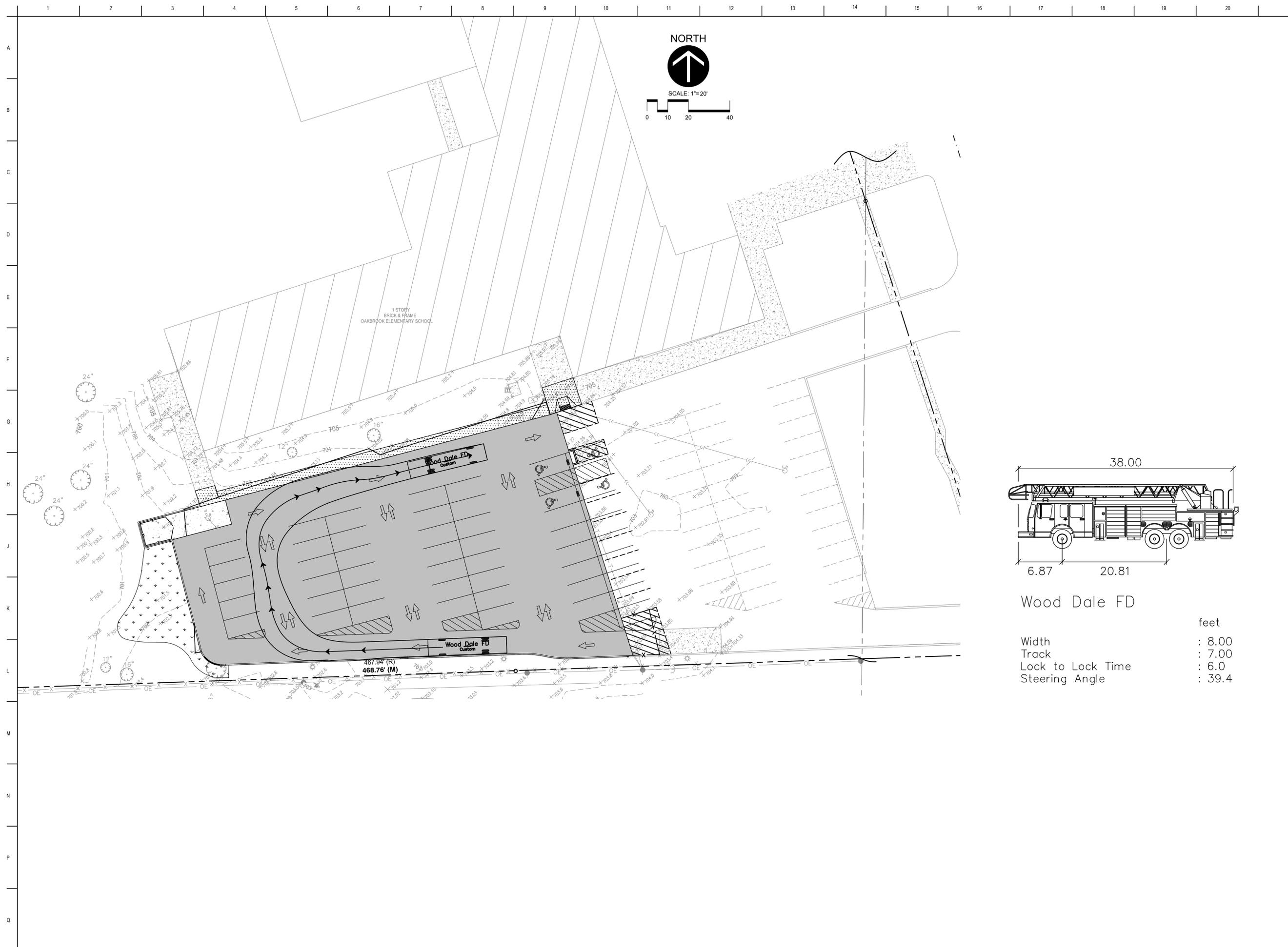
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DATE: 04/15/19

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: 219037.00
DATE OF ISSUE: 4/03/2019
DRAWN BY: JC
CHECKED BY: MS

LANDSCAPING PLAN & DETAILS

AS001
ISSUED FOR BIDDING



Wood Dale FD

	feet
Width	: 8.00
Track	: 7.00
Lock to Lock Time	: 6.0
Steering Angle	: 39.4

**WOOD DALE
SCHOOL
DISTRICT 7**

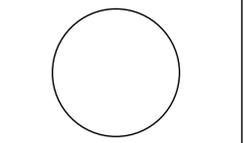
**2019 SITE
IMPROVEMENTS
AT
OAKBROOK
ELEMENTARY
SCHOOL**

170 S WOOD DALE ROAD
WOOD DALE, IL 60191

ARCHITECT
Legat Architects
2015 Spring Road
Oak Brook, IL 60523
P: 630.990.3535
www.legat.com

CIVIL ENGINEER
Larson Engineering
1488 Bond Street Suite 100
Naperville, IL 60563
P: 630.357.0540
www.larsonengr.com
IL Design Firm #184-001442
LEI Job #22180015.000

Exhibit D



SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 219037.00
DATE OF ISSUE 02/27/2019
DRAWN BY JY
CHECKED BY CEB

**EMERGENCY
VEHICLE
ACCESS
EXHIBIT**

EX-1

LEGAL DESCRIPTION

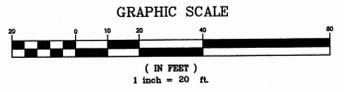
PARCEL 1
THE NORTH HALF OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 4, AS SAID SECTION WAS SUBDIVIDED BY THE SCHOOL TRUSTEES OF THE TOWN OF ADDISON; THENCE SOUTH 01 DEGREE WEST, 14.03 CHAINS, ALONG THE EAST LINE OF SAID SECTION TO EARNEST BUCHHOLZ CORNER; THENCE SOUTH 89 DEGREES WEST, 7.09 CHAINS, ALONG THE SAID EARNEST BUCHHOLZ LINE; THENCE NORTH 01 DEGREE EAST, 14.03 CHAINS, TO THE SOUTH LINE OF SAID LOT 4; THENCE NORTH 89 DEGREES EAST, 7.09 CHAINS, TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2
LOT 33 IN CRESTWOOD ESTATES, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 24, 1963 AS DOCUMENT R83-12443 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3
THAT PART OF LOT 2 LYING WEST OF CENTER LINE OF WOODDALE ROAD (EXCEPT THAT PART THEREOF FALLING IN LOT 1 OF PAUL OTT'S PLAT OF SURVEY, RECORDED AS DOCUMENT 564748) IN PLATGE ASSESSMENT PLAT, OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 12, 1948 AS DOCUMENT 544843, IN DUPAGE COUNTY, ILLINOIS.

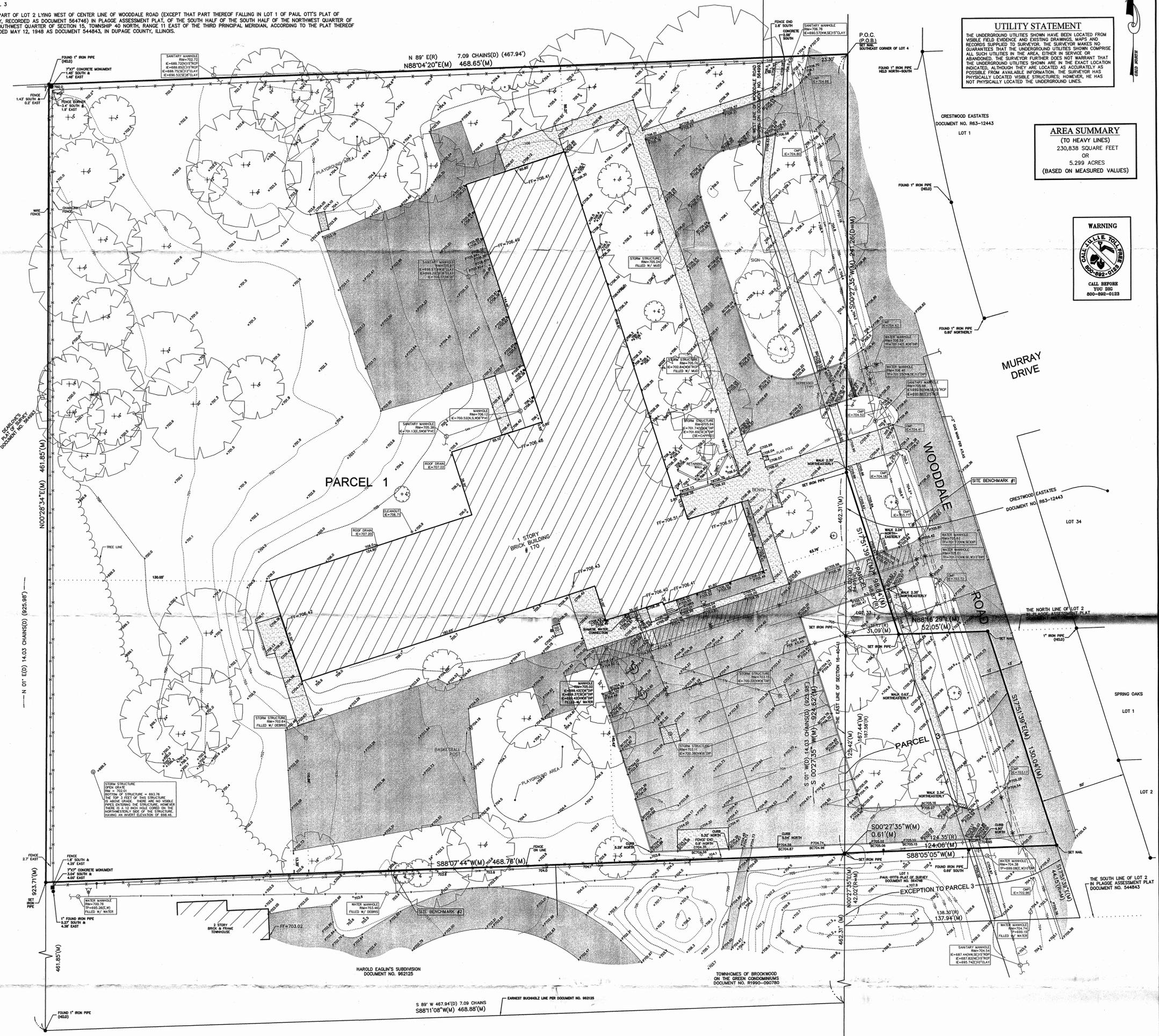
BOUNDARY AND TOPOGRAPHIC SURVEY

Exhibit E



UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES, HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

AREA SUMMARY
(TO HEAVY LINES)
230,839 SQUARE FEET
OR
5.299 ACRES
(BASED ON MEASURED VALUES)



ABBREVIATIONS

OD.I.P. = OUTSIDE DIAMETER IRON PIPE
TF = TOP OF FOUNDATION
FF = FINISHED FLOOR
FES = FINISHED END SECTION
VCP = VITRIFIED CLAY PIPE
DIP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
CMP = CORRUGATED METAL PIPE
(O) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(A) = DEED BEARING OR DISTANCE
O = ARC LENGTH
R = RADIUS
CB = CHORD BEARING
B.S.L. = BUILDING SETBACK LINE
U.L.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

LINE LEGEND

--- LIMITS OF LAND PER LEGAL DESCRIPTION
--- ADJACENT LAND
--- PARCEL LINE
--- EASEMENT LINE
--- CENTERLINE
--- BUILDING SETBACK LINE
--- SECTION LINE
--- EXISTING CONTOUR

LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (FIELD LOCATION)
CONCRETE MONUMENT
CROSS IN CONCRETE MANHOLE
STORM STRUCTURE
SANITARY MANHOLE
VALVE VAULT
FIRE HYDRANT
FLARED END SECTION
UTILITY POLE
GUY POLE
OVERHEAD TRAFFIC SIGNAL
TRAFFIC SIGNAL MANHOLE
OVERHEAD ELECTRIC WIRES
GAS METER
ELECTRIC METER
TRANSFORMER PAD
TELEPHONE PEDESTAL
ELECTRIC PEDESTAL
TELEPHONE MANHOLE
CABLE TELEVISION PEDESTAL
COMMONWEALTH EDISON MANHOLE
MAILBOX
GAS MARKER
ELECTRIC MARKER
TELEPHONE MARKER
WATER MARKER
GAS VALVE
SANITARY SEWER
STORM SEWER
WETTER MAIN
GAS MAIN
ELECTRIC LINE
TELEPHONE LINE
MULTI-STEM DECIDUOUS TREE
W/APPROX. DIAMETER
DECIDUOUS TREE
W/APPROX. DIAMETER
BITUMINOUS PAVEMENT
CONCRETE SURFACE
WOOD FENCE
W/BOX
CHAIN LINK FENCE
METAL GUARDRAIL
LIGHT
LIGHT POLE

BENCHMARKS:

REFERENCE BENCHMARK:
DUPAGE COUNTY BENCHMARK AD09003 (NOV 29 DATUM)
BRONZE DISK IN CONCRETE HEADWALL OF IL ROUTE 19 (AKA IRVING PARK BLVD) BRIDGE OVER SALT CREEK. ELEVATION = 682.84
SITE BENCHMARK #1:
NORTHWEST BURNET BOLT ON FIRE HYDRANT ON WEST SIDE OF WOODDALE ROAD APPROXIMATELY 30 FEET SOUTH OF MURRAY DRIVE. ELEVATION = 707.72
SITE BENCHMARK #2:
NORTHWEST BURNET BOLT ON FIRE HYDRANT ALONG SOUTH BOUNDARY LINE APPROXIMATELY 300 FEET WEST OF CENTERLINE OF WOODDALE ROAD. ELEVATION = 705.16

FLOOD STATEMENT

THIS SITE FALLS WITHIN "OTHER AREAS ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17043C0305H, HAVING AN EFFECTIVE DATE OF DECEMBER 16, 2004.

CERTIFICATION

STATE OF ILLINOIS
COUNTY OF KANE
THIS IS TO CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON 4/17/10 AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY.
COMPASS-LAND SURVEYING LTD., PROFESSIONAL DESIGN FIRM
LAND SURVEYING CORPORATION NO. 184-002778 LICENSE
BY: DANIEL W. WALTER, ILLINOIS LICENSE NO. 01730/11
DATE: 4/19/10
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585
LICENSE EXPIRES 11/30/10 (SEAL)



COMPASS SURVEYING LTD. ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING. 2631 GINGER WOODS PARKWAY, STE. 100 ALTOONA, IL 60502. PHONE: (630) 820-9100 FAX: (630) 820-7030

PROJECT: Oakbrook School, 170 S Wood Dale Road, Wood Dale, Illinois. CLIENT: SPM ARCHITECTS, LLC, 1104 W 119th Street, Palos Park, IL 60464. DATE: 4-8-10. DRAWN BY: MRA. CHECKED BY: DW. BOOK: 371 PG 19.

1 OF 1



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Annexation, Rezoning, Special Use, PUD,
Street Vacation and Final Plat of Subdivision
for the Washington Street Redevelopment
Staff Contact: Ed Cage, AICP, CD Director
Department: Community Development Department

TITLE: Ordinances and Resolutions Approving an Annexation Agreement, Annexing the Subject Property, Rezoning the Subject property from R-1 Estate Residential to Business Park Sub-Area in the Thorndale Corridor Overlay District, Approving a Special Use for a Planned Unit Development for the Washington Street Redevelopment, Vacating Washington Street and Approving the Final Plat of Subdivision to Consolidate Lots for the property known as Washington Street Redevelopment, 640 N. Central Avenue, in the City of Wood Dale

COMMITTEE VOTE: Approve 7-0-1-abstaination

DOCUMENTS ATTACHED

- ✓ Resolution – Authorizing the Execution of an Annexation Agreement for property commonly known as Washington Street Redevelopment Property 640 N. Central Avenue, Wood Dale, Illinois.
- ✓ Ordinance – Annexing Property Commonly Known as the Washington Street Redevelopment Property 640 N. Central Avenue to the City of Wood Dale, Illinois.
- ✓ Ordinance – Rezoning Land from R-1 Estate Residential to Business Park Sub-Area in the Thorndale Corridor Overlay District (640 N. Central Avenue).
- ✓ Ordinance – Approving a Special Use for a Planned Unit Development for the Washington Street Redevelopment Property 640 N. Central Avenue, Wood Dale, Illinois.
- ✓ Ordinance – Vacating Washington Street (South of Beinoris Drive Between N. Central Avenue and N. Wood Dale Road).
- ✓ Resolution- Approving the Final Plat of Subdivision to Consolidate Lots for Property Commonly Known as Washington Street Redevelopment 640 N. Central Avenue, Wood Dale, Illinois.

RESOLUTION NO. R-19-28

**A RESOLUTION AUTHORIZING THE EXECUTION
OF AN ANNEXATION AGREEMENT FOR PROPERTY
COMMONLY KNOWN AS
THE WASHINGTON STREET REDEVELOPMENT PROPERTY
640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS**

WHEREAS, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C. (“CH REALTY”) is the owner of a certain property, bearing the common address (upon annexation) of 640 N. Central Avenue, Wood Dale, Illinois, and described as follows:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 14 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

(“Subject Property”); and

WHEREAS, it is in the best interests of the City of Wood Dale, County of DuPage, State of Illinois, that a certain Annexation Agreement pertaining to the annexation and use of the Subject Property, be entered into; and

WHEREAS, CH REALTY is ready, willing and able to enter into that Annexation Agreement and to perform the obligations as required thereunder; and

WHEREAS, upon annexation, the Subject Property will be zoned R-1 Estate Residential District; and

WHEREAS, pursuant to the Annexation Agreement, CH REALTY seeks to consolidate the Subject Property into one zoning lot with the vacation of Washington Street; to rezone the Subject Property to Business Park Sub-area of the Thorndale Corridor Corporation Overlay District (applying Block H development standards) with underlying I-1 Light Industrial zoning, and to secure a Special Use Permit for a Planned Unit Development to allow for the establishment of a single light industrial building; and

WHEREAS, the statutory procedures provided for in the Illinois Municipal Code, 65 ILCS 5/11-15.1-1, for the execution of the Annexation Agreement have been fully complied with, including, but not limited to the notice of, and public hearing concerning, the entry into the Annexation Agreement; and

WHEREAS, the Corporate Authorities have considered the terms and provisions of the proposed Annexation Agreement, and deem it advisable to execute.

NOW, THEREFORE, BE IT ORDAINED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That the Mayor and the City Clerk be and the same are hereby authorized and directed to execute the Annexation Agreement heretofore incorporated herein as Exhibit A, to govern the zoning, use and development of the Subject Property, by and on behalf of the City of Wood Dale.

SECTION THREE: That the City Clerk of the City of Wood Dale be and is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published, and that she is further directed to file a copy of this Ordinance and Annexation Agreement attached thereto with the DuPage County Clerk and with the DuPage County Recorder.

SECTION FOUR: The Mayor, City Manager, staff, and/or the City Attorney shall take all the steps necessary to carry out the terms of the Annexation Agreement.

SECTION FIVE: All ordinances and resolutions or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION SIX: This Resolution shall be in full force and effect from and after its adoption, approval, and publication in pamphlet form as provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

Published in pamphlet form: _____

EXHIBIT A
ANNEXATION AGREEMENT

CITY OF WOOD DALE, ILLINOIS
ANNEXATION AGREEMENT

CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C.

THIS ANNEXATION AGREEMENT (“Agreement”) is made and entered into this 20th day of June,, 2019, by and between the **CITY OF WOOD DALE**, an Illinois Municipal Corporation, DuPage County, Illinois (“City”) and **CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C.**, A Delaware Limited Liability Company (“Owner”) (referred to herein collectively with the City as the “Parties”).

R E C I T A L S

WHEREAS, Owner is the owner of record of various parcels collectively legally described in Exhibit A currently comprising approximately 9.663 acres, attached hereto and by this reference, incorporated herein (“Subject Property”);

WHEREAS, the Subject Property is presently situated within the unincorporated area of DuPage County; and

WHEREAS, the Subject Property is not within the corporate limits of any municipality; and is contiguous to the corporate limits of the City; and

WHEREAS, pursuant to 65 ILCS 5/11-15.1-1 et seq., as amended, the Parties have the authority to enter into this Agreement and desire to do so; and

WHEREAS, the Subject Property is presently comprised of twenty (20) lots of record improved for residential use or unimproved and vacant; and

WHEREAS, the Owner intends to, through a Final Plat of Subdivision and street vacation as described herein, consolidate the lots into one zoning lot and lot of record, which shall then be rezoned to the Business Part Sub-area of the Thorndale Corridor Corporate Overlay District (with application of the Business Park Block H development standards to the Subject Property) with underlying I-1 Light Industrial zoning to allow, through the special use, Planned Unit Development permit approval process for the establishment of a light industrial building constructed of precast concrete, glass and steel totaling 159,170 square feet (the “Project”); and

WHEREAS, the Owner is desirous of annexing the Subject Property to the City pursuant to the terms and conditions hereinafter set forth; and

WHEREAS, the annexation of the Subject Property shall extend the corporate limits of the City to the far side of any adjacent highway not heretofore annexed to any other municipality; and

WHEREAS, it is the desire of the City and Owner that the use and any further development of the Subject Property as an industrial building proceed subject to this Agreement

and all other ordinances and codes of the City, except as the same may be modified as described herein as part of a Planned Unit Development (a Special Use within the Business Park Sub-area Park sub-area of the Thorndale Corridor Corporate Overlay with underlying I-1 light industrial zoning) applied to the Subject Property or otherwise; and

WHEREAS, the Owner has filed with the City Clerk of the City a petition for annexation signed by the Owner of Record of the Subject Property and all electors that currently reside within the Property; and

WHEREAS, the Subject Property is depicted on the plat attached hereto and incorporated herein by reference as Exhibit B (“Plat of Annexation”); and

WHEREAS, pursuant to the provisions of 65 ILCS 5/11-15.1-1 *et seq.* and 65 ILCS 5/7-1-1 *et seq.*, a proposed form of annexation agreement in substance and in form substantially the same as this Agreement was submitted to the City;

WHEREAS, all public hearings, as required by law, have been held by the Community Development Commission of the City, and by the Mayor and City Council of the City (the “Corporate Authorities”), upon the matters covered by this Agreement; and

WHEREAS, notices of the proposed annexation have been duly and timely given to all governmental entities and any other parties as required by law; and

WHEREAS, the Corporate Authorities of the City, after due and careful consideration, have concluded that the annexation, proposed zoning and continued use of the Subject Property, upon the terms and conditions hereinafter set forth, will be compatible with the planning objectives of the City (including specifically its Comprehensive Plan) and that the annexation of the Subject Property will extend the corporate limits and jurisdiction of the City; will permit orderly growth, planning and development of the City; will increase the tax base of the City; will promote the general welfare of the City; and will enable the City to control the further development of the area and serve the best interests of the City; and

WHEREAS, the Owner, in furtherance of the use of the Subject Property, seeks assurances from the City of certain terms and conditions and the continuation thereof for a definite period of time; and

WHEREAS, by a favorable vote of at least two-thirds (2/3) of the Corporate Authorities of the City then holding office, a Resolution has heretofore been adopted authorizing the execution of this Agreement.

NOW, THEREFORE, in consideration of the foregoing Recitals and in further consideration of the mutual covenants, conditions and agreements herein contained, the Parties hereto agree as follows:

GENERAL PROVISIONS

Section 1: Incorporation of Recitals

The Parties hereby confirm the truth and validity of the representations and recitations set forth in the foregoing Recitals. The Parties further acknowledge that the same are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this Section 1.

Section 2. Applicable Law

This Agreement is made and entered into by the Parties pursuant to and in accordance with the provisions of 65 ILCS 5/11-15.1-1, *et seq.*, as amended. All terms and conditions of this Agreement and all acts of the City and Owner pursuant to this Agreement are entered into and performed pursuant to all applicable laws and statutes of the State of Illinois.

Section 3. Mutual Assistance

The Parties shall do all things necessary or appropriate to carry out the terms and provisions of this Agreement and to aid and assist each other in furthering the objectives of this Agreement and the intent of the Parties as reflected by the terms of this Agreement, including, without limitation, the giving of such notices, the holding of such public hearings and the enactment by the City of such resolutions and ordinances, the execution of such permits, applications and agreements and the taking of such other actions as may be necessary to enable the Parties' compliance with the terms and provisions of this Agreement and as may be necessary to give effect to the objectives of this Agreement and the intentions of the Parties as reflected by the terms of this Agreement.

ANNEXATION

Section 4. Annexation

Subject to the provisions of 65 ILCS 5/7-1-8, as amended, the Parties respectively agree to do all things necessary or appropriate to cause the Subject Property to be duly and validly annexed to the City as soon as practicable after the execution of this Agreement, including but not limited to the City's passage and approval of an Ordinance providing for the annexation of the Subject Property. Attached hereto and incorporated herein as Exhibit C is the form of Ordinance providing for the annexation of the Subject Property.

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the City's lawful authority to annex the Subject Property or challenge the method or procedures by or through which the Parties purported to cause the Subject Property to be annexed to the City, the Parties agree that they shall fully cooperate, as provided in Section 3 hereof, to defend such cause of action.

Should a court of competent jurisdiction finally determine that annexation of the Subject Property was defective because of the failure of the Parties to follow a procedural requirement constituting a valid precondition to proper annexation of the Subject Property, the Parties, including the successors and assigns of Owner, agree to promptly cause the Subject Property to be re-annexed to the City in a manner which satisfies all procedural requirements.

The Annexation Ordinance for the Subject Property shall be filed with the DuPage County Clerk and recorded at Owner's expense with the DuPage County Recorder's Office, along with the Plat of Annexation in compliance with Illinois law. The City shall send all notices required by Illinois law to be sent in connection with the enactment of the Annexation Ordinance.

ZONING/DEVELOPMENT

Section 5. Zoning and related municipal actions

A. After the passage and approval of the Ordinance annexing the Subject Property ("Annexation Approval"), the Corporate Authorities of the City shall adopt the following ordinances classifying the Subject Property under the provisions of the UDO or otherwise take actions under the UDO or Municipal Code as follows:

1. Immediately after the Annexation Approval, adopting a Resolution approving the Final Plat of Subdivision (the "Subdivision Approval") to (a) consolidate the existing twenty (20) lots into one (1) lot of record; (b) dedicate to the City of Wood Dale not more than seven feet of the eastern property line of the Subject Property for incorporation into dedicated North Central Avenue; and (c) grant to the City various agreed-upon easements. Attached hereto and incorporated herein as Exhibit D is the form of Ordinance providing for approval of the Final Plat of Subdivision of the Subject Property.

2. Immediately after the Annexation Approval, the Corporate Authorities of the City shall adopt an Ordinance providing for the vacation of Washington Street, in the form attached hereto and incorporated herein by reference as Exhibit E, and by such, transferring title to the Washington Street right-of-way to the Owner (the "Washington Street Vacation Approval").

3. Immediately after the Washington Street Vacation Approval, adopting an Ordinance approving a Map Amendment, reclassifying the Subject Property from R-1 Estate Residential under the City's UDO to the Business Park Sub-area in the Thorndale Corporate Corridor Overlay District applying the Block H development standards to the Subject Property with underlying I-1 Light Industrial Zoning, in the form of Ordinance attached hereto and incorporated herein as Exhibit F (the "District Rezoning"); and

4. Immediately after approving the District Rezoning, adopting an Ordinance approving a special use permit for the Subject Property as a Planned Unit Development ("PUD"), which Ordinance approving the PUD for the Project shall be in the form that is attached hereto and made a part hereof by reference as Exhibit G. The PUD Ordinance shall specifically state that any use now or hereafter allowed as a permitted use under the Thorndale

Corporate Corridor Overlay District Business Park Sub-area shall be permitted on the Subject Property without necessity of further hearings or zoning relief and, in addition, shall incorporate the following specific deviations from the UDO:

(i). A deviation from Section 17.906 to allow 144 off-street parking spaces to serve the Project instead of the otherwise applicable 240-space off-street parking minimum requirement.

(ii). A deviation from Section 17.607(C)(6)(i)(2) to allow for the location of the northern service drive of the Project notwithstanding the location of any other access drives on the eastern side of Central Avenue.

(iii). A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Central Avenue and 44 feet in width at the roadway line.

(iv). Deviations from Section 17.902(A)(8) to eliminate any requirement for a surface parking zone along the Project's east side and, as well, strict compliance with any "build to line" requirements.

(v). Deviations from Sections 17.502(A)(j)(3) and 17.907(C)(7)(a) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure requirements due to the screening provided by the Project design.

5. Concurrently with approval of the PUD, issuing Major Site Plan approval of the Project within the meaning of Section 17.402 of the UDO.

B. If (i) the Corporate Authorities do not adopt the Subdivision Approval, the Washington Street Vacation Approval, the District Rezoning (including the Map Amendment) and the PUD Ordinance immediately upon annexation of the Subject Property or (ii) the City breaches, in any material respect, or fails to perform any material obligation in a timely manner, any of the City's undertakings or agreements contained in this Agreement, then in either circumstance the Corporate Authorities at the next regularly scheduled meeting that is at least thirty (30) days after the Owner has filed a proper petition pursuant to 65 ILCS 5/7-3-4, shall disconnect the Subject Property from Wood Dale. In such event and thereafter during the term of this Agreement, Wood Dale agrees that it shall only annex the Subject Property upon the filing by the Owner of a new petition for annexation pursuant to 65 ILCS 5/7-1-8 and that it shall not annex the Subject Property pursuant to any other provisions of the Illinois Municipal Code.

Section 6. Development

Subject to final approval by the City Council and/or Corporate Authorities of the various approvals described in Section 5 and the timely issuance by the City of necessary permits, construction on the Project is expected to commence in July 2019 with demolition of the existing structures on the Subject Property. Vertical construction of the Project is expected to take

approximately seven (7) months with substantial completion projected in January 2020 (subject to any adjustments in such expected completion date necessary in light of permit issuance dates and/or any unforeseen circumstances).

Owner and the City agree, in addition, on the following development parameters or understandings in connection with Owner's undertaking of the Project:

(a) Recordation of the Final Plat of Subdivision must occur not later than sixty (60) days following the date of approval of this Annexation Agreement, but need not occur prior to the issuance of a site grading permit for the Project.

(b) During the term (as hereinafter defined), the City will not approve with respect to the Subject Property without Owner's consent a Map Amendment or amendment to the PUD.

(c) Notwithstanding anything to the contrary in the Municipal Code, Project operations, including exterior delivery, loading, trash removal and compaction operations, may occur 24 hours per day. Construction hours shall be governed by Section 12.604 (D) of the Municipal Code.

(d) As part of any text amendment to the provisions of the Thorndale Corridor Corporate Overlay District (Article IX of the UDO) considered by the City subsequent to the date of this Agreement, such text amendment shall include provisions to apply the Block H development standards of the Business Park Sub-area of the District to the Subject Property in such a manner so as not to conflict with the PUD and Major Site Plan approved for the Project and for the elimination of section 17.905 from the UDO.

(e) Notwithstanding anything to the contrary in the UDO, the PUD shall remain in effect in the event of a casualty loss. Further, the special use permit and PUD shall remain in effect notwithstanding any vacancies within the Project so long as the Project improvements remain on the Subject Property. Finally, the PUD will remain in effect notwithstanding any project commencement or completion delays so long as construction commencement pursuant to duly issued permits occurs within 24 months of the Annexation Approval and a certificate of occupancy for the Project is issued within 42 months from Annexation Approval, with such time periods extended for each day that a delay in construction commencement or Project completion is attributable to circumstances beyond the control of the Owner.

(f) The Subject Property and Project at the expiration or termination of this Agreement shall be considered permitted uses or lawfully-existing special uses pursuant to the PUD specifically and UDO more generally, and notwithstanding anything to the contrary in the UDO, no such uses, buildings or structures existing at the date of expiration or termination of this Agreement shall be subject to City-imposed amortization or termination provisions, whether through the UDO or otherwise. This subsection shall specifically survive the expiration or termination of this Agreement and the City specifically acknowledges that the Owner will be relying in good faith on the City's agreement with the terms and conditions of this subsection, and the City shall be estopped from any attempts to hinder or prevent the enforceability of this subsection.

SEWER AND WATER

Section 7. Sewer and Water

From and after the execution of this Agreement, and provided that Owner is in full compliance with its obligations under this Agreement, Owner shall have the right, upon payment of all applicable connection, inspection, permit and other related charges and fees, to connect the Subject Property to the City's sewer and water systems available on Central Avenue. Owner shall bear all customary costs and expenses relating to such connections.

APPLICABLE MUNICIPAL STANDARDS

Section 8. Codes and Ordinances.

During the term of this Agreement, the City agrees that except as otherwise provided in this Agreement or the PUD Ordinance, all provisions of the Code and all other applicable City Codes, ordinances, rules, regulations and standards generally in force, from time to time, within the City ("Applicable Codes") shall apply to the Subject Property, except to the extent that the same are superseded by more restrictive standards imposed by other regulatory authorities having jurisdiction and, further, except as the same may be specifically modified by the terms of this Agreement. In the event of any conflict between standards in the Applicable Codes and/or in the standards imposed by other regulatory authorities having jurisdiction, the most restrictive provision shall apply. If any Applicable Code is hereinafter adopted, amended or interpreted so as to be less restrictive upon Owner, its successors or assigns with respect to the development of the Project or to the Subject Property than might be the case under the terms of this Agreement, then, at Owner's option, such less restrictive amendment or interpretation shall control.

SCHOOL, PARK AND FIRE PROTECTION DISTRICT CONTRIBUTIONS/DONATIONS

Section 9. Contributions, Donations

The Parties agree that the Project shall not be subject to any school, park ~~or~~ fire protection or any other contributions or donations.

MUNICIPAL FEES

Section 10. Municipal Fees

Owner agrees it shall pay to the City all fees assessed for annexation and development of the Subject Property to the City. Such fees shall include the City's attorneys incurred in the drafting and review of the Agreement. All fees assessed are included in the City's Master Fee Schedule, available at <http://www.wooddale.com/government/master-fee-schedule>.

MISCELLANEOUS PROVISIONS

Section 11. Notices

All notices hereunder shall be in writing and must be served either personally or by registered or certified mail, postage prepaid to:

The City at: City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191
Attn: City Manager

With a copy to: Bond, Dickson & Conway
City Attorneys
400 S. Knoll Street, Unit C
Wheaton, IL 60187
Attn: Patrick K. Bond
e-mail: patrickbond@bond-dickson.com

The Owner at: CH Realty VIII/I Chicago Washington St. L.L.C.
3819 Maple Avenue
Dallas, Texas 75219
e-mail: mcolter@crowholdings.com

With a copy to: Winstead PC
500 Winstead Buliding
2728 N. Harwood Street
Dallas, Texas 75201
e-mail: gzimmerman@winstead.com

or to any other person or place which any Party hereto, by its prior written notice, shall designate for notice to it from the other Parties hereto.

Section 12. Binding Effect, Term And Amendment

Except as otherwise herein provided, this Agreement shall be binding upon and inure to the benefit of the Parties hereto, successor Owner of record of the Subject Property, its assigns, lessees and upon any successor for fifteen years (15) years from the date set forth in the first paragraph of this Agreement.

It is hereby understood and agreed that this Agreement is a covenant running with the land and is binding thereon. All persons who take title to any part of the Subject Property shall comply with the provisions of this Agreement. This Agreement may be amended from time to time with the consent of the Parties hereto, pursuant to statute in such case made and provided.

Section 13. Severability

This Agreement is entered into pursuant to the provisions of 65 ILCS 5/11-15.1-1 *et seq.*, as amended. In the event any part or portion of this Agreement, or any provision, clause, wording or designation contained within this Agreement is held to be invalid by any court of competent jurisdiction, such part, portion, provision, clause, wording or designation shall be deemed to be excised from this Agreement and the invalidity thereof shall not affect the remaining portions hereof.

Section 14. Enforceability

This Agreement shall be enforceable in any court of competent jurisdiction by any of the Parties hereto by any appropriate action at law or in equity, including, without limitation, the right of any Party hereto to seek specific performance of the terms hereof.

Section 15. Survival Or Representations

Each of the Parties hereto, for themselves, their successors, assigns, heirs, devisees and personal representatives, agrees that the warranties and recitals set forth in the preambles hereto are material to this Agreement, and the Parties hereby confirm and admit their truth and validity and hereby incorporate such representations, warranties and recitals into this Agreement, and the same shall continue during the term of this Agreement. The provisions of this Agreement shall survive the annexation and zoning of the Subject Property by the City, and shall not be merged or expunged by such annexation and zoning.

Section 16. Gender

Unless the provisions of this Agreement otherwise require, words imparting the masculine gender shall include the feminine gender; words imparting the singular number shall include the plural; and words imparting the plural shall include the singular.

Section 17. Captions And Paragraph Headings

The captions and paragraph headings incorporated herein are for reference only and are not part of this Agreement.

Section 18. Changes In Regulations

It is understood and agreed, except as otherwise provided herein, that the various requirements of the Applicable Codes, including all fees and charges provided for therein, shall not be frozen during the term of this Agreement and may, from time to time, be amended, and as amended, shall apply to the Subject Property.

Section 19. Counterparts

This Agreement may be executed in any number of counterparts, each of which shall be an original, but such counterparts shall together constitute but one and the same instrument.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date first above written.

CITY OF WOOD DALE,
an Illinois municipal corporation

By: _____
Mayor

ATTEST:

City Clerk

**CH REALTY VIII/I CHICAGO
WASHINGTON ST., L.L.C.**

By: _____

Its: _____

ATTEST:

Corporate Secretary

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Annuziato Pulice, Mayor of the City of Wood Dale, and Shirley Seibert, City Clerk of said City, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Mayor and City Clerk, respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ____ day of _____,
2019.

Notary Public

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that _____, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ____ day of _____,
2019.

Notary Public

LIST OF EXHIBITS

Exhibit A - Legal Description

Exhibit B – Plat of Annexation

Exhibit C - Annexation Ordinance

Exhibit D - Resolution Approving Final Plat of Subdivision

Exhibit E – Ordinance Vacating Washington Street

Exhibit F – Resolution Approving Rezoning

Exhibit G – Ordinance Approving Planned Unit Development

EXHIBIT A
LEGAL DESCRIPTION

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

ORDINANCE NO. O-19-014

**AN ORDINANCE ANNEXING PROPERTY COMMONLY KNOWN AS THE
WASHINGTON STREET REDEVELOPMENT PROPERTY,
640 N. CENTRAL AVENUE TO THE CITY OF WOOD DALE, ILLINOIS**

WHEREAS, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C. (“Owner”) is the owner of record of the property which bears the common address (upon annexation) of 640 N. Central Avenue, Wood Dale, IL, identified and described as follows:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township

40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 14 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

(“Subject Property”); and

WHEREAS, the Owner of the Subject Property has filed with the City Clerk a Petition Under Oath, a copy of which is attached hereto and incorporated herein by reference as Exhibit A, requesting that the Subject Property described herein be annexed to the City of Wood Dale; and

WHEREAS, there are no electors residing on the Subject Property as of the date hereof; and

WHEREAS, the Subject Property is not within the corporate limits of any municipality, and is contiguous to the corporate limits of the City of Wood Dale; and

WHEREAS, the statutes of the State of Illinois provide that upon the filing of such Petition, the Corporate Authorities of the City of Wood Dale (“Corporate Authorities”) may pass an ordinance annexing said territory to the City; and

WHEREAS, for purposes of said Annexation, Owner and the Corporate Authorities (sometimes collectively referred to as the “Parties”) have entered into a certain Annexation Agreement to govern the annexation of the Subject Property; and

WHEREAS, pursuant to the terms of the Annexation Agreement, the Corporate Authorities must now adopt an Ordinance authorizing the annexation of the Subject Property to the City of Wood Dale.

NOW, THEREFORE, BE IT ORDAINED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS as follows:

SECTION ONE: That the recitals set forth herein are incorporated herein by reference.

SECTION TWO: That subject to the terms of the Annexation Agreement executed by the Parties, the Subject Property is hereby Annexed to the City of Wood Dale, DuPage County, Illinois, together with all adjacent streets and highways contiguous to said property (if not already within the corporate limits of the City of Wood Dale), so that the new boundaries of the territory annexed shall extend to the far side of the adjacent streets and highways not within the corporate limits of any other municipality.

SECTION THREE: That the official map of the City of Wood Dale be amended to reflect the extension of corporate limits of the City of Wood Dale to include the Subject Property described herein and annexed hereby.

SECTION FOUR: That the City Clerk of the City of Wood Dale is directed hereto to file in the Offices of the Recorder and County Clerk of DuPage County, Illinois, a certified copy of this Ordinance, together with an accurate map of the territory annexed, as shown in the Plat of Annexation attached hereto as Exhibit B.

SECTION FIVE: That the City Clerk of the City of Wood Dale is directed hereto to provide written notification of the annexation of this Subject Property via certified mail to the DuPage County Clerk, Elections Division, 421 N. County Farm Road, Wheaton, Illinois 60187 and to the U.S. Post Office, 27 N. Wood Dale Road, Wood Dale, IL 60191.

SECTION SIX: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published.

SECTION SEVEN: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION EIGHT: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

AYES:

NAYES:

ABSENT:

PASSED this 20th day of June, 2019

APPROVED this 20th day of June, 2019

Annunziato Pulice, Mayor

ATTEST:

Shirley J. Siebert, City Clerk

Published in pamphlet form _____, 2019

EXHIBIT A
PETITION FOR ANNEXATION

EXHIBIT B
PLAT OF ANNEXATION

ORDINANCE NO. O-19-015

AN ORDINANCE REZONING LAND FROM R-1 ESTATE RESIDENTIAL TO BUSINESS PARK SUB-AREA IN THE THORNDALE CORRIDOR CORPORATE OVERLAY DISTRICT (640 N. CENTRAL AVENUE)

WHEREAS, the City of Wood Dale (the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C., by and through an agent (“Applicant”), has filed an application for rezoning of property upon annexation, said property being described as:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

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Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10,

township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

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Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

WHEREAS, notice of public hearing on the proposed rezoning of the Subject Property under Case Number 2019-CDC-01 was published in the Daily Herald in the time required by law, and all

other notice required by law was made, as required by the ordinances of the City and the Statutes of the State of Illinois; and

WHEREAS, on May 20, 2019, the Community Development Commission held a public hearing on the proposed rezoning, and application for a Special Use Permit for a Planned Unit Development; and

WHEREAS, the Community Development Commission considered the facts and testimony for Case Number 2019-CDC-01 and determined that the rezoning of the Subject Property from R-1 Estate Residential to Business Park Sub-Area in the Thorndale Corridor Corporate Overlay District (applying Block H development standards) with underlying I-1 Light Industrial zoning as requested by the Applicant, upon annexation to the City, meets the standards of approval for rezoning, and in making its determination, the Community Development Commission adopted the findings of fact provided by staff within the staff memorandum dated May 20, 2019, attached hereto and incorporated by reference as Exhibit A as the findings of the Community Development Commission, and recommended to the City Council approval of Case No. 2019-CDC-01.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

SECTION TWO: The Subject Property, as described herein is hereby zoned from R-1 Estate Residential District to Business Park Sub-Area in the Thorndale Corridor Corporate District Overlay District (applying the Block H development standards) with underlying I-1 Light Industrial Zoning.

SECTION THREE: That the recommendations and findings of fact of the Community Development Commission previously incorporated as Exhibit A, be and the same hereby are adopted as the findings of fact of the City Council.

SECTION FOUR: That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019

SIGNED: _____
Annuziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

Published in pamphlet form _____, 2019

EXHIBIT A

STAFF MEMORANDUM DATED MAY 20, 2019

ORDINANCE NO. O-19-016

**AN ORDINANCE APPROVING A SPECIAL USE
FOR A PLANNED UNIT DEVELOPMENT FOR
THE WASHINGTON STREET REDEVELOPMENT PROPERTY
640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS**

WHEREAS, the City of Wood Dale (the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C. (“Petitioner”), has petitioned the City for approval of a Special Use, Planned Unit Development, for the improvement of the Property, commonly identified (after annexation) as 640 N. Central Avenue, Wood Dale, being described as:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

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Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

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Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

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Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

WHEREAS, a Special Use Permit to allow a Planned Unit Development is authorized under sections 17.403, 17.405, and 17.503 of the Unified Development Ordinance (“UDO”) in the Thorndale Corridor Corporate Overlay District; and

WHEREAS, on May 20, 2019, the Community Development Commission held a public hearing on the proposed Special Use Permit for a Planned Unit Development, following the necessary publication of a legal notice pursuant thereto, as required by law; and

WHEREAS, the Community Development Commission considered the facts and testimony for Case Number 2019-CDC-01 and determined that the proposed Final Development Plan meets the standards of approval for a Special Use Permit for a Planned Unit Development and that the Final Development Plan is consistent with the UDO and the City’s Comprehensive Plan, with the following approved deviations (as identified on the Final Development Plan) from the UDO:

(1) A deviation from Section 17.906 to allow 144 off-street parking spaces to serve the Project instead of the otherwise applicable 240-space off-street parking minimum requirement,

(2) A deviation from Section 17.607(C)(6)(i)(2) to allow for the location of the northern service drive of the Project notwithstanding the location of any other access drives on the eastern side of Central Avenue,

(3) A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Central Avenue and 44 feet in width at the roadway line,

(4) Deviations from Section 17.902(A)(8) to eliminate any requirement for a surface parking zone along the Project's east side and, as well, strict compliance with any "build to line" requirements, and

(5) Deviations from Sections 17.502(A)(j)(3) and 17.907(C)(7)(a) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure requirements due to the screening provided by the Project design; and

WHEREAS, in making its determination, the Community Development Commission adopted the findings of fact provided by staff within the staff memorandum dated May 20, 2019, attached hereto and incorporated by reference as Exhibit A as the findings of the Community Development Commission and recommended to the City Council approval of Case No. 2019-CDC-01 with the following conditions:

1. The Special Use Permit for a Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City Code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application, and

2. Prior to the issuance of a Certificate of Occupancy: the concrete sidewalk along the western side of Central Avenue shall be installed and inspected by the City of Wood Dale; and

WHEREAS, the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale reviewed the findings made by the Community Development Commission, and concurred with its recommendation for approval with conditions as stated therein, and voted to refer this matter to the City Council for consideration; and

WHEREAS, the City Council of the City of Wood Dale has received the recommendation of the Planning, Zoning and Building Committee and of the Community Development Commission, and has reviewed the findings made relative to the application, and upon its consideration, determined to approve the request for a Special Use Permit for a Planned Unit Development in the Business Park Sub-area of the Thorndale Corridor Corporate Overlay District (with application of the Business Park Block H development standards to the Subject Property), with underlying I-1 Light Industrial zoning.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

SECTION TWO: The Property is hereby granted a Special Use Permit for a Planned Unit Development, pursuant to the Final Development Plan dated May 10, 2019, which identifies the following deviations to the UDO:

(1) A deviation from Section 17.906 to allow 144 off-street parking spaces to serve the Project instead of the otherwise applicable 240-space off-street parking minimum requirement,

(2) A deviation from Section 17.607(C)(6)(i)(2) to allow for the location of the northern service drive of the Project notwithstanding the location of any other access drives on the eastern side of Central Avenue,

(3) A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Central Avenue and 44 feet in width at the roadway line,

(4) Deviations from Section 17.902(A)(8) to eliminate any requirement for a surface parking zone along the Project's east side and, as well, strict compliance with any "build to line" requirements, and

(5) Deviations from Sections 17.502(A)(j)(3) and 17.907(C)(7)(a) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure

requirements due to the screening provided by the Project design; and

Which approval is subject to the following conditions:

1. The Special Use Permit for a Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City Code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application, and

2. Prior to the issuance of a Certificate of Occupancy: the concrete sidewalk along the western side of Central Avenue shall be installed and inspected by the City of Wood Dale.

SECTION THREE: Any use now or hereafter allowed as a permitted use under the Thorndale Corporate Corridor Overlay Business Park Sub-area shall be permitted on the Subject Property without necessity of further hearings or zoning relief.

SECTION FOUR: That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019

SIGNED: _____
Annuziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

Published in pamphlet form _____, 2019

EXHIBIT A

STAFF MEMORANDUM DATED MAY 20, 2019

ORDINANCE NO. O-19-017

**AN ORDINANCE VACATING WASHINGTON STREET
(South of Beinoris Drive between N. Central Avenue and N. Wood Dale Road)**

WHEREAS, the City of Wood Dale (the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, on June 20, 2019, the Corporate Authorities of the City authorized the annexation of certain property (“Property”) to the City described as follows:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 14 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

(“Subject Property”); and

WHEREAS, in annexing the Property, the City also annexed a right of way commonly identified as Washington Street, south of Beinoris Drive between N. Central Avenue and N. Wood Dale Road, which provides ingress/egress to the properties identified herein; and

WHEREAS, Section 11-91-1 of the Illinois Municipal Code, 65 ILCS 5/11-91-1, provides that the Corporate Authorities of a municipality may by ordinance vacate any street or alley, or part thereof, within their jurisdiction after determining that the public interest will be subserved by said vacation; and

WHEREAS, Section 11-91-2 of the Illinois Municipal Code, 65 ILCS 5/11-91-2, provides that upon the vacation of a street, or any part thereof, by virtue of any ordinance of any municipality, title to the land included therein will vest in the then owners of the land abutting thereon; and

WHEREAS, CH Realty VIII/I Chicago Washington St., L.L.C. (“CH Realty”), is the owner of the Property, all of which abuts Washington Street to be vacated; and

WHEREAS, CH Realty has petitioned the City to vacate said Street as part of its redevelopment of the Property, and to rezone the Property, upon annexation from R-1 Estate Residential to the Business Park Sub-area of the Thorndale Corridor Corporate Overlay District (with application of the Business Park Block H development standards) with underlying I-1 Light Industrial zoning to permit construction of a single industrial building, construction of which incorporates the land upon which the Street lies; and

WHEREAS, said vacation will not materially impair access to any property owner; and

WHEREAS, the City Council finds that the Street is of no further use to the City; and

WHEREAS, the City Council finds that the public interest will be subserved by vacating said Street, particularly when such vacation will serve to allow a major redevelopment of the Property encompassing the Street and considering the relief to the public from further burden and responsibility of maintaining the Street herein vacated; and

WHEREAS, the City Council finds that the City and its residents will benefit from the redevelopment of the property encompassing the Street, which development will bring in property tax revenue and employment, and that this benefit is just and adequate compensation for the benefit which will accrue to CH Realty by reason of the vacation of the Street.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS as follows:

SECTION ONE: That the recitals set forth herein are incorporated herein by reference.

SECTION TWO: That this Ordinance is hereby passed by the affirmative vote, the “ayes” and “nays” being called, of three-fourths of all the aldermen then holding office (6 of 8) of the City of Wood Dale, at a duly called meeting of the City Council.

SECTION THREE: That by this vote, the City Council hereby vacates Washington Street, subject to the terms set forth in this Ordinance as it abuts the Property described herein.

SECTION FOUR: Upon vacation of the above described Street, title to the property on which the Street is located shall vest in CH Realty VIII/I Chicago Washington St., L.L.C. While the land abutting the Street has been approved for consolidation into one lot of record, the current permanent index numbers, and addresses of the land abutting the Street described above is currently as follows:

6N652 Central	03-10-107-009
6N550 Central	03-10-107-010
17W475 Washington	03-10-107-008
17W489 Washington	03-10-107-007
17W527 Washington	03-10-107-005 and 03-10-107-004
17W539 Washington	03-10-107-002
17W550 Washington	03-10-106-007
17W522 Washington	03-10-106-009
17W520 Washington	03-10-106-010
6N606 Central	03-10-106-015
17W476 Washington	03-10-106-013
17W540 Washington	03-10-106-008
17W510 Washington	03-10-106-011
17W511 Washington	03-10-107-006
17W537 Washington	03-10-107-003

Lot 11 Washington 03-10-107-001
17W570 Washington 03-10-106-006
17W486 Washington 03-10-106-012
6N606 Central 03-10-106-014

SECTION FIVE: That the vacation of Washington Street is depicted on the Final Plat of Subdivision, approved by the Corporate Authorities of the City as Resolution No. R-19___, and said Final Plat shall serve to memorialize the vacation of Washington Street as authorized herein.

SECTION SIX: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published.

SECTION SEVEN: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION EIGHT: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

PASSED this ___ day of _____, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this ___ day of _____, 2019

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

Published in pamphlet form _____, 2019

RESOLUTION NO. R-19-29

**A RESOLUTION APPROVING THE FINAL PLAT OF SUBDIVISION
TO CONSOLIDATE LOTS FOR PROPERTY COMMONLY KNOWN AS
WASHINGTON STREET REDEVELOPMENT
640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS**

WHEREAS, the City of Wood Dale (the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, CH Realty VIII/I Chicago Washington St., L.L.C. (“Petitioner”) is the Petitioner in Case No. 2019-CDC-01; and is the owner of the property commonly identified (upon annexation) as 640 N. Central, Wood Dale (collectively the “Property”); and

WHEREAS, the Petitioner has requested approval of a Final Plat of Subdivision to consolidate lots into one zoning lot for the improvement of the Property being described as:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range

11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

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Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 14 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

(“Subject Property”); and

WHEREAS, the application for said lot consolidation was made under Case No. 2019-CDC-01 and was discussed by the Community Development Commission on May 20, 2019, at which time the Community Development Commission recommended approval of the requested lot consolidation; and

WHEREAS, the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale reviewed the findings made by the Community Development Commission, and concurred with its recommendation for approval, and referred this matter to the Corporate Authorities for consideration; and

WHEREAS, the Corporate Authorities of the City of Wood Dale received the recommendation of the Planning, Zoning and Building Committee and of the Community Development Commission, and reviewed the findings made relative to the application, and upon its consideration, determined to approve the Final Plat of Subdivision.

NOW, THEREFORE, BE IT RESOLVED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS as follows:

SECTION ONE: The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

SECTION TWO: That the Final Plat of Subdivision for the Washington Street Redevelopment, located at 640 N. Central, Wood Dale, Illinois, is hereby approved, as part of the approval of the Special Use, Planned Unit Development, for the Washington Street Redevelopment and conditions set forth relative thereto.

SECTION THREE: That the Mayor, City Clerk, City Treasurer and Community Development Commission Chairman are authorized and directed to sign the Final Plat of Subdivision (attached as Exhibit A) by and on behalf of the City.

SECTION FOUR: That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Resolution are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That this Resolution shall be in full force and effect from and after its adoption in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

EXHIBIT A

FINAL PLAT OF SUBDIVISION



REQUEST FOR COUNCIL ACTION

Referred to Council:	June 20, 2019
Subject:	Mutual Aid Agreement
Staff Contact:	Greg Vesta, Chief of Police
Department:	Police

TITLE: A Resolution Authorizing the Execution of an Intergovernmental Police Service Assistance Agreement to Join the DuPage Metropolitan Emergency Response and Investigation Team (Merit)

COMMITTEE ACTION FOLLOW-UP ITEMS:

Passed Committee 8-0

There are no follow-up items.

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ Mutual Aid Agreement

RESOLUTION R-19-30

A RESOLUTION AUTHORIZING THE EXECUTION OF AN INTERGOVERNMENTAL POLICE SERVICE ASSISTANCE AGREEMENT TO JOIN THE DUPAGE METROPOLITAN EMERGENCY RESPONSE AND INVESTIGATION TEAM (MERIT)

WHEREAS, the City of Wood Dale, DuPage County, of the State of Illinois is a duly constituted public agency of the State of Illinois, and;

WHEREAS, the City of Wood Dale, as a public agency of the State of Illinois, is authorized and empowered by the Constitution of the State of Illinois (Ill. Const. Art. VII, § 10) and the Illinois Intergovernmental Cooperation Act (5 ILCS 220/1 *et seq.*) to enter into intergovernmental agreements with other public agencies on matters of mutual concern and interest such as the provision of adequate law enforcement personnel and resources for the protection of residents and property falling within the jurisdiction of the City of Wood Dale, and;

WHEREAS, the City of Wood Dale recognizes that certain natural or man-made occurrences may result in emergencies or disasters that exceed the resources, equipment and/or law enforcement personnel of a single given public agency, and;

WHEREAS, a given public agency can, by entering into an Intergovernmental Police Service Assistance Agreement for law enforcement services and resources, effectively provide a broader range and more plentiful amount of law enforcement capability for the citizenry which it serves, and;

WHEREAS, in order to have an effective Intergovernmental Police Service Assistance Agreement for law enforcement resources and services, the City of Wood Dale recognizes it must be prepared to come to the aid of other public agencies in their respective times of need due to emergencies or disasters, and;

WHEREAS, the City of Wood Dale recognizes the need to develop an effective Intergovernmental Police Service Assistance Agreement for law enforcement services and resources upon which it may call upon in its time of need and is prepared to enter into an Intergovernmental Police Service Assistance Agreement for law enforcement services and resources with other like-minded public agencies, and;

WHEREAS, the City of Wood Dale also recognizes the need for the existence of a public agency, formed by an Intergovernmental Police Service Assistance Agreement between two or more public agencies, which can serve to coordinate and facilitate the provision of law enforcement mutual aid between signatory public agencies to an Intergovernmental Police Service Assistance Agreement for law enforcement services and resources, and;

WHEREAS, the City of Wood Dale has been provided with a certain "Intergovernmental Police Service Assistance Agreement" which has been reviewed by

the elected officials of the City of Wood Dale, and which other public agencies in the County of DuPage, State of Illinois are prepared to execute, in conjunction with the City of Wood Dale, in order to provide and receive law enforcement mutual aid services, as set forth in the “Intergovernmental Police Service Assistance Agreement,” and;

WHEREAS, it is the anticipation and intention of the City of Wood Dale that this “Intergovernmental Police Service Assistance Agreement” will be executed in counterparts as other public agencies choose to enter into the “Intergovernmental Police Service Assistance Agreement” and strengthen the number of signatory public agencies and resources available from those public agencies, and;

WHEREAS, it is the anticipation and intent of the City of Wood Dale that the “Intergovernmental Police Service Assistance Agreement” will continue to garner support and acceptance from other currently unidentified public agencies who will enter into the “Intergovernmental Police Service Assistance Agreement” over time, and be considered as if all signatory public agencies to the “Intergovernmental Police Service Assistance Agreement” had executed the “Intergovernmental Police Service Assistance Agreement” at the same time,

NOW THEREFORE, be it resolved by the Mayor and City Council of the City of Wood Dale, County of DuPage, State of Illinois, as follows:

SECTION 1: This Resolution shall be known as, and may hereafter be referred to as, the Resolution Authorizing the Execution of an Intergovernmental Police Service Assistance Agreement and the Existence and Formation of the DuPage Metropolitan Emergency Response and Investigation Team (MERIT) by Intergovernmental Cooperation.

SECTION 2: The Resolution Authorizing the Execution of an Intergovernmental Police Service Assistance agreement and the Existence and Formation of the DuPage Metropolitan Emergency Response and Investigation Team (MERIT) by Intergovernmental Cooperation shall be, and hereby is, enacted as follows:

- a. Authorization to enter into a Certain Agreement. The City Manager of City of Wood Dale is hereby authorized to sign, execute, and deliver the agreement known as the “Intergovernmental Police Service Assistance Agreement,” and thereby enter into an intergovernmental agreement with such other public agencies of the County of DuPage, State of Illinois as are likewise willing to enter into said “Intergovernmental Police Service Assistance Agreement,” and recognize the existence and formation of the DuPage Metropolitan Emergency Response and Investigation Team, as set forth in the “Intergovernmental Police Service Assistance Agreement.”
- b. Effective Date. This Resolution shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION 3: That this resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this 20th day of June, 2019.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019.

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

METROPOLITAN EMERGENCY RESPONSE & INVESTIGATION TEAM (MERIT) OF DUPAGE COUNTY

INTERGOVERNMENTAL POLICE SERVICE ASSISTANCE AGREEMENT

Recitals

This Intergovernmental Police Service Assistance (IPSA) Agreement is executed, in multiple counterparts, by the public agency shown upon last page hereof on the date that is set forth on the last page of this (IPSA) for the uses and purposes set forth herein.

Whereas, the undersigned public agency of the state of Illinois does hereby declare that it is in the best interest of the signatory public agency to make provision for law enforcement mutual aid in the event the undersigned public agency should need law enforcement mutual aid, and;

Whereas, the undersigned public agency of the State of Illinois recognizes that law enforcement mutual aid is most effective if those public agencies who could potentially benefit from law enforcement mutual aid are willing to provide law enforcement mutual aid to other public agencies who are willing to enter into a mutual aid agreement such as this Intergovernmental Police Service Assistance (IPSA) Agreement, and;

Whereas, in the State of Illinois, there exist constitutional and statutory provisions enabling and supporting the formation of intergovernmental agreements on matters such as law enforcement mutual aid, to wit, the Constitution of the State of Illinois (Ill. Const. Art. VII, § 10), the Illinois Intergovernmental Cooperation Act (5 ILCS 2020/1 et seq.), the Local Governmental and Governmental Employees Tort Immunity Act (745 ILCS 10/7-101 et seq.) and the Illinois Municipal Code (65 ILCS 5/11-1-2.1), and;

Whereas, in order to have an effective law enforcement mutual aid system, it is reasonable and desirable to have a third party entity that can support, centralize, coordinate and organize the provision of law enforcement mutual aid by and among signatory public agencies to the Intergovernmental Police Service Assistance (IPSA) Agreement, and;

Whereas, this IPSA is made in recognition of the fact that natural or man-made occurrences may result in emergencies or disasters that exceed the resources, equipment and/or law enforcement personnel of a given public agency; each public agency which signs a copy of this IPSA intends to aid and assist the other participating public agencies during an emergency or disaster by temporarily assigning some of the responding public agencies resources, equipment and/or law enforcement personnel to the requesting public agency as circumstances permit and in accordance with the terms of this IPSA; the specific intent of this IPSA being to safeguard the lives, persons and property of citizens of the County of DuPage and the State of Illinois during an emergency, law enforcement need, or disaster by enabling other public agencies to provide additional resources, equipment and/or law enforcement personnel as needed and;

Whereas, the establishment of MERIT, as described below, eliminates the need for and will combine existing IPSA organizations, FACIT and the MCTF under MERIT'S authority enhancing intergovernmental law enforcement capacity and communication while further promoting efficient operational structure to enhance positive public safety outcomes for the citizens of its members in a cost effective manner.

METROPOLITAN EMERGENCY RESPONSE & INVESTIGATION TEAM (MERIT) OF DUPAGE COUNTY

Whereas all units of local government signing this Agreement shall be referred to herein as Participating Agencies.

Now, therefore, the undersigned public agency does hereby enter into this IPSA with each and every other public agency which signs a counterpart copy of this IPSA and agrees and contracts as follows:

Section 1. Incorporation of Recitals.

The foregoing Recitals are incorporated herein and shall constitute material elements of this IPSA Agreement.

Section 2. Purpose.

Participating Agencies recognize that in certain situations the lawful use of law enforcement personnel and equipment to perform law enforcement duties outside of the territorial limits or jurisdiction of that unit of local government is desirable and reasonable in order to promote the preservation and protection of the health, safety and welfare of the public.

Section 3. Power and Authority.

A. Rendering and Requesting Aid. Each Participating Agency agrees that all other Participating Agencies and their employees rendering aid or assistance under this agreement shall be vested with the same jurisdictional powers and authority as the Participating Agency and its employees to which they are rendering aid or assistance, even should that unit of local government's boundaries extend beyond the geographic boundaries of DuPage County. Each "Participating Agency" approving this IPSA Agreement) agrees to render and request mutual law enforcement personnel, equipment, resources and facilities ("Resources") to and from other Participating Agencies to the extent such Resources not required for adequate protection of the Participating Agency. The discretionary judgment of each Participating Agency, by its police chief, director of public safety or his/her designee, as to the amount of its resources available to render aid shall be final.

B. Command and Employment. Law enforcement personnel of a Participating Agency commanded by their superior authority to perform duties under this IPSA Agreement within the jurisdiction of a requesting Participating Agency shall be under the direction and authority of the chief law enforcement officer, or his or her designee, of the requesting Participating Agency. However, at all times such law enforcement personnel from a responding Participating Agency shall remain employees of the responding Participating Agency and such Agency shall be solely responsible for all compensation, benefits, and insurance coverages owed such employees.

METROPOLITAN EMERGENCY RESPONSE & INVESTIGATION TEAM (MERIT) OF DUPAGE COUNTY

C. Reimbursement. Except as otherwise agreed to in writing between a requesting and responding Participating Agency, all Resources provided under this IPSA Agreement shall be provided without reimbursement to the responding Participating Agency from the requesting Participating Agency.

D. Withdrawal or Termination: Any Participating Agency may withdraw or terminate its participation in this Agreement upon sixty (60) day written notice to The MERIT board's chairperson. All annual fees payable to MERIT shall be paid prior to the effective date of withdrawal or termination and shall not be refunded or prorated: the obligation being annual regardless of the date of withdrawal or termination.

E. MERIT Member Termination. The chairperson may terminate a Participating Members membership in Merit upon 60 days written notice to the Participating Member of its failure or refusal to pay its annual fees. If a Participating Agency becomes a Requesting Participating Agency before the expiration of the 60 days it shall be obligated to pay MERIT the full annual fee for that year.

F. Dissolution. The Executive Board may vote to dissolve the MERIT Organization in accordance with the provisions stated herein. Dissolution may be considered at a regular meeting or special meeting called for consideration of the dissolution. A quorum of all directors of the MERIT Organization must be in attendance at any regular or special meeting at which dissolution is considered. Dissolution must be approved by a two-thirds vote of the directors in attendance. All participating agencies shall be given fourteen days' notice of the meeting date where the dissolution vote is on the agenda. Dissolution will not become effective until 90 days from the date the Resolution of Dissolution is adopted. The chairperson will immediately notify all members of the MERIT Organization of the dissolution. The Chairperson shall be authorized to effect the dissolution of the MERIT Organization upon adoption of a Resolution of Dissolution and shall be responsible for winding up the affairs of the MERIT Organization.

Section 4. Insurance and Indemnification.

A. Insurance. Each Participating Agency shall procure and maintain, at its sole and exclusive expense, insurance coverages which cover the Participating Agency, its Resources, and any liability for providing such Resources to a requesting Participating Agency in no less than the minimum amounts as follows:

1. Commercial General Liability (Including contractual liability coverage): \$1,000,000 combined single limit per occurrence for bodily injury, and property damage and \$1,000,000 per occurrence for personal injury. The general aggregate shall be twice the required occurrence limit. Minimum General Aggregate shall be no less than \$2,000,000 or a project/contract specific aggregate of \$1,000,000.
2. Business Automobile Liability: \$1,000,000 combined single limit per accident for bodily injury and property damage.

METROPOLITAN EMERGENCY RESPONSE & INVESTIGATION TEAM (MERIT) OF DUPAGE COUNTY

3. Workers' Compensation and Employers' Liability: Workers' Compensation coverage with statutory limits and Employers' Liability limits of \$500,000 per accident.
 4. Each Agency shall bear the responsibility for its own insurance even in the event of inadequate, nonexistent or exhausted coverage.
 5. The above listed minimum amounts of coverage shall not apply to self-insured Agencies.
- B. Indemnification. Each Participating Agency agrees that it shall be responsible for defending itself and indemnifying its own officers or employees in any action or dispute arising in connection with, or as a result of, this IPSA Agreement bought by non-party's to the Agreement. The requesting Participating Agency also agrees that this IPSA Agreement shall not give rise to any liability or responsibility for the failure of any other Participating Agency to respond to any request for assistance.
- C. Reciprocal waiver and release. Except as provided in subsection D of this Section 4, each Participating Agency hereby waives, releases, and discharges all other Participating Agency's from any and all claims, actions, causes of action, injuries, deaths, costs or expenses resulting from any actionable error or omission of that Participating Agency in its performance of this Agreement at the request of a requesting Participating Agency.
- D. Defense. In the event that DuPage Metropolitan Emergency Response and Investigation Team (MERIT) is named as a party to a lawsuit, claim or action as a separate party, either individually or in addition to other Participating Agencies, the Participating Agency requesting aid shall be responsible, at its sole cost, for the defense of MERIT in such lawsuit, claim or action.

Section 5. DuPage Metropolitan Emergency Response and Investigation Team

- A. Authority. The DuPage Metropolitan Emergency Response and Investigation Team (MERIT) shall carry out the mutual aid roles and responsibilities of the Participating Agencies and is not a separate, independent public agency under 5 ILCS 220/2. All Participating Agencies shall be members of The DuPage Metropolitan Emergency Response and Investigation Team. The DuPage Metropolitan Emergency Response and Investigation Team shall be governed by an Executive Board that shall be responsible for developing bylaws, rules, and regulations to carry out the terms and conditions of this IPSA Agreement provided such rules and regulations are not inconsistent with the terms of this IPSA Agreement. Participating Agencies agree to abide by all rules and regulations properly adopted and approved by The DuPage Metropolitan Emergency Response and Investigation Team Executive Board. Each Participating Agency agrees not to hold itself out as an agent of The DuPage Metropolitan Emergency Response and

METROPOLITAN EMERGENCY RESPONSE & INVESTIGATION TEAM (MERIT) OF DUPAGE COUNTY

Investigation Team and will instruct each of its employees that they are not to hold themselves out as employees or agents of The DuPage Metropolitan Emergency Response and Investigation Team.

- B. A copy of MERIT's initial by-laws are attached hereto and incorporated herein as if fully set forth a group exhibit 1. The by-laws may be amended by MERIT's executive board, without amendment of this Agreement in accordance with the terms of those by laws, except that amendments to the by-laws which increase MERIT's budget and result in a request to a Participating Agency for an increased payment shall not become effective until approved in the sole discretion of the corporate authorities of the Participating Member. If the Corporate Authorities of a Participating Member refuse or fail to pay a budget obligation to MERIT, the Chairperson shall proceed with termination as Set forth in Section 3 E.
- C. Executive Board. The MERIT Executive Board shall consist of twelve (12) persons comprised of the following:
 - a. The MERIT Coordinator and three Deputy Coordinators.
 - b. The DuPage County Sheriff
 - c. Five (5) Chief Executive Officers from Participating Agencies.
 - d. A current Executive Board member of the DuPage County Chiefs of Police Association.
 - e. DuPage County States Attorney Designee (non-voting member).

Section 6. Effective Date and Term. This IPSA Agreement shall become effective upon its adoption by ordinance by at least two units of local government. Upon adoption of an ordinance approving this IPSA Agreement, a unit of local government shall be deemed a Participating Agency. Additional units of local government may become Participating Agencies upon prior approval of the MERIT Executive Board which approval shall not be unreasonably withheld.

Section 7. General Conditions.

- A. Amendment. No amendment or modification to this IPSA Agreement shall be effective unless and until the amendment or modification is in writing and properly approved by each Participating Agency.
- B. Binding Effect and Assignment. The rights and obligations in this IPSA Agreement bind the Participating Agencies and may not be assigned or transferred.
- C. Third Party Beneficiary. There are no third person beneficiaries of this Agreement for any purpose whatsoever. Nothing in this Agreement shall be interpreted or deemed to constitute a waiver or compromise of any and all statutory or common law immunities or privileges available to Participating members, their employees,

METROPOLITAN EMERGENCY RESPONSE & INVESTIGATION TEAM (MERIT) OF DUPAGE COUNTY

agents and assigns, which are asserted by all Participating Members to the full extent allowed by law.

- D. Governing Laws and Venue. This IPSA Agreement will be governed by, construed and enforced in accordance with the internal laws, but not the conflicts of laws rules, of the State of Illinois. The exclusive venue for the enforcement of the provisions of this IPSA Agreement or its construction or interpretation shall be in a court of law located in DuPage County, Illinois.
- E. Entire Agreement. This IPSA Agreement constitutes the entire agreement between the Participating Agencies and supersedes all prior agreements and negotiations between them, whether written or oral relating to the subject matter of this IPSA Agreement.
- F. Waiver. The failure of a Participating Agency to exercise at any time any rights under this IPSA Agreement shall not be deemed or construed as a waiver of that right, nor shall the failure void or affect a Participating Agency's right to enforce such rights or any other rights.

SIGNATURE PAGES ATTACHED

**METROPOLITAIN EMERGENCY RESPONSE & INVESTIGATION
TEAM (MERIT) OF DUPAGE COUNTY**

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the date and year above written.

CITY OF WOOD DALE:

By:

Annunziato Pulice
Mayor

Date

Attest:

Shirley Siebert
City Clerk

Date

METROPOLITAIN EMERGENCY RESPONSE & INVESTIGATION TEAM (MERIT)

By:

Chairperson of the MERIT Executive Board

Date

By:

Vice Chairperson of the MERIT Executive Board

Date



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Amendment to Class P liquor license
Staff Contact: Greg Vesta, Chief of Police
Department: Police

TITLE: An Ordinance Amending Chapter 5, Article III, Section 5.304.A.2. of the Municipal Code of the City of Wood Dale Of 1993 to Provide for an Amendment to the Class “P” Liquor License

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote – Passed 8-0.

There are no follow-up items.

DOCUMENTS ATTACHED

✓ Ordinance

ORDINANCE NO. O-19-018

AN ORDINANCE AMENDING CHAPTER 5, ARTICLE III, SECTION 5.304.A.2. OF THE MUNICIPAL CODE OF THE CITY OF WOOD DALE OF 1993 TO PROVIDE FOR AN AMENDMENT TO THE CLASS “P” LIQUOR LICENSE

WHEREAS, the City of Wood Dale (“City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City is authorized and empowered, under the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*; the Liquor Control Act of 1934, 235 ILCS 5/1-1, *et seq.*; and Chapter 5 of the Municipal Code of the City of Wood Dale of 1993, as amended (“City Code”), to regulate the retail sale and consumption of alcoholic beverages within the municipal boundaries of the City; and

WHEREAS, the City desires to amend language in the definition of Class “P” liquor license to allow for on-premises tasting in accordance with the Illinois Compiled Statutes; and

WHEREAS, the City has determined that it is appropriate to amend Chapter 5, Section 5.304.A.2., of the City Code, as set forth below, to provide for an amended Class P liquor license to allow for on-premises tasting of items for sale.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wood Dale, DuPage County, Illinois, at a regular meeting duly assembled, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: Chapter 5, Section 5.304.A.2, of the Municipal Code of the City of Wood Dale of 1993, as amended, be and hereby is restated and amended to add an amended CLASS P, as follows to the itemization of License Classes:

CLASS P: Authorizing the Licensee to sell and offer for sale through the internet and delivery, at retail sale, exclusively for delivery off-premises of alcoholic beverages, as defined in the Liquor Control Act of 1934, to be sold and delivered in its original package for delivery and consumption off-premise from the Licensee’s location where the alcoholic beverages are sold. On-premises consumption of alcoholic beverages may occur in accordance with 235 ILCS 5/6-31.

SECTION THREE: All other ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance, are, to the extent of such conflict, expressly repealed.

SECTION FOUR: That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION FIVE: That this Ordinance shall be in full force and effect after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019.

Annunziato Pulice, Mayor

ATTEST:

Shirley J. Siebert, City Clerk

Published in pamphlet form _____, 2019.



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Liquor License Amendment
Staff Contact: Greg Vesta, Chief of Police
Department: Police

TITLE: An Ordinance Amending Chapter 5, Article III, Section 5.305, of the Municipal Code of the City Of Wood Dale to Increase the Number of Class "A" Liquor Licenses and Decrease the Number of Class "P" Liquor Licenses Authorized for Issuance

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote – Passed 8-0.

There are no follow-up items.

DOCUMENTS ATTACHED

✓ Ordinance

ORDINANCE NO. 0-19-019

AN ORDINANCE AMENDING CHAPTER 5, ARTICLE III, SECTION 5.305, OF THE MUNICIPAL CODE OF THE CITY OF WOOD DALE TO INCREASE THE NUMBER OF CLASS “A” LIQUOR LICENSES AND DECREASE THE NUMBER OF CLASS “P” LIQUOR LICENSES AUTHORIZED FOR ISSUANCE

WHEREAS, the City of Wood Dale is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*; and

WHEREAS, the City of Wood Dale is authorized and empowered, under the Illinois Municipal Code; the Liquor Control Act of 1934, 235 ILCS 5/1-1, *et seq.*; and the Municipal Code of the City of Wood Dale of 1993, as amended, to regulate the retail sale and consumption of alcoholic beverages within the municipal boundaries of the City and to establish classes of liquor licenses and maximum number of licenses that can be issued for each class; and

WHEREAS, Section 5.305 of Chapter 5, Article III, of the Municipal Code of the City of Wood Dale of 1993, as amended, presently authorizes the issuance of nine (9) Class “A” Liquor Licenses; and

WHEREAS, it has been determined that the number of authorized Class “A” liquor licenses should be increased by one (1).

WHEREAS, Section 5.305 of Chapter 5, Article III, of the Municipal Code of the City of Wood Dale of 1993, as amended, presently authorizes the issuance of nine (9) Class “P” Liquor Licenses; and

WHEREAS, it has been determined that the number of authorized Class “P” liquor licenses should be decreased by one (1).

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That the number of Class “A” liquor licenses authorized for issuance is hereby increased by one (1).

SECTION THREE: That the number of Class “P” liquor licenses authorized for issuance is hereby decreased by one (1).

SECTION FOUR: That Chapter 5 of the Municipal Code of the City of Wood Dale of 1993, as amended, Article III, Section 5.305, is restated and amended in its entirety to read as follows:

The maximum number of local alcoholic liquor licenses issued shall be:

The maximum number of local alcoholic liquor licenses issued shall be:

Class A	10
Class A-R	2
Class B	0
Class CA	1
Class E	1
Class G	2
Class GS	2
Class H	2
Class M	0
Class M-R	0
Class N	2
Class O	10 per year maximum
Class P	8
Class R	4
Class RVG	2
Class T	No limit - dependent upon liquor control commissioner
Class TG	1

SECTION FIVE: That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019.

SIGNED: _____

Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Richert Station and Tank Maintenance
Staff Contact: Alan Lange, Assistant Public Works Director
Department: Public Works

TITLE: A Resolution Approving an Agreement between the City of Wood Dale and Christopher B. Burke Engineering, Ltd. (CBBEL) for Professional Engineering Services for Richert Station and Tank Maintenance in an Amount Not to Exceed \$60,443

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote – Passed 8-0

RECOMMENDATION:

Staff recommends approving an agreement between the City of Wood Dale and Christopher B. Burke Engineering, Ltd. (CBBEL) for Professional Engineering Services for Richert Station and Tank Maintenance in an amount not to exceed \$60,433.

BACKGROUND:

Staff has previously identified as part of CIP the need for maintenance repairs of the Richert Rd. pumping station and reservoir tank. CBBEL would provide engineering and construction management services for this project to complete the cleaning, painting, and required repair work of the reservoir tank and pumping station. This facility is responsible for maintaining pressure in the industrial district and surrounding residential area. If tank or station should cease to work properly the resultant loss of pressure could lead to issues with IEPA, system integrity, and reduction of flow to these properties.

ANALYSIS:

This project has been previously identified as part of CIP for this fiscal year. Due to location of this property the use of TIF funds would be acceptable. The City has budgeted for FY 2020 the use of \$75,000 in TIF funding for the design and construction

management services for maintenance and repair work at Richert pump station. The City received proposals from the firms of CBBEL, Robinson, and Dixon Engineering. Dixon Engineering's proposal was deemed incomplete as they do not provide all of the required services. Those proposals are available to be viewed at <https://www.dropbox.com/sh/om17mkshpweh7lc/AAD0sl80nKy5bjPYAZJbIIVxa?dl=0>. The RFP Steering Committee reviewed all proposals and made a recommendation that the City enter into an agreement with CBBEL. Staff is in agreement with RFP Steering Committee recommendation.

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ Agreement

RESOLUTION NO. R-19-31

A RESOLUTION APPROVING AN AGREEMENT BETWEEN THE CITY OF WOOD DALE AND CHRISTOPHER B BURKE ENGINEERING, LTD. (CBBEL) FOR PROFESSIONAL ENGINEERING SERVICES FOR RICHERT STATION AND TANK MAINTENANCE IN AN AMOUNT NOT TO EXCEED \$60,443

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*, and its own duly adopted Municipal Code; and

WHEREAS, the City is authorized and empowered under the Illinois Municipal Code, and its Ordinances adopted pursuant thereto, to enter into agreements and to contract for goods and services; and

WHEREAS, the Mayor and the City Council of the City seek to ensure that the City is run effectively and efficiently; and

WHEREAS, the Mayor and the City Council of the City, seeks the **CHRISTOPHER B BURKE ENGINEERING, LTD** for the **PROFESSIONAL SERVICES FOR RICHERT STATION AND TANK MAINTENANCE**; and

WHEREAS, these services are necessary to maintain and promote an effective and efficient City Government; and

WHEREAS, after diligent review of the qualifications and services of **CHRISTOPHER B BURKE ENGINEERING LTD.**, the Mayor and the City Council find **CHRISTOPHER B BURKE ENGINEERING, LTD.** is the most qualified firm to perform the duties sought by the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF WOOD DALE, DUPAGE COUNTY, AN ILLINOIS CORPORATION, as follows:

SECTION 1: The recitals set forth above are incorporated herein and made a part hereof.

SECTION 2: The Mayor is authorized to execute said Agreement on behalf of the City of Wood Dale, which signature shall be attested to by the City Clerk.

SECTION 3: The City Manager, staff and/or the City Attorney shall take the steps necessary to put the terms and conditions of the Agreement into effect.

SECTION 4: That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 5: That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this 20 day of June, 2019.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20 day of June, 2019.

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

ENGINEERING DESIGN AND OVERSIGHT CONTRACT

FOR

Richert Station and Tank Maintenance

FOR

THE CITY OF WOOD DALE
COUNTY OF DUPAGE
STATE OF ILLINOIS



CITY OF
WOOD DALE
PUBLIC WORKS

PREPARED BY:

CITY OF WOOD DALE
DEPARTMENT OF PUBLIC WORKS
404 N. Wood Dale Road
Wood Dale, Illinois 60191
(630) 766-4900

ENGINEERING DESIGN AND OVERSIGHT CONTRACT
Richert Station and Tank Maintenance

CONTRACT

THIS AGREEMENT is entered into between the CITY OF WOOD DALE, (the "CITY") and Christopher B. Burke Engineering, LTD. (the "ENGINEER") on the date this AGREEMENT is fully executed.

WITNESSETH that the CITY and the ENGINEER in consideration of the mutual covenants hereinafter set forth, agree as follows:

ARTICLE 1: WORK The ENGINEER shall perform all work and shall provide and/or furnish all labor, materials, equipment, tools, machinery, utility and transportation, services, and all other incidentals necessary to complete in a professional standard all work required for the engineering design and oversight of the Richert Station and Tank Maintenance Project hereinafter called the PROJECT, in accordance with the proposal submitted by the ENGINEER to the CITY and the CITY's Request for Proposal dated March 1, 2019 attached hereto and incorporated herein by reference as Exhibits 1 and 2.

ARTICLE 2: ENGINEER COMPLIANCE The ENGINEER shall comply with all applicable laws, regulations and rules promulgated by any Federal, State, County, Municipal and/or other governmental unit or regulatory body now in effect or which may be in effect during the performance of the work. Included within the scope of the laws, regulations and rules referred to in this paragraph but in no way to operate as a limitation, are all forms of traffic regulations, public utility and Intrastate and Interstate Commerce Commission regulations, Workmen's Compensation Laws, Prevailing Wage Laws, the Social Security Act of the Federal Government and any of its titles, FEPC or FEOC statutory provisions and rules and regulations.

ARTICLE 3: CONTRACT PRICE The CITY will pay the ENGINEER for performance of all work under this contract in an amount not to exceed \$60,443.

ARTICLE 4: CONTRACT TIME This contract work shall be completed and performed by August 31, 2020. Performance shall commence upon Notice to Proceed issued by the CITY.

ARTICLE 5: CONTRACT CHANGES Any alteration in the time, scope, or price of the PROJECT shall be effected only by approval by the City Council for the CITY.

ARTICLE 6: PAYMENTS The City shall make to the ENGINEER progress payments upon monthly detailed invoices and upon payment approval of the City Council.

ARTICLE 7: INSURANCE The ENGINEER shall satisfy all insurance requirements as set forth in Appendix I to the CITY's Request for Proposal dated March 1, 2019 attached hereto and incorporated herein by reference as Exhibit 2.

ARTICLE 8: CONTRACT DOCUMENTS The Contract Documents which comprise the Contract between the CITY and the ENGINEER, and which are as fully a part of this Contract as if herein set out verbatim are as follows:

- 8.1 This Agreement.
- 8.2 The proposal submitted by the ENGINEER to the CITY attached hereto as Exhibit 1.
- 8.3 The CITY's Request for Proposal dated March 1, 2019 attached hereto as Exhibit 2.
- 8.4 Written modifications of this Agreement upon formal approval by the City Council for the CITY.

ARTICLE 9: INDEMNITY HOLD HARMLESS PROVISION To the fullest extent permitted by law, the ENGINEER hereby agrees to defend, indemnify and hold harmless the CITY, its officials, agents and employees, against all injuries, deaths, loss, damages, claims, patent claims, suits, liabilities, judgments, cost and expenses, which may in any way accrue against the CITY, its officials, agents and employees, arising out of the negligent performance of this work by the ENGINEER, its employees, or sub-contractors, or which may in any way result therefore, except that arising out of the sole legal cause of the CITY, its agents or employees, the CITY shall, at its own expense, appear, defend and pay all charges of attorneys and all costs and other expenses arising therefore or incurred in connection therewith, and, if any judgment shall be rendered against the City, its officials, agents and employees, in any such action, the CITY shall, at its own expense, satisfy and discharge the same.

ENGINEER expressly understands and agrees that any insurance policies required by this contract, or otherwise provided by the CONTRACTOR, shall in no way limit the responsibility to indemnify, keep and save harmless and defend the CITY, its officials, agents and employees as herein provided.

ARTICLE 10: CONTRACTOR'S REPRESENTATIONS In order to induce the CITY to enter into this Agreement, the ENGINEER makes the following representations:

- 10.1 ENGINEER has examined and carefully studied the Contract Documents and other related data identified in the Bid Invitation Package including "technical data."
- 10.2 ENGINEER has visited the site and become familiar with and is satisfied as to the general, local and site conditions that may affect cost, progress, performance or furnishing of the PROJECT.

- 10.3 ENGINEER is familiar with and is satisfied as to all federal, state and local law and regulations that may affect cost, progress, performance or furnishing of the PROJECT.
- 10.4 ENGINEER is aware of the general nature of work to be performed by ENGINEER at the site that relates to the PROJECT as indicated in the Contract Documents.
- 10.5 ENGINEER has given the CITY written notice of all conflicts, errors, ambiguities or discrepancies that ENGINEER has discovered in the Contract Documents and ENGINEER represents that the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the PROJECT.
- 10.6 ENGINEER warrants and represents that it is not in arrears to the CITY upon debt or contract, and that it is not a defaulter as surety, contractor, or otherwise, to any person, firm or entity.
- 10.7 ENGINEER warrants and represents that ENGINEER is financially solvent, that CONTRACTOR has the financial resources necessary to perform and complete the PROJECT in accordance with the Contract Documents, that ENGINEER is sufficiently experienced and competent to complete the PROJECT and that the facts stated in its Proposal and the information given by ENGINEER are true and correct in all respects.
- 10.8 ENGINEER warrants and represents that ENGINEER shall hereafter have no claim for payment or additional compensation based upon conditions at the work site or sites, or omissions, ambiguities or conflicts in the Contract Documents and CONTRACTOR shall only be entitled to an extension of time as provided in the Contract Documents.

ARTICLE 11: CLAIMS Any ENGINEER claims concerning contract time, price, scope and payments shall be submitted in writing to the CITY within 30 calendar days of the occurrence giving rise to such claim. The CITY may submit a response to such claim within 10 days of receipt. The failure of ENGINEER to submit a claim as provided herein shall constitute a waiver of the enforcement of such claim.

ARTICLE 12: MISCELLANEOUS

- 12.1 Neither the CITY nor the ENGINEER shall, without prior written consent of the other party assign or subcontract, in whole or in part, his interest under any of the Contract Documents and specifically, the ENGINEER shall not assign any money due or to become due without consent of the CITY.

- 12.2 The CITY and the ENGINEER each binds himself, his partners, successors, assigns and legal representatives to the other party hereto in respect to all covenants, agreements and obligations contained in the Contract Documents.
- 12.3 Any disputes arising under this Agreement shall be resolved under Illinois law and any such disputes shall be resolved in the 18th Judicial Circuit Court, DuPage County, Wheaton, Illinois.
- 12.4 Any and all materials created by ENGINEER for and on behalf of the CITY shall be CITY property and shall be provided to the CITY upon the CITY's request.
- 12.5 The ENGINEER shall have full control of the ways and means of performing the work referred to above and that the ENGINEER or his/its employees, representative or subcontractors are in no sense employees of the CITY and that the ENGINEER and any party employed by the ENGINEER bears the relationship of an independent contractor with the CITY.
- 12.6 This Agreement may be executed in counterparts, each of which shall be deemed to be an original, but all of which, taken together, shall constitute one and the same agreement.

CITY OF WOOD DALE

By: _____
Mayor Date

ATTEST: _____
City Clerk

CHRISTOPHER B. BURKE ENGINEERING, LTD.

By: _____
Date

Print Name: _____

Title: _____

Address: _____

Phone: _____

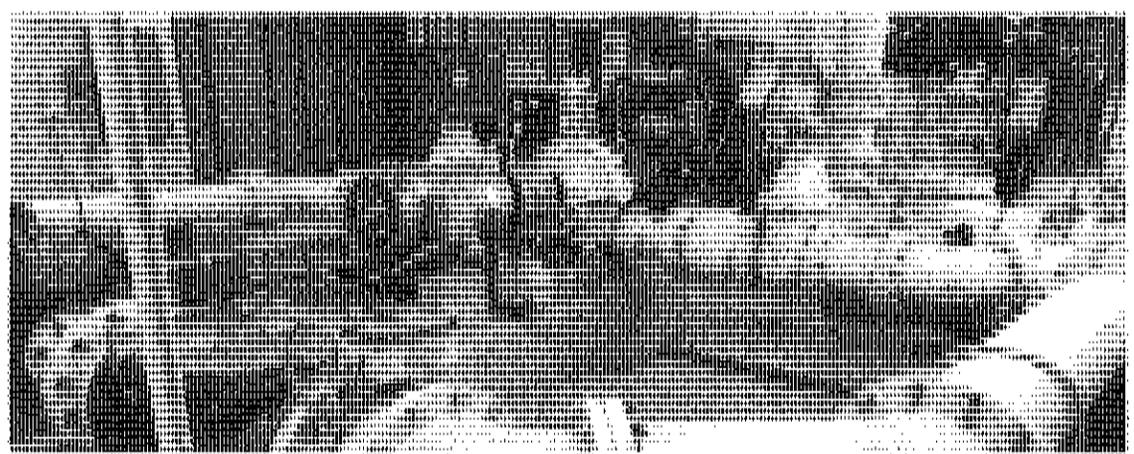
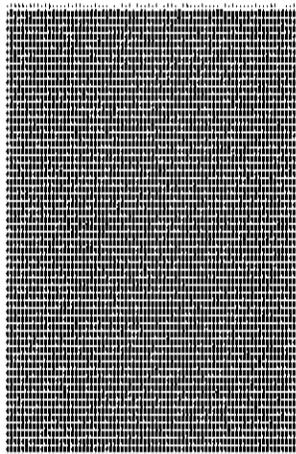
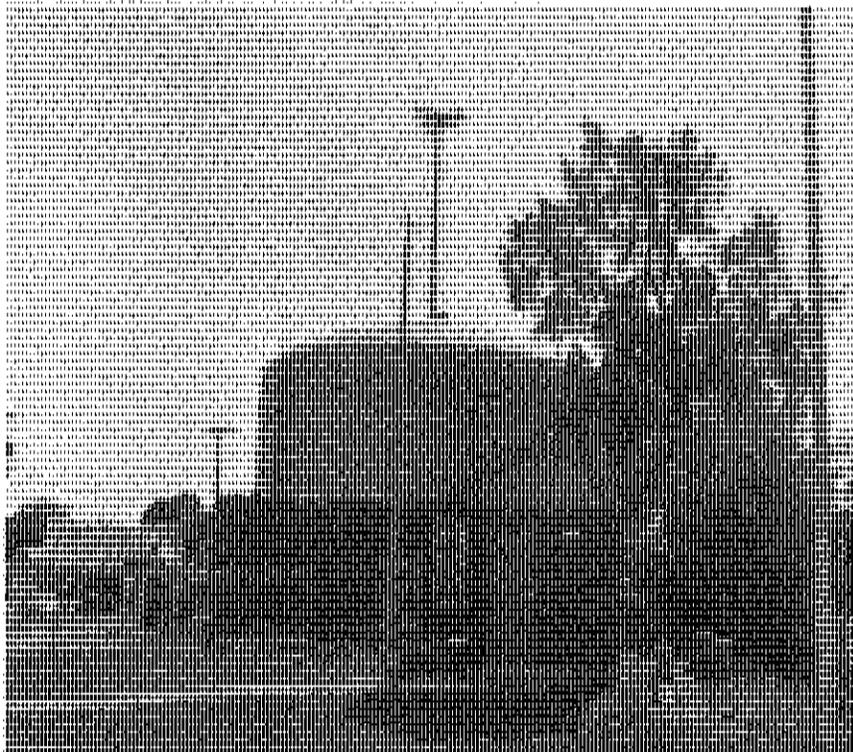
Email: _____

EXHIBIT 1

MARCH 20, 2019

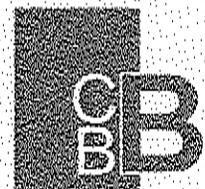


PROFESSIONAL ENGINEERING SERVICES FOR RICHERT STATION AND TANK MAINTENANCE

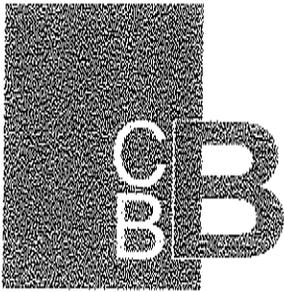


SUBMITTED TO:
KATE BUGGY
MANAGEMENT ANALYST
CITY OF WOOD DALE, ADMINISTRATION
404 N. WOOD DALE ROAD
WOOD DALE, IL 60191

SUBMITTED BY:
JOHN CARUSD, PE
CHRISTOPHER B. BURKE ENGINEERING, LTD.
9575 WEST HIGGINS ROAD | SUITE 600
ROSEMONT, IL 60018
JCARUSO@CBBEL.COM



Christopher B. Burke Engineering, Ltd.
Packet Page #136



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

March 20, 2019

City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191

Attention: Kate Buggy, Management Analyst

Subject: *Professional Engineering Services for Richert Station and Tank Maintenance
Wood Dale, Illinois*

Dear Ms. Buggy:

Christopher B. Burke Engineering, Ltd. (CBBEL) is pleased to submit three (3) complete copies of our proposal for the Richert Station and Tank Maintenance Project along with an electronic copy. We acknowledge receipt of Addendum No. 1.

The material provided in this proposal represents our ability and eagerness to perform the required services for the City of Wood Dale. We trust that it will demonstrate our understanding of the project and our expertise to perform the assignment. The CBBEL project team looks forward to working with the City and is committed to completing the work to your satisfaction and within the required time schedule.

The contact person for this proposal is John Caruso, PE, Head, Mechanical and Electrical Engineering Department. John can be reached at 847.823.0500 or jcaruso@cbbel.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Christopher B. Burke', written in a cursive style.

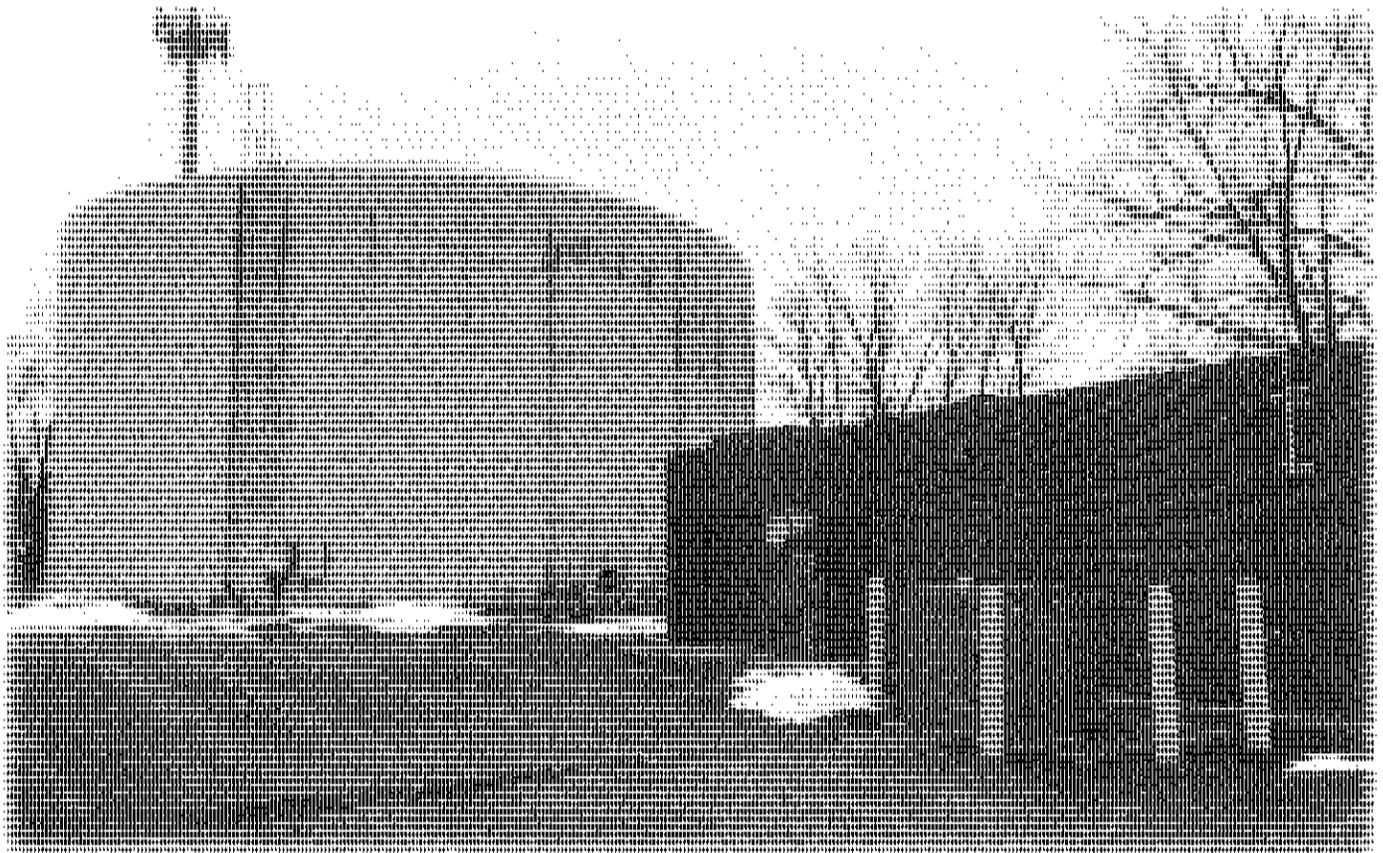
Christopher B. Burke, PhD, PE, D.WRE, Dist.M.ASCE
President

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TAB 1
WORK OVERVIEW





WORK OVERVIEW

UNDERSTANDING OF THE PROJECT

The City of Wood Dale is seeking a professional engineering consultant to provide design and construction engineering services for the Richert Station and Tank Maintenance project. Services will include and are detailed in the following Work Plan under Tab 2:

- Preliminary Information Gathering
- Study and Report Phase
- Preliminary Design Phase
- Final Design Phase
- Bidding or Negotiating Phase
- Construction Services Phase
- Contractor's Completion Documents

TAB 2
WORK PLAN



WORK PLAN

Preliminary Information Gathering: Christopher B. Burke Engineering, Ltd. (CBBEL), along with Nelson Tank Engineering & Consulting (NTEC), will inspect the water tower and the pump station and review all current information in regards to maintenance and operation, and all pertinent data that the City can provide to ascertain the required methodology to facilitate a rehabilitation plan to maintain the facility and operation with the most economical and efficient plant operation plan possible.

Study and Report Phase: CBBEL and NTEC will perform an inspection in accordance with current AWWA D-100 Standards. We recommend that since the tank will be taken out of service in the upcoming construction season and to save the City from draining the tower, the interior of the tower be inspected utilizing a remote operated vehicle (ROV). This will allow the City to keep the tower in service and not have to waste valuable resources. The ROV will be operated by a trained technician. The vehicle has an illuminated camera which can view inside the tower and not compromise the water source as the ROV is chlorinated prior to entering the tower and residuals checked post-inspection. The outside of the facility, tower and pump station will also be inspected for further compliance with relevant AWWA Standards.

Preliminary Design Phase: Upon completion of the inspections, CBBEL and NTEC will compile a Preliminary Design Memorandum (PDM). This PDM will identify the items of work that should be addressed while the tank is out of service. Those items of work will include probable costs. Once the scope of work for the project has been reviewed and agreed to, a revised document will be used to compile bidding and contract documents. From the information compiled during the inspection, CBBEL will define the necessary work required to meet AWWA D100 Standards, other rehabilitation required such as electrical, mechanical and possible SCADA upgrades. Upon completion of the follow-up review meetings, the Village and CBBEL will refine the complete scope of work required to meet project schedule and budget, and allow the team to prepare the documents associated with the final design phase.

CBBEL's Survey Department will acquire the Plats of Survey as stated in the RFP under this phase. CBBEL does not anticipate additional survey services will be required.

Final Design Phase: CBBEL will complete the final bidding documents and construction costs based on the results of the Preliminary Design Phase. CBBEL anticipates that these documents will be prepared as a standard Design-Bid-Build format. The work will be paid for with existing water funds and the project does not require an IEPA Low Interest Loan, therefore the associated documentation will not be prepared.

Construction Services Phase: CBBEL will solicit contractors regularly engaged in this type of work in northern Illinois. CBBEL will assist the Village with preparing any addendum, bid opening and bid recommendation.

Contractor's Completion Phase: CBBEL and NTEC have a proven track record for delivering projects of this magnitude on time and within budget. CBBEL will handle the office and project management of the construction portion of the contract, being the main point of contact with the City and the contractor. Based on the contractor's schedule, CBBEL and NTEC will coordinate the day to day inspections required. CBBEL will review shop drawings, RFI's, payment requests, and NTEC will prepare inspection reports. Upon the contractor reaching substantial completion, CBBEL and NTEC will perform preliminary and final punchlists as required and procure from the contractor any record drawings and Operations and Maintenance Manuals for final closeout of the project.

Presentation to City Council: At the direction of the City, CBBEL will appear before the City Council to present relative information as to the project status and answer any and all questions regarding the project.

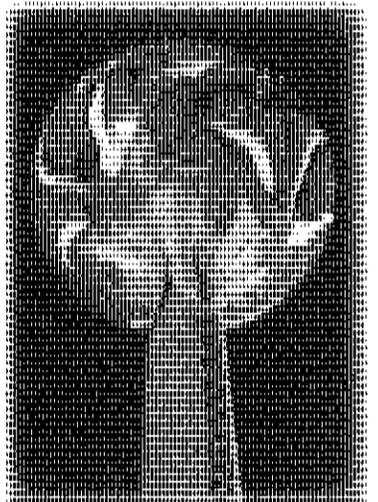
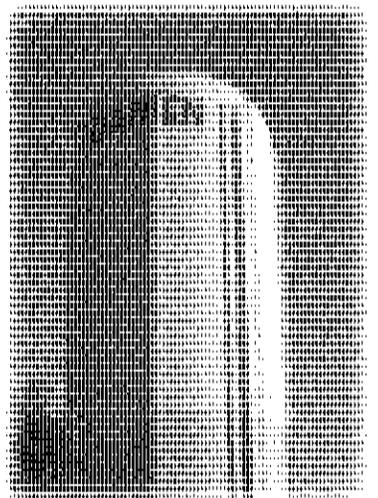


TABLE 3
IMPLEMENTATION SCHEDULE





IMPLEMENTATION SCHEDULE

RICHERT STATION AND TANK MAINTENANCE

CITY OF WOOD DALE

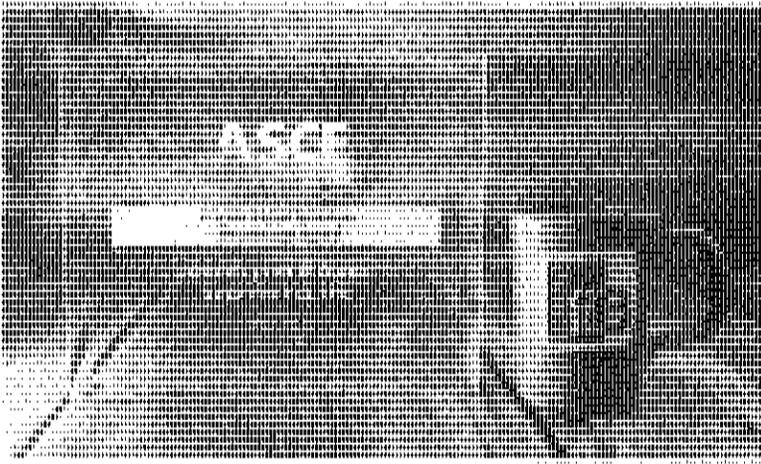
TASK DESCRIPTION	2019											
	April	May	June	July	August	September	October	November	December			
RICHERT STATION AND TANK MAINTENANCE												
1 Data Collection and Review												
2 Study and Report Phase												
3 Preliminary Design Phase												
4 Final Design Phase												
5 Bidding or Negotiating Phase												
6 Construction Services Phase												
7 Contractor's Completion Documents												



Christopher B. Burke Engineering, Ltd.

TAB 4
QUALIFICATIONS &
PROJECT EXPERIENCE





as ASCE-Illinois Private Sector Employer of the Year. Chicago Avenue/Sheridan Road Multi-Modal Corridor Improvement (City of Evanston) and Graue Mill Flood Protection Improvements projects were awarded APWA Suburban Branch 2019 Project of the Year. In 2017, CBBEL clients and projects received national awards from the APWA, including the Northside Stormwater Management Project (Village of River Forest) and Elmwood Park Flood Mitigation Project (Village of Elmwood Park). In addition, five employees have been the recipient of an APWA Top Ten Leader of the Year award, two of which went on to win at the national level.

SERVICES

Since its founding in 1986, the size of our company and the complexity of our projects have grown. We are proud to have served as lead engineer on a variety of major municipal and county undertakings, including the design, permitting and construction of numerous major transportation and local municipal roadway projects, multi-use paths, bridges, flood control reservoirs, pump stations, embankments, storm sewers, large open channels, water mains and water systems.

As a full-service firm we also conduct water resource related studies, perform GIS services, environmental resource assessments, mitigation planning and permitting and a myriad of traditional civil engineering functions.

CBBEL has provided professional review services for municipalities, counties and state agencies. Our experience includes the review of drainage, roadway, subdivision, sanitary sewer and mechanical engineering submittals prepared by third-party consultants for both private and public sector clients.

Our office prepares a significant number of high-quality stormwater management studies and permit applications, having obtained more than 2,000 US Army Corps of Engineers Section 404 permits with accompanying IEPA water quality certifications, more than 500 Illinois Department of Natural Resources-Office of Water Resources floodway construction permits and 450 Federal Emergency Management Agency Letters of Map Amendment and Letters of Map Revision.

Whether you require consulting for an individual project or the full-service resources from one of our departments, you can rely on CBBEL to take the time to thoroughly understand your needs and partner with you to create innovative, cost-effective solutions. Diversification and flexibility are the keys to our successful, long-term relationships with a wide variety of clients, including municipalities,

counties, townships, sanitary districts and drainage districts throughout Chicagoland. We have unique knowledge and experience with various funding programs available to our county and municipal clients, providing an added service not easily found in the engineering industry: from grant writing and design procedures to record keeping and funding reporting, CBBEL is your full-service firm.

GREEN INITIATIVES

CBBEL is proud to have consistently been at the forefront of sustainability and green initiatives and is a corporate leader when it comes to implementation. Through the dedication of our company's Sustainability Committee, CBBEL's Rosemont headquarters has a green roof, an aggressive composting/recycling program, four electric car charging stations and a long-range plan to implement other energy saving devices.

CBBEL was selected as the 2018 Illinois Road and Transportation Builders Association's Sustainability Champion Award, the first two-time winner of this award (2014 and 2018). CBBEL was named one of the Best Workplaces for Commuters in 2018 for offering exceptional employee-provided commuter benefits. In 2012 and 2013, CBBEL received the Governor's Sustainability Award for achievements in protecting the environment, improving the economy and helping to sustain the future. CBBEL also received a Conservation and Native Landscaping Award from Chicago Wilderness.



One of the sustainability efforts for which the firm is perhaps best known is our award-winning Bike to Work Program, in which CBBEL provides mileage reimbursement, changing facilities and bicycle storage. Over 150 employees (from all of the Burke Group companies) have participated in the program and more than 382,275 miles have been commuted on bike.

CBBEL is recognized by the League of American Bicyclists as a "Platinum" level Bicycle Friendly Business, in recognition of our efforts to encourage a more bicycle-friendly atmosphere for employees and clients. CBBEL is one of two Illinois firms to be awarded Platinum status and is one of the few Midwestern non-bike related businesses to be awarded Gold status or higher.



OVER 150
EMPLOYEES HAVE PARTICIPATED

 **OVER 382,275**
MILES COMMUTED ON BIKE

APPROXIMATELY
741,615
POUNDS OF CO₂
ELIMINATED
BASED ON 15 MPG AND 20 LBS. EQUIVAL

 **OVER 17,966,963**
CALORIES BURNED

OVER \$84,101
IN GAS MONEY SAVED 

RIDGE DR. ELEVATED WATER TANK IMPROVEMENTS | CHICAGO RIDGE, ILLINOIS

2018

PROJECT TEAM
Gerald Hennelly
Project Manager

CLIENT
Village of Chicago Ridge
Stan Barwick
708-425-7700

CONSTRUCTION COST
\$1.1 million

FEE
\$35 thousand

FUNDING SOURCE
Local

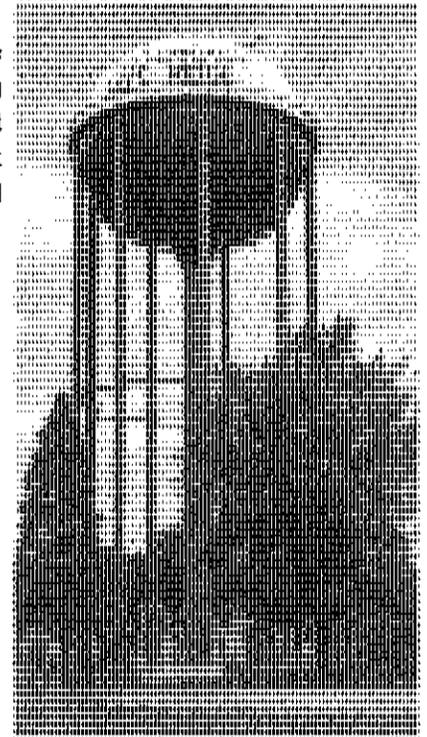


CBBEL prepared construction documents, assisted the Village with bidding, coordinated taking the tank off-line, performed construction observation and brought the tank back into service.

CBBEL completed the rehabilitation of the Village's only above grade storage facility. CBBEL designed plans for all piping infrastructure work to remove existing altitude valve vault piping, SCADA work, electrical rehabilitation and drainage work servicing the tank, coordination of new logos, and orientation and coordination with cellular companies.

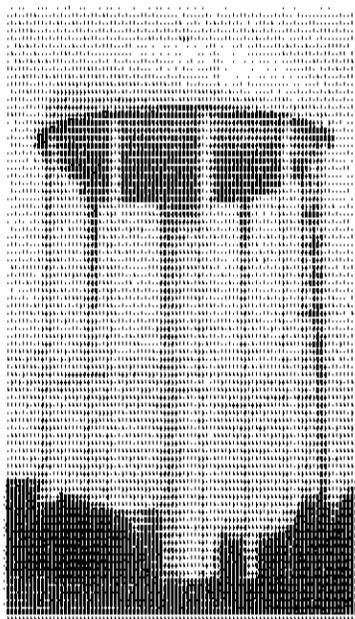
SERVICES INCLUDED:

- Coordination for temporary monopole to relocate existing cellular equipment.
- Design and reconstruction plans for rehabilitation of the existing altitude valve vault piping.
- Design of SCADA inputs and outputs from tank.
- Coordination and preparation of contract bidding documents.
- New branding and layout of logos.
- Recommissioning of rehabilitated storage facility.
- Construction observation and administration.



KATES RD. WATER STORAGE TANK PAINTING | DEERFIELD, ILLINOIS

CBBEL prepared construction documents, assisted the Village with bidding, coordinated taking the tank off-line, performed construction observation and brought the tank back into service.



CBBEL completed the rehabilitation of the Village's only above grade storage facility. CBBEL designed plans for all new hatches, ladder ways, vents, painters rail, cellular wiring, SCADA work, electrical rehabilitation to tank and site drainage work servicing the tank, and orientation and coordination with cellular companies.

SERVICES INCLUDED:

- Coordination for temporary monopole to relocate existing cellular equipment.
- Design and reconstruction plans for rehabilitation of the existing site.
- Design of SCADA inputs and outputs from tank.
- Coordination and preparation of contract bidding documents.
- Recommissioning of rehabilitated storage facility.
- Construction observation and administration.

2018

PROJECT TEAM
Gerald Hennelly
Project Manager

CLIENT
Village of Deerfield
Justin Keenan
847-317-2490

CONSTRUCTION COST
\$963 thousand

FEE
\$42 thousand

FUNDING SOURCE
Local

ENTERPRISE DRIVE HIGH TANK INTERIOR PAINTING | WESTCHESTER, ILLINOIS

2011

PROJECT TEAM

John Caruso, PE
Project Manager

Mark Emory, PE
Project Engineer

Gerald Hennelly
Project Engineer

CLIENT

Village of Westchester
Robert Lewis
708-345-0041

CONSTRUCTION COST

\$350 thousand

FEE

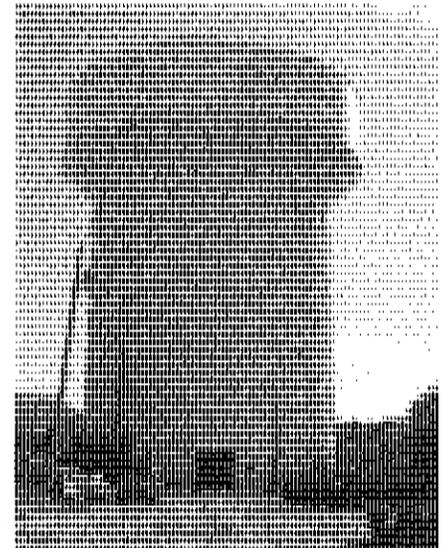
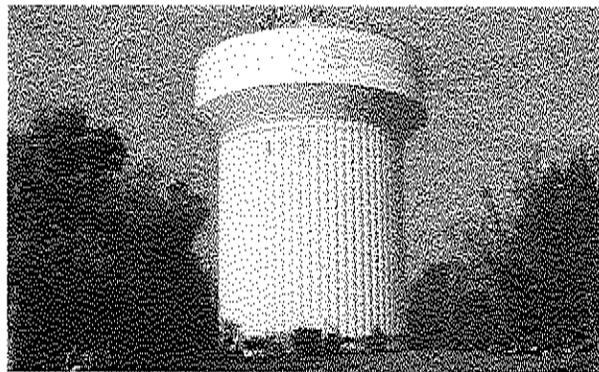
\$22 thousand

FUNDING SOURCE

Local

CBBEL was commissioned for the 2 million gallon fluted column high tank interior painting project.

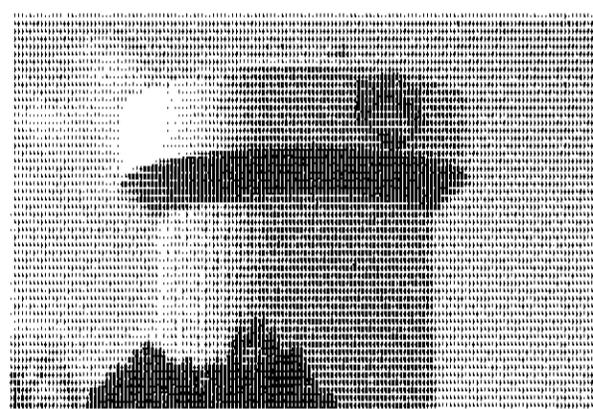
CBBEL, along with Dixon Engineering, prepared the preliminary inspection report, the Contract Documents, administered the bid process and reviewed the received bids. CBBEL also provided construction observation services throughout the duration of the project. The project generally consisted of the washout, inspection and painting of the interior of the high tank. Painting of the exterior of the tank to be performed at a later date.



ENTERPRISE DRIVE HIGH TANK EXTERIOR PAINTING | WESTCHESTER, ILLINOIS

CBBEL was commissioned for the 2 million gallon fluted column high tank exterior painting project.

CBBEL, along with Nelson Tank Engineering, prepared the preliminary inspection report, the Contract Documents, administered the bid process and reviewed the received bids. CBBEL also provided construction observation services throughout the duration of the project. The project generally consisted of the washout, inspection and painting of the exterior of the high tank.



2014

PROJECT TEAM

John Caruso, PE
Project Manager

Mark Emory, PE
Project Engineer

Gerald Hennelly
Project Engineer

CLIENT

Village of Westchester
Robert Lewis
708-345-0041

CONSTRUCTION COST

\$750 thousand

FEE

\$30 thousand

FUNDING SOURCE

Local

MMG STANDPIPE REHABILITATION | WILLOWBROOK, ILLINOIS

2015 - 2016

PROJECT TEAM
Gerald Hennelly
Project Manager

CLIENT
Village of Willowbrook
Tim Haik
630-323-8215

CONSTRUCTION COST
\$950 thousand

FEE
\$45 thousand

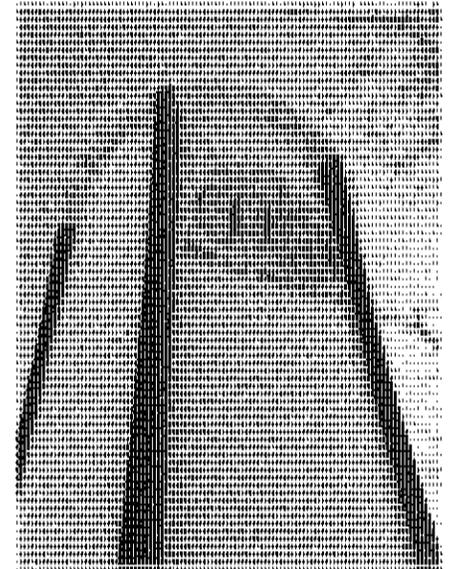
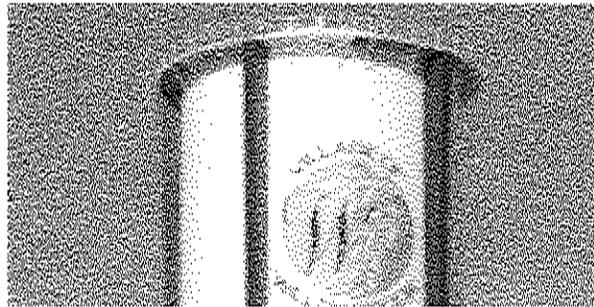
FUNDING SOURCE
IEPA Loan

CBBEL provided design and construction engineering services for the interior and exterior painting of the Village's main water storage tank.

The project consisted of the rehabilitation of the Village's main potable water storage facility. The project had to be coordinated with the Village's other two water storage sites. The project included interior and exterior painting with full containment curtain to hold back overspray and blast material, welding repairs, new entryways, platform and installation of fall protection equipment.

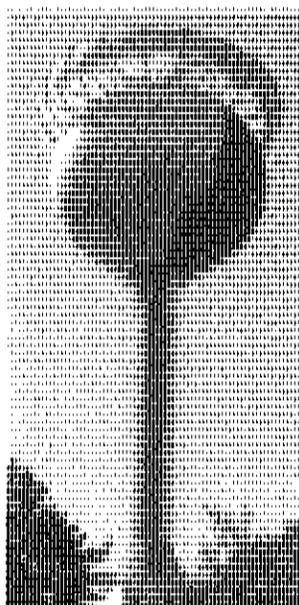
SERVICES INCLUDED:

- Preparation of IEPA Low Interest Loan Documentation
- Preparation of Project Bidding Documents
- Bidding Assistance
- Construction Observation



LAKE HINSDALE HIGH TANK REHABILITATION | WILLOWBROOK, ILLINOIS

CBBEL coordinated the design of contract bidding specifications and provided construction observation services for the complete rehabilitation of the 500,000 gallon spheroid high tank.



CBBEL prepared the specification documents based on preliminary inspection reports for the full blast and recoating of all exterior and interior surfaces, new cathodic protection system, and installation of new safety climb devices.

SERVICES INCLUDED:

- Preparation of Bidding Documents
- Assistance with Bidding
- Construction Observation and Contract Administration
- Coordination of Third Party Coating Inspections
- Final Project Closeout

2016 - 2017

PROJECT TEAM
Gerald Hennelly
Project Manager

CLIENT
Village of Willowbrook
Tim Haik
630-323-8215

CONSTRUCTION COST
\$590 thousand

FEE
\$37 thousand

FUNDING SOURCE
Local

VILLAGE HALL HIGH TANK REHABILITATION | WILLOWBROOK, ILLINOIS

2016 - 2017

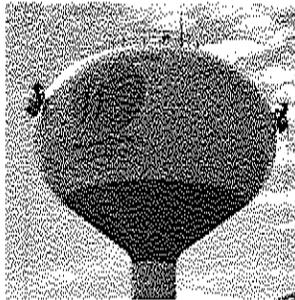
PROJECT TEAM
Gerald Hennelly
Project Manager

CLIENT
Village of Willowbrook
Tim Halik
630-323-8215

CONSTRUCTION COST
\$505 thousand

FEE
\$19 thousand

FUNDING SOURCE
Local

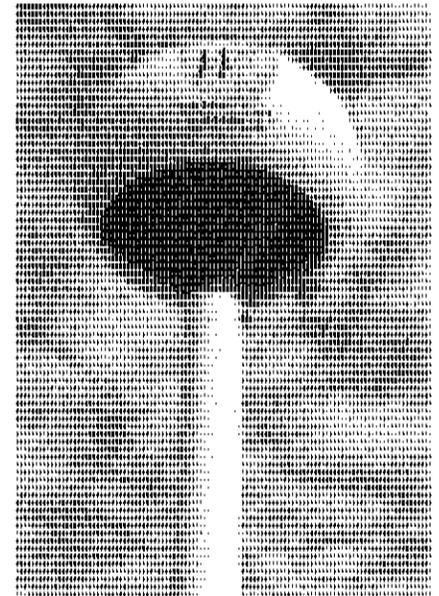


CBBEL coordinated the design of contract bidding specifications and provided construction observation services for the complete rehabilitation of the 500,000 gallon spheroid high tank.

CBBEL prepared the specification documents based on preliminary inspection reports for the full blast and recoating of all exterior and interior surfaces, new cathodic protection system, and installation of new concrete floor in base cone.

SERVICES INCLUDED:

- Preparation of Bidding Documents
- Assistance with Bidding
- Construction Observation and Contract Administration
- Coordination of Third Party Coating Inspections
- Final Project Closeout



1.5 MG SPHEROID WATER TOWER | SHOREWOOD, ILLINOIS

CBBEL designed and performed construction observation of a 112' tall, 1.5 million gallon steel spheroid type water storage tank.

The design of the tank included a new SCADA system, altitude valve in vault, emergency standby generator, and 2 antenna mounting

SERVICES INCLUDED:

- Full Topographic Survey and Alfa Survey
- Conceptual Design and Planning
- Site Grading
- Utility Coordination
- Permit Submittals to IEPA
- Preparation of Contract Documents
- Shop Drawing Review
- Construction Observation

2013 - 2015

PROJECT TEAM
John Caruso, PE
Project Manager

Gerald Hennelly
Project Engineer

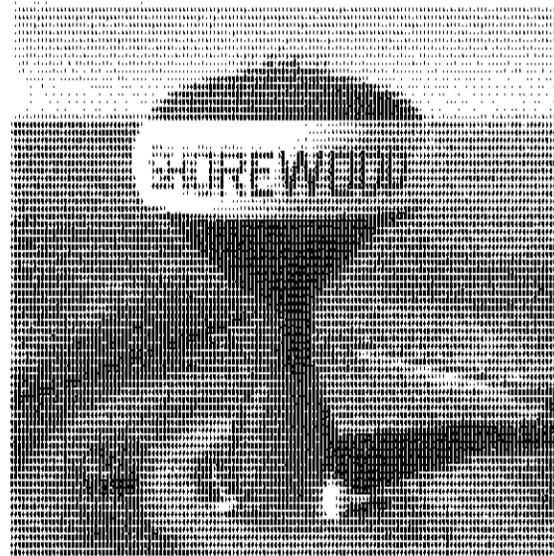
Bryan Welch, PE
Project Engineer

CLIENT
Village of Shorewood
Chris Drey
815-725-2150

CONSTRUCTION COST
\$4.4 million

FEE
\$140 thousand

FUNDING SOURCE
IEPA Low Interest Loan



AWWA II SECTION
2016 TANK PHOTO CONTEST WINNER

BAXTER WATER SYSTEM STORAGE TANK | ROUND LAKE PARK, ILLINOIS

2012

PROJECT TEAM

John Caruso, PE
Project Manager

Gerald Hennelly
Project Engineer

CLIENT

Baxter Healthcare
Marty Burke
(Mackie Consultants)
847-696-1400

FEE

\$25 thousand

FUNDING SOURCE

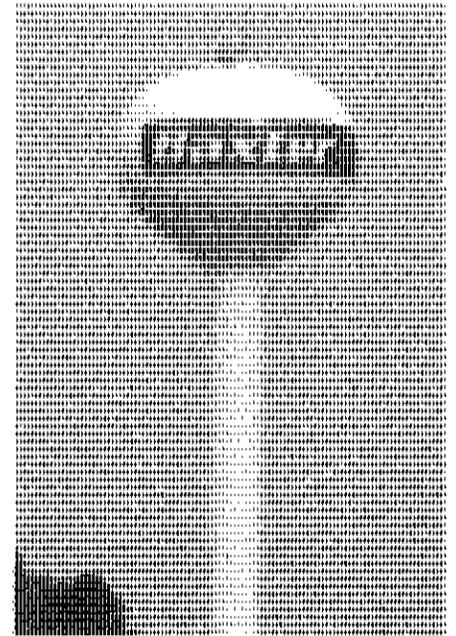
Private

CBBEL provided design and construction engineering services for a new elevated water storage tank on the campus of Baxter Healthcare.

The project consisted of the design and construction of a 400,000 gallon, 128' tall elevated water storage tank on the campus of Baxter Healthcare in Round Lake Park, IL. The company logo was then painted on the exterior surface of the tank.

SERVICES INCLUDED:

- Preliminary Engineering
- Preparation of Design Drawings and Specifications
- Bidding Assistance
- Consultation During Construction
- Commissioning



ORCHARD ROAD TANK PAINTING | WHEATON, ILLINOIS

CBBEL provided design and construction engineering services for the 1.5 million gallon toro-ellipse water tank painting and rehabilitation project.

The project consisted of preparation of a preliminary design memorandum based on a pre-construction inspection of the entire interior and exterior of the 1.5 million gallon toro-ellipse water tank, coordination of cellular antenna removal, contract document preparation, construction observation and welding and coating inspections.



SERVICES INCLUDED:

- Pre-Construction Inspection
- Preparation of Preliminary Design Memorandum
- Coordination of Cellular Antenna Removal
- Preparation of Contract Documents and Specifications
- Bidding Assistance
- Bid Evaluations
- Construction Observation

2012 - 2013

PROJECT TEAM

John Caruso, PE
Project Manager

Gerald Hennelly
Project Engineer & Resident Engineer

CLIENT

City of Wheaton
Al McMillen
630-260-2000

CONSTRUCTION COST

\$750 thousand

FEE

\$35 thousand

FUNDING SOURCE

Local

LANSING PUMP STATION IMPROVEMENTS | CHICAGO HEIGHTS, ILLINOIS

2014 - 2015

PROJECT TEAM

John Caruso, PE
Project Manager

CLIENT

City of Chicago Heights
Tena Marquie
708-756-5300

CONSTRUCTION COST

\$298 thousand

FEE

\$30 thousand

FUNDING SOURCE

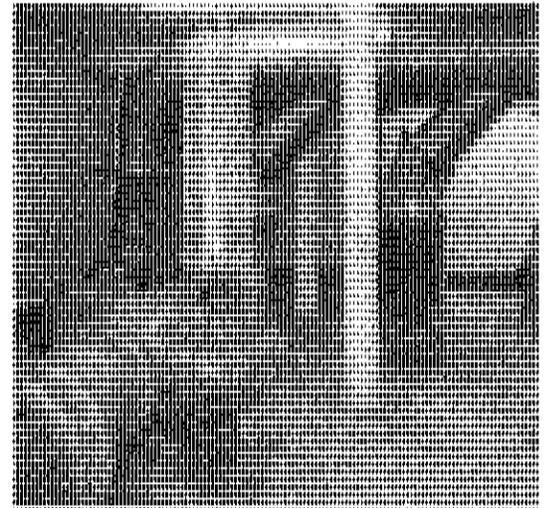
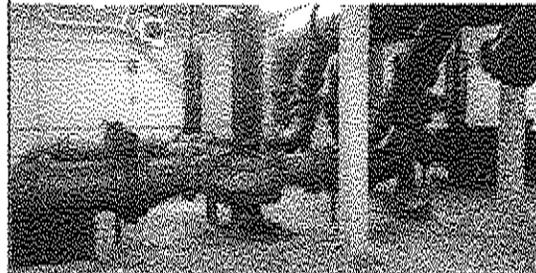
Local

CBBEL designed replacement pumps to increase pressure and deliver more water in a Chicago Heights water transmission main system feeding several communities.

The project generally consisted of the removal and replacement of three existing 7,000 gpm potable water pumps and accessories; potable water process piping; butterfly and check valves; water meter equipment; and all other related appurtenances and accessories. Bypass pumping was also provided during construction so that there was no interruption in service.

SERVICES INCLUDED:

- Design Engineering
- Bidding Assistance
- Construction Engineering
- Shop Drawing Review
- Contract Administration



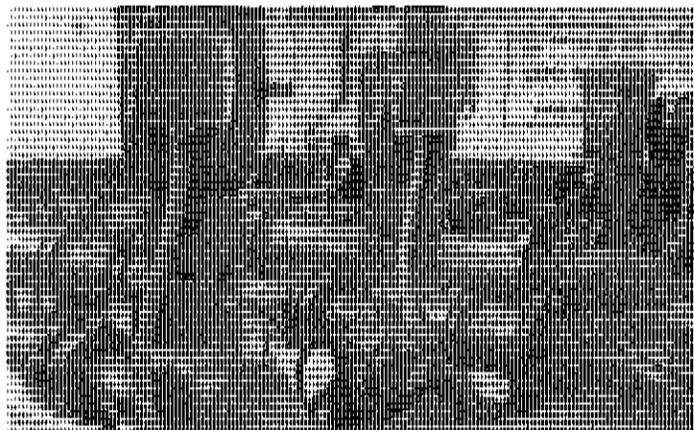
WELL NO. 10 PUMP STATION IMPROVEMENTS | NEW LENOX, ILLINOIS

CBBEL designed a booster pump station to increase water distribution system pressure for Village of New Lenox residents.

The project consisted of a 450 sq. ft. building addition to an existing booster pump station, new 750 gpm booster pumps with variable frequency drives, associated water distribution piping and valves, electrical modifications to an existing Motor Control Center (MCC), and SCADA improvements (including new pressure transducers, radio antennae, and remote pressure reporting station and radio). Precast concrete underground vaults were designed for pressure relief valves, flow metering and pressure reducing valves.

SERVICES INCLUDED:

- Design Engineering of Improvements
- Water Modeling of Distribution System
- Bidding Assistance
- Construction Engineering
- Contract Administration
- Commissioning



2015 - 2017

PROJECT TEAM

John Caruso, PE
Project Manager

Katrina Ballado, PE, LEED AP
Project Engineer

Doug Kerr, EI
Project Engineer

CLIENT

Village of New Lenox
Brian Williams
815-462-6400

CONSTRUCTION COST

\$1.2 million

FEE

\$100 thousand

FUNDING SOURCE

Local

EAST MAIN PUMP STATION | LAKE COUNTY, ILLINOIS

2017 - 2018

PROJECT TEAM

Mark Emory, PE
Project Manager

Kevin Baldwin, PE
Project Engineer

Gerald Hennelly
Station Electrical

CLIENT

Lake County Public
Works Department
Dave Humbert
847-377-7500

CONSTRUCTION COST

\$2.4 million

FEE

\$146 thousand (Design)
\$146 thousand (Construction)

FUNDING SOURCE

Lake County Public Works

Rehabilitation of 37 year old Regional Sewage Pump Station for Lake County Public Works.

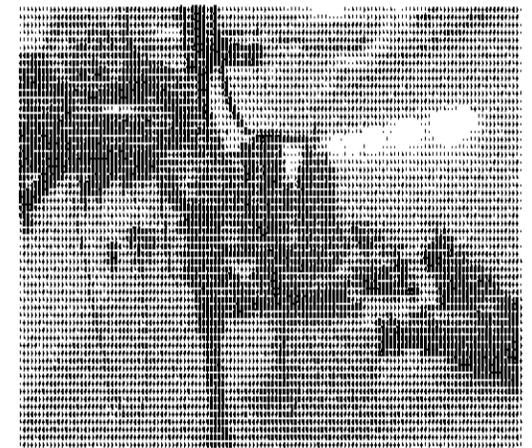
The project consisted of the design of rehabilitation improvements for a 21.2 MGD sanitary sewage pumping station owned and operated by the Lake County Public Works Department with an average flow of 4.5 MGD. The station was originally constructed in 1980 and has a current service population over 40,000.

PROJECT IMPROVEMENTS INCLUDED THE FOLLOWING:

- Two dry pit submersible raw sewage pumps rated for 4,500 gpm, 125 horsepower.
- Two mechanical screening shredders with flow capacity of 12.1 MGD each.
- Full electrical rehabilitation:
- Two 4' x 11.5' stainless steel slide gates with Class I, Division I electric actuators.
- Four Rexa hydraulic operators mounted on existing Allis-Chalmers cone valves.
- New Class I, Division I 3-ton hoist and monorail for shredders.
- New stainless hatches and grates in Screen Room.
- Replacement of station air handling, dampers and controls.
- New LED lighting.
- New TPO membrane roof.
- Station painting.
- Demolition of equipment being replaced.

SERVICES INCLUDED:

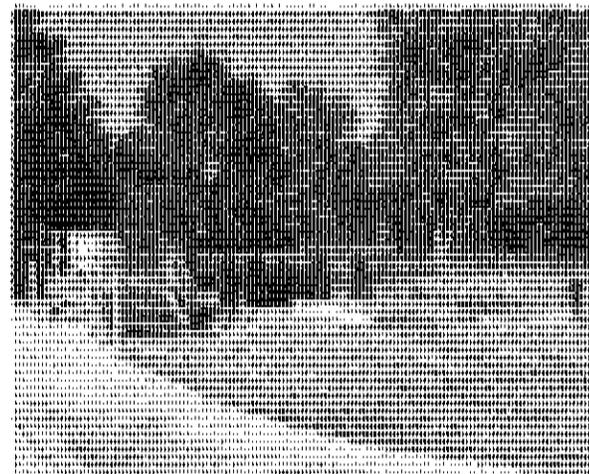
- Design Memorandum
- Design Drawings and Specifications
- Services During Construction



EDGEBROOK SANITARY LIFT STATION REHABILITATION | WOOD DALE, ILLINOIS

CBBEL designed the rehabilitation of a 350 gpm sewage lift station converting a dry "can" type station into a submersible pump station.

The work included new submersible pumps in a rehabilitated wet well raised above the flood elevation of adjacent Salt Creek, new valves in raised valve vault, new raised pump controls with stairway/platform access, natural gas fueled generator on a raised platform, landscaping, recycled plastic fencing, grading and pavement.



SERVICES INCLUDED:

- Design of pumps, controls, generator, pavement, site grading, landscaping
- Permitting
- Site Survey
- Construction observation and contract administration
- Commissioning and startup

2015 - 2017

PROJECT TEAM

John Caruso, PE
Project Manager

Katrina Ballado, PE, LEED AP
Project Engineer

Kevin Baldwin, PE
Resident Engineer

CLIENT

City of Wood Dale
Dave Graff
630-787-3762

CONSTRUCTION COST

\$489 thousand

FEE

\$94 thousand

FUNDING SOURCE

Local

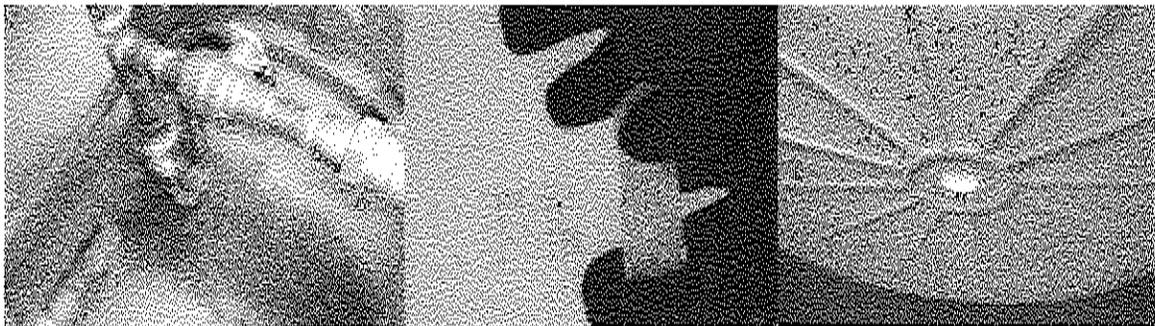
ENGINEERING • CONSULTING • TESTING • TANK INSPECTIONS



**Nelson Tank Engineering
& Consulting, Inc.**

HISTORICAL INFORMATION

- Nelson Tank Engineering & Consulting, Inc. (NTEC) was established in 1994. In 2000, a new office building was constructed on the Northwest side of Lansing to allow for expansion. Our Lansing office services Michigan, Indiana, Ohio, Illinois and Wisconsin.
- NTEC provides engineering and inspection services for the industrial coating and tank construction fields. We offer third party inspection services for construction, painting and routine maintenance of water storage tanks. NTEC also performs structural inspections on elevated and ground storage tanks, corrosion surveys, coating failure analysis and lead testing of steel structures.
- NTEC has developed design specifications for more than 400 painting and repair projects involving steel or concrete structures. We have, also, completed over 600 maintenance inspections on similar structures. NTEC's expertise covers industrial coatings and corrosion prevention within the water and wastewater fields.
- NTEC's staff is comprised of experienced engineers and technicians. In addition to extensive in-house training, inspectors receive additional training and certification from American Welding Society (AWS) and National Association of Corrosion Engineers (NACE). Resumes of key personnel have been included within this document.



OUR MISSION

- Maintenance of water storage and water treatment facilities is an expensive proposition for municipalities. It is our goal to reduce the overall expense of rehabilitation projects. We achieve this goal through comprehensive review, field-tested engineering solutions and construction observation.
- Lead abatement and other regulatory issues have made the cost of maintenance escalate in the last twenty-five years. Our goal is to provide engineering solutions that reduce the overall maintenance cost. Our secondary goal is to provide the owner with peace of mind by implementation of a focused project design and construction management.
- Our expertise in the field of water storage facilities is an invaluable asset to owners in the maintenance of their structures. We believe that attention to detail throughout all phases of the maintenance program provides greater value. As a result, a reduction in overall cost and liability are realized.

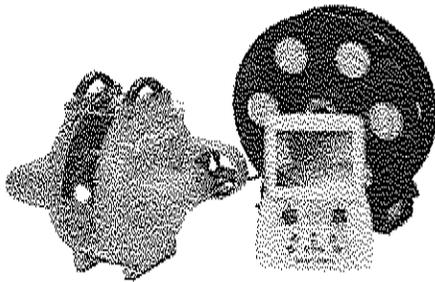
TANK INSPECTION SERVICES

TYPES OF INSPECTIONS

- Structural Inspection
- Maintenance Inspection
- Warranty Inspection
- ROV Inspection

REPORTS

- Repair schedules
- Estimates of probable costs
- Estimates for future maintenance



SERVICES

- Interior Cleaning
 - Interior washing
 - Removal of sediments
 - Disinfection
- Structural Review
 - Footings
 - Base plates and column shoes
 - Columns
 - Tank plates
 - Struts and sway rods
 - Ladders and balconies
 - Piping and appurtenances
 - Ventilation
- Coatings
 - Generic identification
 - Percent intact determination
 - Adhesion testing
 - Failure analysis
- Environmental & Safety
 - Metals testing
 - Fall prevention systems
 - Confined space requirements

****NO ANNUAL FEES**NO LONG-TERM CONTRACTS****

SUBMERSIBLE (ROV)

- Eliminate confined space concerns
- Reduce risk of contamination
- No tank draining required
- Tank out-of-service time reduced to length of inspection
- Allows thorough inspection of wet risers, unlike dive inspection firms
- Provides safe, economical alternative to traditional tank inspections

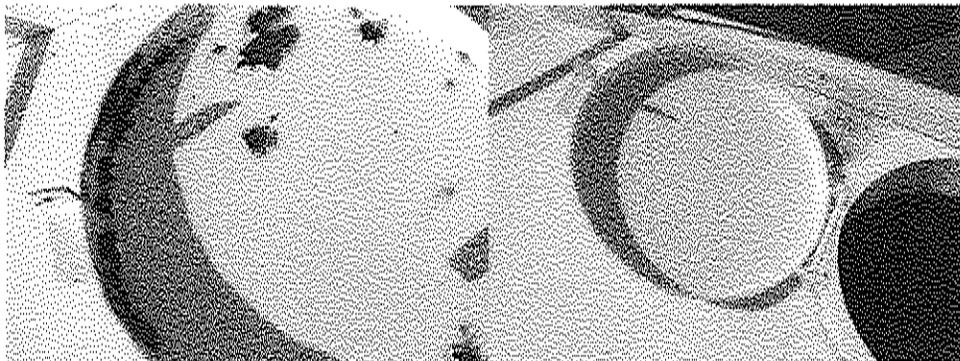
MAINTENANCE PROGRAMS

- Modeled to meet client's concerns and those of the regulatory agencies
- Regular inspections conducted at 3-5- year intervals
- Tracking and recording of all scheduled maintenance
- Notices of upcoming inspections and maintenance
- Prioritizing of repairs and painting for multiple-facility owners



MAINTENANCE AND WARRANTY INSPECTION REFERENCES

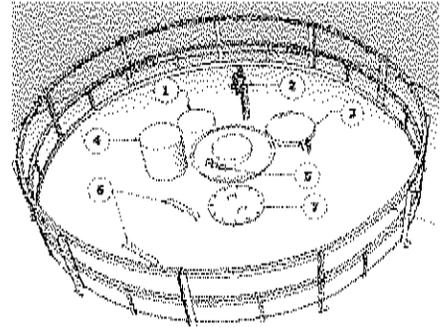
Village of Ontonagon 315 Quartz St. Ontonagon, MI 49553	150,000-Gallon Elevated Tank 250,000-Gallon Elevated Tank 650,000-Gallon Clearwell Structural Inspections, ROV, 2018	Jeremy Graff	906-885-5631
Village of Marion 118 E. Main St. Marion, MI 49665	180,000-Gallon Standpipe Structural Inspection, 2018	Bruce Aittama	231-743-6801
Grand Blanc Township 5371 S. Saginaw St Flint, MI 48507	500,000-Gallon Elevated Tank Holly Road Warranty Inspection, ROV, 2018	Jeff Sears	810-424-2640
Monroe Co Drain Comm. 1005 S. Raisinville Rd. Monroe, MI 48161	500,000-Gallon Elevated Tank Luna Pier Structural Inspection, ROV 2017	Chris Schmidt	734-847-8360
Dewitt Charter Township 414 E. Main St. Dewitt, MI 48820	300,000-Gallon Elevated Tank Structural Inspection, 2017	Julie Coleman	517-668-0270
Genesee Co Drain Comm. G4610 Beecher Road Flint, MI 48532	1 Million Gallon Fluted Column Tank, Clio Road Structural Inspection, ROV, 2016	Mark Horgan	810-732-7870
City of Howell 611 E. Grand River Ave. Howell, MI 48843	630,000-Gallon Ground Tank 300,000-Gallon Elevated Tank 33,000-Gallon Clearwell Structural Inspections, ROV, 2016	Jim Webster	517-546-5309
City of Harrison 2960 Lucerne Dr., SE Grand Rapids, MI 49546	Lift Stations #2, 1, 9, 3, 5 Ultrasonic Testing of Pressure Tank, 2016	Sam Bender, Fleis & Vandenbrink	616-965-8770
City of Owosso 301 W. Main Street Owosso, MI 48867	1.25 Million Gallon Standpipe 600,000-Gallon Elevated Tank Structural Inspections, 2016	David Haut	989-725-0550



TANK REHABILITATION

Engineering

- Structural evaluations of water storage tanks
- Corrosion surveys for water and wastewater facilities
- Technical specifications and contract documents for industrial coating projects
- Project Management
- Cost estimating
- Antenna structural analysis (tanks)



Consulting

- Failure analysis
- Environmental monitoring
- Environmental coating evaluation

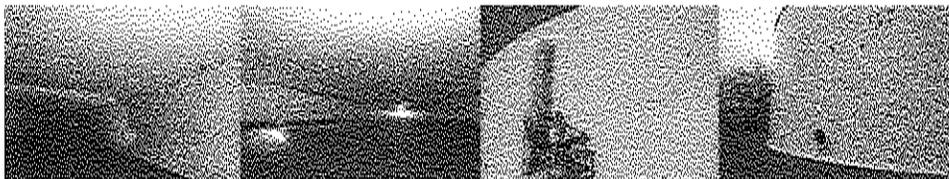
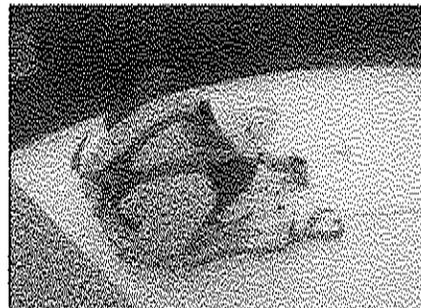


Testing

- Dry film thickness testing
- Wet film thickness testing
- Holiday testing
- Surface profile measurement
- Adhesion testing
- Coating failure analysis
- Ultrasonic thickness testing
- Lead, chrome and cadmium testing
- Hardness testing
- Black-light fluorescence
- Ambient conditions monitoring

Tank Modeling

- NTEC uses 3D tank modeling to assist in color selection and developing paint schematics
- Our designer creates a scale model of your tank that allows you to review color schemes, lettering and logo designs as they would appear on your tank



TANK REHABILITATION REFERENCES

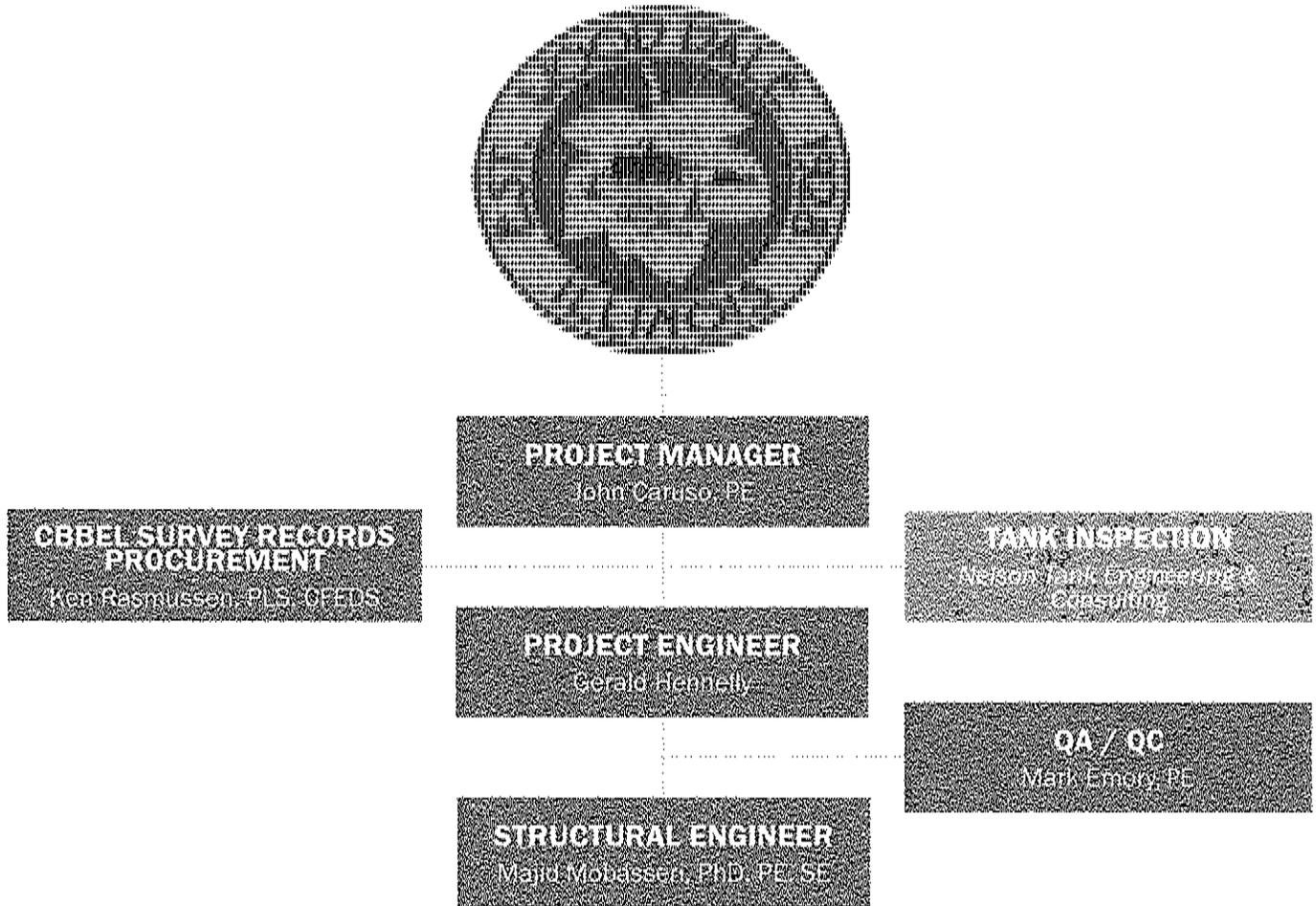
City of Port Huron 1200 Pine Grove Ave. Port Huron, MI 48060	1.5 Million Gallon Ground Tank Specs, PA, Coating and Repair Inspections, 2018	Norm Hurren	810-984-9780
MHOG 2911 Dorr Road Brighton, MI 48116	300,000 Gallon Elevated Tank (Transwest), Specs, Modeling, PA, Coating/Repair Inspections, 2018	Greg Tatara	810-227-5225
Grand Blanc Township PO Box 1833 Grand Blanc, MI 48480	500,000 Gallon Elevated Tank (Holly) 1 Million Gallon Tank (Baldwin) Specs, PA, Coating/Repair Inspections, 2017	Jeff Sears	810-424-2640
City of North Muskegon 1502 Ruddiman Dr. North Muskegon, MI 49445	500,000 Gallon Elevated Tank Specs, 3D Modeling, PA, Coating and Repair Inspections, 2017	Randy Phillips	231-719-1200
City of Port Huron 1200 Pine Grove Ave. Port Huron, MI 48060	1 Million Gallon Elevated Tank Technical Specs, PA, Coating and Repair Inspections, 2016	Norm Hurren	810-984-9780
Grand Blanc Township 5371 Saginaw Rd. Grand Blanc, MI 48439	500,000 Gallon Elevated Tank Modeling, Specs, PA, Coating/Re- pair Inspections (Containment), 2016	Dave Hobson	810-424-2600
Lansing BWL 3401 Contractor Dr. Midland, MI 48642	Moore's Park Dam Shop and Site Coating Inspections (Containment), 2016	Rusty Friedle, Fisher Contracting Co.	989-835-7771
MHOG 2911 Dorr Road Brighton, MI 48116	150,000 Gallon Elevated Tank, Oak Pointe, 3D Modeling, Specs, Coating/Repair Inspections, 2015	Greg Tatara	810-227-5225
HSRUA 247 Baldwin Resort Rd. East Tawas, MI 48730	6 Elevated Tanks, Antenna Coating and Repair Inspections, 2015	Catherine Garnham	517-362-0500
Fort Gratiot Township 3720 Keewahdin Road Port Huron, MI 48059	200,000 Gallon Elevated Tank, Coating and Repair Inspections, 2015	Greg Randall	810-650-0208

TABLE
PROJECT TEAM



ORGANIZATIONAL CHART

RICHERT STATION AND TANK MAINTENANCE



JOHN CARUSO, PE
Vice President, Head, Mechanical/Electrical Engineering Department

Professional Engineer experienced in design of mechanical/electrical engineering projects. Experience includes pump station design, water model studies, roadway and site lighting design, SCADA system design and irrigation design. Participated and/or acted as Resident Engineer on various potable water and sewage related pumping station projects, roadway lighting, and stormwater management projects. Responsibilities include design coordination with all related engineering disciplines on various projects with an emphasis on pumping applications including storm, sewage and potable water pump stations, as well as roadway lighting design and electrical design. Duties include preparation of design memorandum and preliminary engineering reports; acquisition of permits from state, county, and local agencies; preparation of contract specifications and construction plans; review of drawings and specifications for code compliance; providing RE services; design of standby engine generators and electric services; design of lighting systems for roadway, parking lot, landscape, and interior applications; and design of SCADA systems for sanitary, storm and potable water applications. Performs water model analyses using WaterGems, Infowater, WaterCAD and EPANET.

YEARS EXPERIENCE: 31
YEARS WITH CBBEL: 31

EDUCATION
Bachelor of Science, 1988
Mechanical Engineering
University of Illinois at Chicago

PROFESSIONAL REGISTRATION
Professional Engineer, IL,
062.048356, 1993
Professional Engineer, WI,
43186-6, 2013
Professional Engineer, IN,
PE11012145, 2010

PROFESSIONAL DEVELOPMENT
Ethics in City Government,
Ethics Training for
CDA/OMP Contractors,
Vendors and Employees

PROFESSIONAL AFFILIATIONS
American Society of
Mechanical Engineers

Engineers Without Borders

Illuminating Engineers Society

WATER STORAGE TANKS

Glenwood School for Boys & Girls Painting of 150,000 Gallon High Tank, St. Charles:

Project Manager for painting 150,000 gallon elevated water tank. Coordinated use of temporary hydropneumatic tanks for water supply during time tank was out of service.

500,000 Gallon Elevated Water Storage Tank Painting, Rosemont: Assisted in preparation of contract documents and administration of bid process. This tank was awarded the 2006 Tank of the Year by the Tnemec Paint Company.

Painting of 2 Million Gallon Standpipe, Darien: Assisted in preparation of bidding plans and contract documents.

PUMP STATIONS

Lansing Pump Station Improvements, Chicago Heights: Project Manager/Design Engineer for replacement of (3) 7,000 gpm horizontal split case potable water pumping units including associated isolation butterfly valves, globe check valves, pipe fittings, insertion flow meter, SCADA improvements to the City of Chicago Heights potable water pumping station. Construction Cost \$300,000.

Meter Vault at Lansing Pump Station, Chicago Heights: Project Manager/Design Engineer for installation of 10' x 10' poured in place concrete, below grade meter vault over existing 36" water transmission main, including the installation of an insertion meter, electric and communication conduit and cable, connection to and modifications to existing SCADA system. Construction Cost \$200,000.

Potable Water Booster Station, New Lenox: Project Manager/Design Engineer for construction of booster pump station at existing Village stand pipe and pump station. Improvements include modification to existing building adding approximately 400 SF of floor space including new standing metal seam roof, roof trusses, brick and CMW block wall construction for 2 new 750 gpm potable water booster pumps to create new pressure zone in remote, elevated area of the Village currently experiencing low water pressure. New standby diesel generator, modifications to existing motor control center, pressure reducing valves, and remote pressure monitor station reporting back to SCADA via radio is included in scope. Construction Cost \$1,000,000.

Flood Mitigation Project, Elmwood Park: Project Manager/Lead Designer for 150 cfs stormwater pump station, including four 250 Hp pumps, 1,600A motor control center, 1,000 kW engine generator, 30'x12' control building, SCADA, CCTV and 1,000' of twin 36" HDPE forcemains. Construction cost \$3.6 million.

Cummins Technical Center Flood Risk Reduction, Columbus, IN: Project Manager responsible for design of flood control pumping stations. Project was a flood wall design to protect the Technical Center building. Included 45 cfs pump station, 5 cfs pump station, and over 500' of concrete flood wall.

Wastewater Treatment Plant Modifications, Rochester, IN: Modifications included replacement of 6 electric motors with inverter duty rated motors, installation of 6 variable frequency drives for trickling filter effluent pumps. Construction cost of \$200,000.



Old Plank Park, Naperville: Design of approx. 7 cfs stormwater dewatering pump station for approx. 80 ac-ft stormwater detention facility. Required coordination and modifications to existing Country Commons pumping facility.

Graff Drive Stormwater Pump Station, Rosemont: Design of 20 cfs stormwater pump station including SCADA and 100kw standby generator to alleviate local flooding in residential area. Construction cost \$586,000.

Country Commons, Naperville: Design of 2 cfs stormwater pump station to dewater 49 acre-feet stormwater reservoir underdrain system. Construction cost \$550,000.

Well No. 9, Shorewood: Design of brick Well House for electrical, variable frequency drive and SCADA controls for 400 Hp, 1,200 gpm deep well pump. Packaged meter vault, manual transfer switch, and 2400 volt step up transformer included.

Well Nos. 6 & 8, Sycamore: Project Manager/Lead Designer for rehabilitation of two existing well houses. Upgrades included building additions to accommodate future radium treatment/removal equipment; electrical upgrades to existing well pumps; new diesel stand-by generator; underground piping revisions; well house piping revisions.

Wood Dale-Itasca Reservoir and Pump Station, DCDEC: Multi-phased stormwater management project along Salt Creek. Project included excavation of over 500,000 cy of material; construction of an earthen embankment approx. 0.5 mile long; 25 cfs pump station, 45' deep with two 75 hp pumps; 5 hp dewatering well, and SCADA telemetry system with a 75' tall radio antenna. Construction cost \$5 million.

Westwood Creek Dam and Pump Station, Addison: Assisted in preparation of construction drawings for stormwater dam and pump station consisting of three 300hp submersible tube type propeller pumps, three 6'x8' motor operated sluice gates, and associated level sensing and control devices. Pump station rated at 500cfs and provided with 800kw diesel-electric generator for standby power. Responsibilities included RE for 2 years during construction, contract administration, and preparation of O&M manual. Performed annual dam inspection report for submission. CECI 1995 Engineering Excellence Achievement Award Winning Project. Construction cost \$2 million.

Finley/Crescent Pond, Lombard: Design and resident engineering of 3 acre foot stormwater detention reservoir and 6cfs pump station. Construction cost \$800,000.

Well No. 9, Sycamore: Designed a 250 hp 1350 gpm well pump for potable water deep well and a well house including provisions for radium treatment equipment. Design included a 350kw standby power generator, SCADA controls and chemical treatment facilities. Construction cost \$827,000.

William Street Reservoir and Pump Station, Rosemont: Assisted in design and preparation of construction documents for below grade, poured-in-place concrete 5MG reservoir and 6,000gpm potable water pumping station. Responsibilities included sizing diesel electric generator; lighting, electrical power, piping layouts & CAD implementation to prepare contract

drawings. Major equipment items included four 1,500gpm vertical turbine pumps driven by variable frequency drives; standby diesel electric generator; HVAC system for cooling main water pumps & heating pump station; chlorination equipment; control & alarm telemetry; & excavation support system. CECI 1995 Engineering Excellence Achievement Award Winning Project.

LIFT STATIONS

Seil Road Lift Station, Shorewood: Project Manager/Design Engineer for regional lift station rehabilitation including three 85 Hp, 1600 gpm sewage pumps, 250 kw diesel standby generator, new pump controller with three variable frequency drives and exterior cooling unit, SCADA upgrades, weather station, new check valves and site fencing. Converted project to Design-Build.

Edgebrook Lift Station, Wood Dale: Project Manager/Design Engineer for duplex sewage lift station rehabilitation including 350 gpm submersible sewage pumps, 40 kw natural gas standby generator, pump control panel, flow meter, check and isolation valves in valve vault, and waterproof hatches. Station was within floodplain elevation so area was raised above. DuPage County stormwater permit, recycled plastic site fencing, site grading and landscaping along with concrete access drive and raised stair/platform for access to pump control panel. Station was converted from dry pit can station to wet well submersible pumps.

Woods Lift Station, Flossmoor: Design and construction services and conversion to Design-Build for regional sewage lift station. Replaced dry pit can type station with submersible chopper style sewage pumps. MWRDGC permit. Reused existing pump controls with VFDs. Furnished new natural gas 50 kw standby generator, valve vault with new check and isolation valves.

Fairview Lift Station, Lombard: Rehabilitation of regional sewage lift station including new duplex high flow pump (1500 gpm) and duplex low flow (500 gpm) pumps, new pump controls, 250 kw natural gas standby generator, SCADA integration, reuse/recondition existing concrete wet well, new flow meter, check and isolation valves and new air/vacuum valve on existing 9000 ft. PVC forcemain.

Menards Lift Station, Glendale Heights: Project Manager for rehabilitation of existing sewage lift station along IL Route 64. Improvements include reuse of existing wet well with concrete rehabilitation, 3 new 1150 gpm submersible pumping units and associated valves and discharge piping, aluminum access hatches, expansion of existing precast concrete control building including new roof and three wall additions, pump controls including VFDs, valve vault, meter vault with in-line meter, reuse of existing forcemain, modifications to SCADA. Construction Cost \$630,000.

Lake Park Estates Lift Station, Palatine: Project Manager for the rehabilitation of existing sewage lift station including converting dry well-wet well type station to submersible type station. Reuse of existing wet well, new valve vault and associated piping and valves, submersible pumping units, pump control panel and automatic transfer switch for 2 ComEd services. MWRDGC permit acquired. Construction Cost \$170,000.

Elm and Blanchard Lift Station, Wheaton: Project Manager for the design and construction of sewage lift station rehabilitation including new submersible 85



hp pumping units, pump controls with variable frequency drive (VFDs), connection to existing standby generator, new electric service, protective structural barrier wall. Construction Cost \$300,000.

Regency Drive Lift Station, Glendale Heights: Project Manager for design of 400 gpm sewage lift station modifications to convert from a can lift station to submersible pumps. Project also included a 50 kW natural gas generator.

VFW Lift Station, Rochester, IN: Design of sanitary lift station modifications for rehabilitation of existing lift station including pumps, controls, valves, hatches and bypass pumping. Construction cost of \$140,000.

Klefstad Lift Station, Wood Dale: Project Manager for rehabilitation of duplex submersible sewage lift station conversion from dry pit station. Included 60kw natural gas standby generator. Construction cost \$450,000.

Peck Farm Park, Geneva: Design of a lift station, distribution watermain and electrical service to 50,000 SF recreational building. Construction cost \$800,000.

Blacksmith Drive Lift Station Improvements, Wheaton: Design and construction upgrades to existing sewage lift station including natural gas stand-by generation housed in pre-cast concrete building. New pump control panel and pump controls via transducer and backup floats.

Lorraine Blockhouse Improvements, Wheaton: Design and construction of upgrades to an existing sewage lift station including: demolition of existing 12'x12' brick building housing submersible pump controls, installation of a 10'x16' pre-cast concrete building with faux brick finish, new 60kw natural gas fueled generator, pump control panel, transducer and backup floats. Overhead electrical service was replaced with below ground conduit and cables, along with new ComEd pad mounted transformers. New hatches provided on existing concrete pad and new pump guide-rail system and wet well piping was installed.

Geneva Water Quality Subdivision: Design and part-time construction observation services for sewage lift station and parking lot lighting. Lift station received backwash from future city water treatment plant filter tanks.

Lift Station Upgrades Phases I & II, Lombard: Project Manager/Design Engineer/Resident Engineer for the design and construction observation of 8 sanitary lift stations and 2 stormwater pump stations including demolition of existing dry-type stations. Construction cost \$4.5 million.

SUPERVISORY CONTROL AND DATA ACQUISITION (SCADA) SYSTEM DESIGN

Village of Forest Park SCADA System: Design and project management of SCADA system including 2 elevated tanks, 2 pump stations, meter station, emergency interconnection and lift station. Construction cost \$100,000.

Village of Chicago Ridge SCADA System: Design, contract document preparation and contract administration of a SCADA system incorporating a main potable water pump station,

booster pump station, 1MG elevated water storage tank and three sanitary lift station sites. Construction cost \$100,000.

Village of Willowbrook SCADA System: Design, contract document preparation and contract administration of a SCADA system. System included 2 elevated storage tanks and a 3MG standpipe and booster pump station. Construction cost \$70,000.

WATER MODEL STUDIES

Water Distribution Study, Bensenville: Developed & calibrated a water distribution model (MWH Soft info Water) and established user demands for water distribution system. Identified impacts on system from the removal of the existing piping and water supply demand within the O'Hare Modernization Program expansion area.

Residences at the Grove, Downers Grove: Water model constructed for a proposed 15 acre development to determine available fire flows for multi-family development.

Apple Creek Estates, Woodstock: Constructed water model for proposed 540 acre development, including single family, multi-family, commercial & a school. Fire flows, resultant pressures were analyzed along with sizing watermains and future elevated tank.

Oak Grove Business Park, Waukegan: Performed water model for industrial park including five flow demands for most distant building and sizing watermain. Model was basis for construction of 16" watermain extension to supplement park's watermain.

Village of Palos Park: Three, million dollar construction contracts for more than 10 miles of watermain and sanitary sewer. Through the use of CYBERNET, AutoCAD and KYPIPE, a water model was constructed and analyzed to size booster pump stations and watermain throughout selected portions of the Village.

DuPage Technology Park, West Chicago: Analyzed fire flow and water demands of Technology Park being connected to existing City of West Chicago water supply system.

City of Rolling Meadows: Review of an existing water model to determine effects of potable water pump station upgrades and pump selection.

ROADWAY LIGHTING DESIGN

Uptown Redevelopment, Park Ridge: Project Manager for \$1.5 million roadway lighting project near Northwest Highway and Touhy Avenue. Project included both City and IDOT roadways. Roadway lighting submittals and permit applications were submitted to IDOT for approval. Coordination with 7 intersections including traffic signal replacement at all intersections. Electrical included tree lighting, electrical feeds for kiosks and convenience receptacles.

I-294 at IL Route 137, Lake County: Project consisted of design of 5,500 LF of a new continuous freeway lighting system in each direction for widening I-294 and intersection lighting design for 4 signalized exit and entrance ramps. The project utilized approx. 75 lighting units with 400W HPS roadway luminaries mounted on 50' mounting height aluminum poles on 15' truss mast arms along with 150W HPS Wall Pak Type Lighting Units for Underpass Lighting.



The Main Line lighting is controlled by centrally located Radio Controlled Lighting controller and the intersection transition lighting is controlled out of the traffic signal controller Transfer Cabinets. Project also included design and installation of 1,500 LF of duct bank for the installation of fiber optic network cable for Illinois Tollway Communications, Surveillance and Lighting Control.

88th Avenue Street Lighting Design, Palos Hills: Project Manager/Resident Engineer for 1 mile of roadway lighting design using ornamental type street lighting. Construction cost \$700,000. Project was redesigned using standard cobra head type luminaries and spun aluminum poles.

Congdon Avenue Roadway Lighting, Elgin: Project Manager for roadway lighting design of 1.2 miles. Coordination with CCHD plans for reconstruction of Congdon Avenue.

McLean Boulevard Roadway Lighting, Elgin: Project Manager/Resident Engineer for 1 mile of roadway lighting on 4 lane collector road in Elgin. Additional 7 'mid-block' sites at various residential streets also included. Construction cost \$220,000.

71 South Lower Wacker Lighting, Chicago: Design of intersection roadway lighting at proposed signalized intersection on Lower Wacker Drive for existing building loading dock. Reviewed & Permitted by City of Chicago and IDOT.

Balmoral Avenue Extension, Rosemont: Design of \$600,000 roadway lighting improvements. Incorporated the use of over 140 lighting units in the design of multiple lighting systems. The project's close proximity to O'Hare Airport restricted overall mounting height to 17'. Temporary lighting was installed on Mannheim Road for construction operations. Other entities consisted of bridge lighting mounted to parapet walls, underpass lighting, and upgrades to existing Village, City of Chicago and IDOT lighting systems. Construction cost \$10 million.

Randall Road Intersection/Transition Lighting, MCDOT: Design of lighting at 4 intersections using 61 light poles and 3 new lighting controllers. Upgraded existing lighting controllers and expanded the system. Incorporated existing luminaries on combination lighting/traffic signal poles into new lighting system.

DuPage Technology Park Phase I, West Chicago: Designed lighting using 42-40' light poles and 2 lighting controllers which illuminated approx. 4,400' of roadway including 2 roundabouts. Also aerated 7 ponds using air compressors and diffusers regulated by 2 aeration electric controllers. Duties included photometric design, plan design, and cost estimate.

Meijer Store #182, St. Charles: Design of roadway lighting for intersection and transition lighting along IL 38, Randall Rd and Bricher Rd. Project included 67 new light standards and removal of 18 existing light standards, lighting 3 intersections, installing 2 lighting controllers and modifying an existing controller. Coordination with Kane County, IDOT, St. Charles and Geneva was required.

SITE LIGHTING DESIGN

DuPage County Courtyard, Wheaton: Project Manager for installation of 11 ornamental roadway light poles, 35 ornamental walkway light poles, 8 ornamental parking lot light poles and a remote receptacle for events. Existing electrical panels were upgraded to accommodate new lighting. Designed a site irrigation system including a submersible pump drawing water from an adjacent pond via a concrete structure.

National Street Metra Station, Elgin: Project Manager for installation of 50 parking lot light standards in which 13 were located on the train platform deck. Also, included one lighting controller and 12 ornamental poles along the Fox River.

Prairie Crossing Site Lighting, Metra: Project Manager for installation of 80 ornamental parking lot lighting standards in which 15 were located on a train platform deck. Tasks included photometric design and preparation of plans.

ROADWAY LIGHTING STUDY

Elgin Street Lighting Inventory and Effectiveness Study: Survey of approx. 6,000 street lighting units with hand held GPS unit. Presented results to City in PowerPoint presentation including recommendations for additional lighting in residential areas.

Street Lighting Study, Lombard: Project Manager for locating, identifying, assessing, and organizing data for all street lighting within the Village. There were 2170 light poles controlled by 91 lighting controllers, and 81 light poles were directly connected to ComEd with 357 light poles owned by ComEd. The lighting ordinance was revised, street lighting atlases were revised, and a 10-year street lighting capital improvement plan was designed.

RECREATIONAL FACILITIES

Lincoln Park Zoo South Pond Renovation, Chicago: Project consisted of draining/dredging the existing pond and removing/replacing/upgrading all adjacent amenities, improvements including lighted boardwalk and path around pond, 2 waterside pavilions with lighting, electric and communication ports, ticket and toilet kiosks, receptacles throughout, a wind turbine, central electrical controller, pond aeration and an automated pond water refill system watermain.

Concessions/Washroom Building, St. Charles Park District: Designed a 2,100 SF restroom and concession building. Amenities included 3" water service from existing water well for domestic supply and fire protection, 480 volt electrical service, grinder sewage lift station and 1,200' of 2" force main, restrooms, concessions storage and picnic area.

Prairie Lakes Park Expansion, Des Plaines: Project Manager for lighting design for skate park and lighting/electrical for 6 batting cages. Also included were electrical provisions for a well and irrigation pump, a shelter building, vending machines and a tent for events.

Redmond Park, Bensenville: Design, contract documents, and construction observation of a multi-use recreational 70 acre site. Project included a 1,200 seat covered grandstand with press box, 1,200 SF washroom/concession building, 1,000 SF maintenance building, 2 lighted baseball fields with



scoreboards, playground with play equipment and washrooms, soccer field, walking trails, 2 pedestrian bridges over concrete spillways, and irrigation in the ball fields. CECI 1998 Engineering Excellence Merit Award Winning Project. Construction cost \$5 million.

Campton Hills Park District, St. Charles: Project Manager for design of upgrades to existing electrical well house building, electric for 2 scoreboards, a sanitary lift station, and irrigation of 7 soccer fields with provisions to irrigate 6 more.

The Morton Arboretum Children's Garden, Lisle: Project Manager for design of path/area lighting and receptacles. Power was provided for 5 water feature pumps including a granite ball rotating on a cushion of water.

East Side Sports Complex, St. Charles Park District: Designed site lighting and softball field lighting; including two 1,200 amp electrical systems for two cartwheel style quad softball fields, 2 soccer fields, tennis, basketball, skate park, and parking lot. Also, included was the site electrical for a providing shallow (30') well to the site and irrigation system, and maintenance of the building's electrical systems. Construction cost \$4 million.

Veteran's Memorial Park, Glendale Heights: Project Manager for design of park lighting including 12 ornamental poles with receptacles, 11 recessed wall lights, 5 ingrade monument lights, 2 sign flood lights, 2 flag floodlights, and 4 low voltage ingrade lights for a 48" rotating granite ball. Also, there were 6 remote quad GFI receptacles and provisions for connecting portable power receptacles for events. Duties included photometric calculations, plan design and preparation, and cost estimate.

The Legends Golf Course, Bensenville: Design included architectural site lighting and sports lighting for golf course and driving range along with all related power and control.

Fredenhagen Park, Naperville: This \$1.7 million project included a concession building, an illuminated water fountain controlled from a below grade vault, an illuminated ornamental clock tower, 13 ornamental light poles, ground mounted light fixtures, well pump and exterior site receptacles. Duties included fountain design, electrical design, and cost estimate.

Town Center Project, Carol Stream: Design and contract documents including construction cost estimates, acquisition of IEPA water and sewer permits, Health Department permits, and construction observation of 25 acre park. Project included 1,200 SF visitors center with restrooms, concession and storage area, 30' diameter gazebo/pavilion with stage, 100' diameter architectural concrete fountain, 65' pedestrian bridge, brick paver walkways, site lighting, site irrigation, 1,300' sanitary sewer, and 300' watermain. CECI 1999 Engineering Merit Award Winning Project. Construction cost \$4 million.

RESIDENT ENGINEERING

DMS Replacement, Illinois Tollway: Replacement of 5 dynamic message signs for Tollway including LED DMS signs, CCTV camera installation, fiber optic cable communications, and digital communications network equipment. Construction cost \$1.1 million.

Lift Station Upgrades, Lombard: Resident Engineer for upgrades to 8 sewage lift stations and 2 stormwater pump stations over a three year period. Construction cost \$3,000,000.

Westwood Creek Dam and Pump Station, Addison: Resident Engineer for construction of a stormwater dam and pump station consisting of three 300hp submersible tube type propeller pumps, three 6'x8' motor operated sluice gates, and associated level sensing and control devices. Pump station rated at 500cfs and provided with 800kw diesel-electric generator for standby power. Responsibilities included RE for 2 years during construction, contract administration, and preparation of O&M manual. Performed annual dam inspection report for submission. CECI 1995 Engineering Excellence Achievement Award Winning Project. Construction cost \$2 million.

MISCELLANEOUS PROJECTS

Ramp Plaza Widening at 63rd Street and Ogden Avenue, I-355, Illinois Tollway: Design and contract document preparation of ramp toll collection equipment, canopy lighting and alarm videotaping for Tollway ramps along I-355. Prepared contract plans and specifications using Tollway guide drawings and specifications.

Louis Reservoir, Addison: Coordinated with water resource engineers to design a method of dewatering a 200 acre-foot stormwater storage reservoir along Salt Creek. Implementation of check valves, level sensing transducers, control devices, motor operated gate valve, and electrical power supply to facilitated the dewatering process. Provided Resident Engineer services for 2 years during construction including construction observation, contract administration and preparation of O&M manual. Construction cost \$3 million.

Booster Station #2 Building Upgrades and Generator Upgrades, Northlake: Project Manager for design and construction observation of a 400 SF building addition to a house; a new 230kw standby power generator, including upgraded ComEd transformer; installation of a new 400 amp ATS, variable frequency drive, heating and ventilation system and controls.

Electrical and Ventilation Upgrades, Forest Park Fire Station: Project Manager for a study of an existing fire station to provide a complete survey of total power consumption of the building and recommendations of ventilation needs.

Illinois Tollway: Project Manager for design and rehabilitation of electrical and camera surveillance systems for control buildings at the 63rd Street and Ogden Avenue toll plazas.

Elevated Water Storage Tank Evaluations: Assisted in review of water storage tank inspections and evaluations for tanks ranging from 100,000 gallons to 3,000,000 gallons for various municipalities such as Chicago Ridge, Elmwood Park, Northlake, and Willowbrook.

Review of Electrical, Mechanical, Plumbing and Fire Protection Drawings: Review of electrical, mechanical, plumbing and fire protection contract drawings for code compliance for commercial/office/hotel developments in the municipalities of Chicago Ridge, Elmwood Park, Rolling Meadows, Rosemont, Wayne, and Willowbrook.



Senior Project Manager experienced in a wide range of engineering disciplines including electrical, mechanical and civil engineering design. Experience also includes construction observation and resident engineering assignments and final review of completed projects. Further responsibilities include design and coordination of various types of mechanical and electrical projects, including potable water storage facilities, stormwater pumping stations, wastewater lift stations, street lighting installations recreation and sports lighting installations, recreational park designs, dry utility relocation projects and general public works and building improvement projects. Duties include the preparation of design plans, calculations and specifications, and field observation and contractor shop drawing review of construction projects. Performs electrical and mechanical site plan review for several municipalities as well as preparation of CAD design drawings for Mechanical and Electrical Engineering design projects.

YEARS EXPERIENCE: 34
YEARS WITH CBEL: 23

EDUCATION

Associate of Science, 1987
Electronic/Computer
Technology Control
Data Institute

CERTIFICATIONS

ICORS Training Seminar, IDOT

PROFESSIONAL DEVELOPMENT

Ethics in City Government,
Ethics Training for
CDA/OMP Contractors,
Vendors & Employees

ComEd New Business Services,
2009

Steel Tank Institute (STI)/SPFA
Steel Water Tank Design and
Construction Seminar, 2009

Writing at Work, Advanced
Technical Writing, 2008

Highway Lighting Seminar,
ACEC Illinois & IDOT, 2006,
2014

National Electrical Code
Review, 2005

PROFESSIONAL AFFILIATIONS
International Code Council

Irish Engineers & Contractors

MECHANICAL AND ELECTRICAL

Dry Utility Relocation Project and Downtown Lighting, Huntley: Worked with ComEd, AT&T, and Comcast on preparation of plans to underground all existing overhead utility lines and to install underground in conduit. After completion of underground projects, designed and provided construction coordination for installation of new lighting system for downtown area.

Old Town Area Redevelopment Underground Utility Relocation, Bloomingdale: Design and coordinated plan preparation of construction plans and construction observation for relocation of all private and public dry utilities for redevelopment of 125 year old area of the Village.

Electrical and Ventilation Upgrades, Forest Park Fire Station: Completed a study of existing fire station to provide a complete survey of total power consumption of the building and recommendations of ventilation needs.

Enterprise Drive 2 Million Gallon Fluted Column High Tank Painting, Westchester: Prepared contract documents, administered the bid process and reviewed received bids. Performed resident engineering services during construction.

Orchard Road 1.5 Million Gallon Elevated Water Storage Tank Rehabilitation, Wheaton: Design and construction observation for complete rehabilitation of the City's southern most water storage facility.

67th and Wilmette 500,000 Gallon Spheroid High Tank Rehabilitation: Design and construction observation for complete rehabilitation of the Village north water storage facility.

FAA Wind Shear Tower LLWAS Site No. 9, Rosemont: Design of new FAA Low Level Weather Alert System wind shear tower site. Responsibilities included coordination with Federal and local agencies. Put into operation the new site prior to decommissioning of existing site.

Glenwood School for Boys & Girls Painting of 150,000 Gallon High Tank, St.

Charles: Prepared bidding plans and contract documents. Coordinated use of temporary hydro-pneumatic tanks while existing tank was out of service. Coordinated with the school for water shut down and performed construction management services.

Water Storage Tanks, Willowbrook: Assisted in preparation of bidding documents, assisted Village with bid analysis and provided part time construction observation on rehabilitation of 3 water storage tanks.

500,000 Gallon Elevated Water Storage Tank Painting, Rosemont: Assisted in preparation of contract documents, administration of the bid process and reviewed received bids. Performed resident engineering services during construction. This tank was awarded the 2006 Tank of the Year by the Themec Paint Company.

Painting 2 Million Gallon Standpipe, Darien: Assisted in preparation of bidding plans and contract documents. Performed construction observation and coordinated with property owners.

Village Hall, Fire Station, and Police Station HVAC Improvements, Flossmoor: Project consisted of the design of 5 new HVAC systems for Village Hall Complex. Project included the increased air circulation requirements throughout the facility including design of a new HVAC system for the recently upgraded Police Department Gun Range.



Police Department HVAC System Rehabilitation, Palos Park: Project included design of a new HVAC system for the Police Department.

Library Chiller Removal and Replacement, Rolling Meadows Library District: Project consisted of the design of a new chilled water cooling system for the Library's well as in the incorporation of design calculations for future Library expansion.

Palos Park Police Station Building Addition: Project consisted of a new 2-story addition to existing Police Station. Project included a 3-bay garage for the secure transport of prisoners to and from the garage area, records storage, dumb waiter and communication room.

South Booster Station, Lombard: Assisted in design of a potable water booster station which included in line booster pumps and emergency standby generator.

Lift Station Upgrades Phase II, Lombard: Design and construction observation of 4 sanitary lift stations throughout the Village including demolition of existing dry-type stations.

Highland Avenue Pump Station Generator and Electrical Upgrades, Lombard: Design consisted of retrofit of a new outdoor rated diesel standby generator and electrical upgrades.

Yorktown Lift Station Upgrades, Lombard: Design consisted of reconstruction of existing lift station to include addition of fourth pumping unit and generator building.

Woodridge Green Valley Stormwater Clarifier, DuPage County Department of Public Works: Assisted in design of new electrical power and control for new clarifier tank and related appurtenances.

Hawthorn Woods Potable Water Pumping Station: Design and construction of a 300,000-gallon underground reservoir and pumping station along with standby generator. For aesthetic purposes of residential community in close proximity, pumping station was housed in a building that resembles adjacent homes.

City Acres 1,250,000 Gallon High Tank, Plano: Assisted in design of a new high tank, also assisted with planning, coordination of land requirements, preparation of bidding documents, permitting and shop drawing review.

Lakewood Springs 750,000 Gallon High Tank, Plano: Assisted in design of a new high tank, also assisted with planning, coordination of land requirements, preparation of bidding documents, permitting and shop drawing review.

Water Works Campus Pump Station and Electrical Upgrades, Riverside: Assisted in design, construction observation, decommissioning and demolition of existing pump station and related electrical power and control for rehabilitation of existing Village potable water pumping systems and construction of a new pump station and campus electrical distribution system.

Hillside-Berkeley Potable Water Pump Station Upgrades, Hillside-Berkeley Water Commission: Assisted in design of new pumps, motors and controls for new 125 hp pumps to increase commission water pressure and capacity.

Booster Station #2 Building Upgrades and Generator Upgrades, Northlake: Design and construction observation of a 400 SF building addition to house; a new 230kw standby power generator, including upgraded ComEd transformer; installation of a new 400 amp ATS, variable frequency drive, heating and ventilation system and controls.

Wood Dale-Itasca Spillway, Wood Dale: Assisted in design of a gated spillway structure for Salt Creek. Design included 4 motor operated gates and associated controls including office/control building and video surveillance equipment.

Lift Station Upgrades, Northlake: Preparation of plans and specifications for replacing 3 dry-pit type lift stations with more modern type submersible pumps in a concrete wet well and upgrades to all power and control circuitry.

Hartsdale Pond, Lake County, IN: Assisted in design of a stormwater pump station adjacent to a detention area.

City of Chicago, Department of Water Management: Design of multiple sewer projects for various streets, totaling over 20,000 LF of RCP and VCP sewers. Tasks included coordination of total topographic surveys of existing conditions, utility coordination and back checking, drainage studies including sewer slopes and drainage flows, coordination of connection structures to MWRD Interceptor and CDWM Main Sewers, proposed plan and profile layout, and Special Provisions Preparation.

Farmers Creek Pump Station, Des Plaines: Assisted in mechanical and electrical design of a (3) 200 Hp storm water pump station and gated closure structure used to divert flows and alleviate flooding conditions in the surrounding Rand Park Residential Community.

Water and Sanitary Sewer System Expansion, Palos Park: Assisted in preparation of construction drawings for system expansion including potable water booster station and 5 sanitary lift stations.

Illinois Tollway: Design and rehabilitation of electrical and camera surveillance systems for control buildings at the 63rd Street and Ogden Avenue toll plazas.

Alternative Fueling Station, FPDDC: Created Design/Build plans and specifications of E-85, BioDiesel and LPG fueling systems at the Blackwell Nursery Site.

Water Department Maintenance Building, Oakbrook Terrace: Design included the mechanical and electrical system for multi-use facility including office areas, storage areas, work areas and vehicle storage.

Navajo Gardens Subdivision, Watermain and Sanitary Sewer System Improvements, Crestwood: Assisted in design, plan and profile sheet preparation for over 2.5 miles of new sanitary sewer and watermain.



Golf Cart/Pedestrian Tunnel Dewatering Pump Station, Evergreen Park Country Club: Assisted in design and plan preparation of a below grade tunnel dewatering pump station for access below existing railroad tracks that cross golf course.

DuPage County Government Center: Site lighting design and electrical/mechanical design for new access tunnel and courtyard rehabilitation of existing site, along with design of new mechanical/electrical systems for the proposed tunnel and elevator building.

Ridgeland Avenue over the Cal Sag Channel-Navigation Lighting and Cathodic Protection System Upgrades, CCHD: Design of new lighting system for navigating the Cal Sag Channel and modifications to the existing bridge cathodic protection system.

LIGHTING

Street Lighting Master Plan, Evanston: Electrical Engineer. Project included using GIS data to determine existing conditions of light fixtures and power centers within City limits. From GIS data, study areas were determined within each of the cities wards encompassing intersections, residential neighborhoods, uncontrolled street crossings and school zones where a field survey and light meter readings were done to determine existing lighting conditions. Existing lighting conditions were presented at a public meeting and to a steering committee including various city staff, aldermen, commissions, residents and task forces to aid in developing various pilot programs to improve existing conditions including retrofits and new luminaires. Public feedback from the various pilot programs were taken into consideration in conjunction with Illuminating Engineering Society of North America (IESNA) standards to propose City standards on improvement of existing lighting conditions and new construction standards.

I-90 Roadway Reconstruction - Higgins Rd. to Roselle Rd., ISTHA: Coordination of electrical and mechanical construction. Duties included shop drawing review, construction observation, design of construction revisions, ComEd coordination and final inspection.

IL Rte. 83 @ 63rd St. Lighting Improvements, IDOT/Village of Willowbrook: Project included design of intersection roadway lighting for two intersections, photometric design, electrical design, utility coordination and assistance during construction.

Sheridan Rd. Lighting Improvements, Evanston: Design of new roadway lighting configuration for new bike lanes and pedestrian walkways for the Northwestern University campus.

Fountain Square Downtown Lighting Redevelopment, Evanston: Project included photometric design of the roadway lighting for 3 major roadways in the downtown area. Design also included reconfiguration of lighting circuits, voltage drop calculations and electrical design, along with construction observation.

Devon Ave. & 95th St. Streetscape Lighting Design, CDOT: Project included electrical and photometric design for new ornamental lighting systems along with the coordination of the removal and replacement of OEMC infrastructure.

Greenbrook/Tanglewood Homeowners Association Street Lighting Improvements, Hanover Park: Provided photometric design, electrical design, and construction observation for replacement of 200 incandescent light fixtures and replacing them with new LED type lighting units.

Kreutzer Road Lighting, Huntley: Provided roadway lighting design for the extension of Kreutzer Road from IL Route 47 to Main Street. Project included connection from two lighting controllers to power proposed lighting.

Harper College North Parking Campus Expansion and Lighting Improvements, Palatine: Design of new parking lot lighting systems and powering them through dedicated "smart panel" technology. Project also included IT infrastructure and cabling improvements which encompassed new security video camera system.

Lincolnshire Downtown Development: Project included site lighting design for a new retail development and access road lighting improvements. Design incorporated new irrigation system, coordination of new site utilities including ComEd, AT&T, Nicor, Comcast, and Village water and sewer service lines and bridge lighting.

Street Lighting Inventory and GIS Data Retrieval and Lighting Upgrades, Willowbrook: Project consisted of inventorying all of the Village's lighting system and entering the data into a GIS database and based on the information in the database, create a Capital Improvement Plan to replace all existing HID lighting with new LED type lighting units.

Highlands of Algonquin Roadway Lighting Design: Design of LED type ornamental lighting system for mixed use residential subdivision and golf course community. Design included two independently controlled lighting systems for two different areas within the subdivision.

Riverside Square Ornamental Lighting System and Streetscape Electrical Design, Algonquin: Design included extending the Village's existing lighting system to illuminate roadways within the new mixed use condominium development at the intersection of IL Route 31 and Algonquin Rd. Design also included electrical elements to allow for future expansion of the new portion of lighting system.

Lighting Ordinance Revision, Algonquin: Village was looking to upgrade the existing lighting ordinance to provide for use of LED lighting and standardize the different areas within the Village. CBEL developed revised Ordinances and Standardized details for municipal and developer use.

Madison Street Streetscape Phase I Lighting Study, Forest Park: Performed a Photometric Study and Lighting Analysis to identify the number of poles to be utilized and to identify potential conflicts with proposed roadway geometry and utilities for design of the lighting system.



Downtown Redevelopment Roadway Lighting, Flossmoor: Design of LED ornamental lighting system to replace the Village's 50 year old system. System was designed to incorporate future streetscape improvements proposed by the Village.

I-294 at IL Route 137, Lake County: Design of 5,500 LF of new continuous freeway lighting system in each direction for widening of I-294 north and south of IL Route 137 and intersection lighting design for 4 signalized exit and entrance ramps. Project utilized approx. 75 lighting units with 400W HPS roadway luminaires mounted on 50'-0" mounting height aluminum poles on 15' truss mast arms along with 150W HPS Wall Pak Type Lighting Units for Underpass Lighting. The Main Line lighting is controlled by a centrally located Radio Controlled Lighting controller and Intersection transition Lighting is controlled out of the traffic signal controller Transfer Cabinets. Project also included design and installation of 1,500 LF of duct bank for the installation of fiber optic network cable for Illinois Tollway Communications, Surveillance and Lighting Control.

Main Street Lighting Phase 1, Lombard: Resident Construction Engineer for the Village's largest lighting project which included installation of 110 ornamental lighting units and approx. 4 miles of conduit and wire.

North Avenue Frontage Road Ornamental Lighting, Lombard: Project consisted of coordination of lighting design with concurrent IDOT (IL 64) North Ave Reconstruction Project from IL 53 to Addison Rd Proposed Roadway Lighting System.

Uptown Redevelopment Roadway Lighting, Park Ridge: Design consisted of a complete reworking of the City's Uptown District from open areas to mixed use residential and commercial development which including converting existing roadways into pedestrian friendly environment. Lighting design included ornamental roadway type poles and luminaires mixed with pedestrian scale luminaires and poles and combination traffic signal and lighting poles for 3 IDOT roadways and 4 City maintained roadways serviced by 4 lighting controllers.

Comprehensive Street Lighting Study, Lombard: Identified, assessed, and reorganized the Village's existing database of all street lighting and street lighting systems. Additional services provided were identification of and assignment of a Village-wide pole and controller universal numbering system. Provided electrical evaluation of each lighting system; recommendations for future expansion, existing lighting systems and development of 10-year Capital Plan for street lighting improvements projects.

Comprehensive Street Lighting Study, Oakbrook Terrace: Developed a comprehensive plan for providing residential lighting systems into a Capital Improvement Plan.

Roy Avenue Lighting, Northlake: Design and construction of residential street lighting system for 1.2 miles of roadway. Project included design of 2 independent lighting controllers with 25 metal halide lighting standards. Design parameters included coordination with ComEd for removal of existing ComEd pole lighting units.

Balmoral Road Extension Street Lighting Phases I, II & III, Rosemont: Design of multiple lighting systems incorporating the use of over 140 lighting units. Projects close proximity to O'Hare Airport restricted overall mounting height to 17'-0".

Project consisted of temporary lighting on Mannheim Rd for construction operations, bridge lighting mounted to parapet walls underpass lighting and upgrades to existing Village, City of Chicago, and IDOT lighting systems.

75th Street Extension Street Lighting, Willowbrook: Designed to incorporate 2 separate construction phases. Coordination of 2 phases was accomplished by providing one centrally located lighting controller with capacity of including the Phase II lighting at a later time.

Randall Road and Highland Avenue Intersection and Transition Lighting, KDOT: Design of roadway lighting system using 40 aluminum poles and cobra head luminaires, combination traffic signal and lighting mast arm combination.

Bridge Lighting Design and Construction for Historic Route 66 (IL 53) of Kankakee River, Wilmington: Design and construction of ornamental lighting system for existing bridge. Bridge lighting will follow existing downtown streetscape design.

PARKS AND RECREATION

Posphalla Park, Northlake: Design, shop drawing review and construction observation of a municipally maintained recreational facility complete with sprinkle fountain, exercise equipment, state park, and life size human checkerboard.

Memorial Park Fountain, Northlake: Assisted in design of ornamental fountain with a lighted 15' water feature and flood lighting for landscaping items.

Millennium Park, Northlake: Design and shop drawing review of full spectrum municipal recreational facility including park playground equipment, site lighting, site building, fountain feature and irrigation system.

Town Center, Carol Stream: Assisted in design of Award Winning Fountain Park and Concession Building. Site improvements included fountain electrical and mechanical design, site lighting, walkway lighting, two aerators, a pavilion, and a concession/washroom facility.

The Legends Golf Course, Bensenville: Design included architectural site lighting and sports lighting for golf course and driving range along with all related power and control.

John Mills Parks, Elmwood Park: Design of ornamental walkway lighting system including poles and lighting controller, throughout a multi-use neighborhood park.

TRANSPORTATION

Fox River Grove Metra Station: Project included the demolition of existing shelter and expansion of existing parking lot as well as the lengthening of existing platform. Project included design of new depot building with restroom facilities, vendor space, and new waiting area. Platform expansion included new warming station shelters, platform electrical, and site lighting.



Maywood Metra Station: Project included design of a new warming shelter and site lighting along with platform electrical improvements for future expansion of a new platform by others.

National Street Metra Station Reconstruction, Elgin: Designed site lighting for new parking lot and depot building. Used architectural signage lighting and ornamental walkway lighting for new park area being developed by the City.

Great Lakes Station Reconstruction, Metra: Designed site lighting system for newly relocated depot building and coordinated all miscellaneous electric to site, including Phase II expansion.

New Lenox Metra Station: Design and coordination of new SWS line station including platform, parking lot and roadway lighting systems. Plans included MEP design of warming shelter with restrooms and coordination of all site utilities.

Train Station Repairs and Electrical Upgrades, Riverside: Design and construction observation for rehabilitation of the roofs of the main depot building and platform, as well as complete rehabilitation of the lighting systems for commuter lot lighting and site lighting.

Prairie Crossing Metra Station Parking Lot and Platform Lighting, Grayslake: Design of lighting and electrical system for new station. Project included ornamental lighting units with baffles to decrease glare and light trespass. Communications wiring was also incorporated for Voice of Metra telemetry.

Balmoral Avenue Metra Commuter Station, Rosemont: Designed an elevator building and parking lot lighting for a new two-story train station.

City Hall Parking Lot Improvements, Metra, Wilmette: Design of temporary lighting system for proposed roadway improvements. Project and follow-up with independent construction plans and specifications package for permanent lighting system after roadway improvements are finalized.

Parking Lot Lighting Improvements, Chicago Ridge: Design of parking lot lighting system for existing Ridgeland Avenue commuter station.



Professional Engineer within the Mechanical Engineering Department experienced in engineering projects in water supply and distribution, wastewater collection and treatment, and stormwater fields. Experienced in civil, mechanical and electrical engineering disciplines. Overall experience includes field investigations and troubleshooting, water supply and planning studies, water system evaluations with distribution network hydraulic modeling, preliminary engineering, and preparation of final design, including bidding and contract documents. Construction experience includes assistance during bidding, services during construction, including construction observation, and shop drawing review. Qualified Project Liaison drawing from the experience of these many engineering projects.

Responsibilities encompass engineering activities for potable water and wastewater projects. Responsible for conceptual planning, preliminary engineering, final design, cost estimating, contract document preparation, permit and regulatory submittal preparation, bidding, and services during construction including construction observation. Duties include client contact and representation, responsible charge for overseeing the work of other project team members, and liaison for the coordination, presentation and delivery of the project.

Proficient in Microsoft Word, Excel, Power Point, Microsoft Project, Bentley MicroStation, Haestad Methods Sewer CAD and Water CAD, and EPANET Software.

Gregg's Landing Ground Storage Reservoir and Pump Station, Lake County: Design and construction observation for a cast-in-place concrete ground storage reservoir and pump station. Facility was funded by a private developer and dedicated to the Lake County Public Works Department. The facility was designed for a low profile, low impact appearance in order to blend into a future upscale housing development on one side and a high profile commercial area on another side. Project included controls and valves necessary to fill the reservoir from the distribution system as well as full integration of controls with the LCPWD existing supervisory controls.

Elevated Tank Repainting, Hillside-Berkeley Water Commission: Prepared contract documents including bidding documents and specifications. The elevated tank was built in the 1950's and supports telecommunications equipment for two vendors. Construction is complete and the tank is in operation.

Enterprise Drive 2 Million Gallon Fluted Column High Tank Painting, Westchester: Participated in the repainting project for a 2 million gallon fluted column tank. Served as Project Engineer performing QA/QC duties.

Elevated Reservoir, Vernon Hills: Periodic construction observation for the construction of a 500,000 gallon elevated reservoir. The reservoir is constructed in tight quarters on the corner of the Prairie Material Vernon Hills Yard. Work included 360 LF of bored and jacked watermain crossing of two railroads and wetland. The base of the tower houses pressure adjusting and rate of flow control equipment which receives and regulates water from a regional Lake Michigan water supply facility. Project is to be dedicated to the Lake County of Public Works who closely reviewed the tank design.

500,000 Gallon High Tank, Hillside-Berkeley Water Commission: Project Manager for repainting of Hillside-Berkeley Water Commission's 500,000 gallon high tank located in Bellwood. Duties included review of tank condition report, field reconnaissance of tank, preparation of contract documents, bidding services and coordination of construction observation and third party inspectors. The tank is on a relatively small site and adjacent to residential areas. Communications equipment was removed from the tank and temporary communications equipment was utilized by the communications vendors during construction. Containment was provided. The tank has a cathodic protection system installed.

City Acres 1,250,000 Gallon High Tank, Plano: Project Manager for planning and design of a new high tank. Tank was designed to provide service for Lakewood Homes City Acres Subdivision. Design was coordinated with the Village and their consulting engineer. Services also included shop drawing review during the construction phase.

East Main Pump Station, Lake County Public Works Department: Project manager for the \$2.3 million rehabilitation Lake County's Regional East Main Pump Station originally placed in service in 1980. The East Main Pump Station has an average daily flow of 4 million gallons

YEARS EXPERIENCE: 43
YEARS WITH CBBEL: 23

EDUCATION
Bachelor of Science, 1975
Civil Engineering
University of Illinois at
Urbana-Champaign

PROFESSIONAL REGISTRATION
Professional Engineer, IL,
062.038850, 1979

PROFESSIONAL DEVELOPMENT
Ethics in City Government,
Ethics Training for
CDA/OMP Contractors,
Vendors and Employees

PROFESSIONAL AFFILIATIONS
American Water Works
Association (AWWA)



per day (MGD) with peak flow rates over 20 MGD. The pre-improvement station was a wet well / dry well station with four 100 horsepower pumps with two mechanical bar screens prior to the renovation. The project included replacing 2 of the vertical style non-clog pumps with 125 horsepower submersible style pumps that will allow the station to continue operations should the dry well ever flood in the future. The mechanical bar screens were replaced with mechanical shredders, thereby eliminating disposal of the screenings and significantly reducing odors and gasses created in the screen room, which are treated by an existing forced air carbon scrubber. Two new stainless steel slide gates and new stainless steel grates and plates were added to the screen channels. The 1200 amp main electrical service entrances (2 ComEd feeds) were replaced with new switchgear which includes an automatic transfer switch between the ComEd feeds. A Kirk key operated generator receptacle was added to allow the County to power the station with one of two 500 KW generators they maintain in their fleet. New variable frequency drives (VFD's) were added for each pump and the existing cone valves were modified to utilize individual REXA hydraulic units in lieu of the original Parco compressed air/hydraulic system. New PLC based controls and new level and flow instrumentation were included as well as new station LED lighting, a fresh coat of paint and new TPO roof. CBBEL worked with the Contractor and the County to implement the improvements with utilizing handful of limited duration shutdowns and staged construction rather than the originally planned 6 week full station by-pass pumping period.

Lift Station No. 1 Rehabilitation, Crystal Lake: Project manager for the rehabilitation of Crystal Lake's Lift Station No. 1. The pre-improvement lift station was a wet well / dry well type station with older Gorman Rupp pumps in a tube access dry pit. The \$525,000 improvements included installing new submersible pumps in the existing wet well with new valve vault and piping to connect to the station's existing forcemain. The pumps were 2,000 gpm, 35 horsepower. New PLC based controls and instrumentation were housed in and a new stainless steel control cabinet. Variable frequency drives were included for the pumps. A new 100 KW natural gas generator in a weather enclosure was included to replace the existing generator that was housed in a "shed" in the front parkway of the office building on the adjacent site (the lift station is on ROW and easements on the office property). The wet well was coated during the by-pass pumping operations to reduce existing I/I to the wet well. The landscaping, new layout of the control panel and generator and demolition of the "shed" greatly enhanced the aesthetics of the property. The project required IDNR flood plain and IEPA construction permitting.

Raupp Lift Station Rehabilitation, Buffalo Grove: Project manager for the Raupp Lift Station rehabilitation project. The Raupp Lift Station is a Smith Loveless wet pit / dry pit lift station with two 50 horsepower pumps. The pump station dates from the 1970's and many components were past their useful life. The Village operates the Raupp Lift Station under an MWRDGC permit and wanted to keep the existing pumps to simplify the permitting process with MWRD. The \$313,000 rehabilitation included new valves, control panel, generator to update the station. New controls and instrumentation were included using PLC based controls. By-pass pumping was performed during

construction of the improvements. The improvements also included new electrical service from the existing transformers for the station. The station was linked to the Village's existing SCADA system through Comcast interface. The station is located on the banks of Buffalo Creek and adjacent to Park District property.

Old Treatment Plant and Cambridge on the Lake Lift Station Rehabilitation, Buffalo Grove: Project Manager for a \$400,000 rehabilitation project for 2 Smith Loveless wet well / dry well lift stations dating from the 1970's in Buffalo Grove. The Village operates these lift station under MWRDGC permits and wanted to keep the existing pumps to simplify the permitting process with MWRD. The design of the proposed improvements was prepared by another consultant and the project was funded through an IEPA SRF loan. The project required getting approvals needed from IEPA for the loan, bidding and construction observation. The improvements consisted of new stainless steel control panels with PLC based controls and communication interlinks with the Village's existing SCADA system. New generators were included along with new valves. By-pass pumping was required during construction.

Arlington Club Forcemain, Wheeling: Project manager for the design and construction engineering for a \$760,000 replacement of a 3,000 foot long forcemain servicing the Arlington Club subdivision in Wheeling. The alignment traversed a quiet residential area with mature landscaping, ran parallel to Dundee Road in the ROW parkway occupied with multiple existing utilities, and required crossing Dundee Road at a signalized intersection close by two schools. Directional drilling installation method was selected to minimize impacts to existing utilities, minimize traffic disruption, allow latitude for installation parallel to existing utilities, and minimize disturbance to existing trees and landscaping. The hydraulics of the HDPE pipe material was analyzed to assure that the existing lift station pumps would operate acceptably with the new smoother pipe material. The design included preparing a detailed maintenance of traffic plan. Permitting was required for Cook County DOT, IDOT (crossing), IDOT parallel to pavement, and from MWRDGC. The project was coordinated to have the signalized construction work installed during summer session to minimize impact to the schools.

Metra Tower B-17 Lift Station, Bensenville: Project manager for a lift station to provide sanitary service for a single bathroom for the Metra Tower B-17. Some of the unique challenges for this project included that it is part of the O'Hare Modernization Program and underwent the same review procedures and process as multi-million dollar Modernization projects. The project had multiple multi-party reviews. Other unique aspects included addressing the very small sanitary flow that had to be conveyed through 600-feet of forcemain on or parallel to two different railroad right-of-way's that merge at the Tower location. Grinder pumps were utilized and forcemain cleaning velocities were provided in the small diameter forcemain which was also provided with cleanout stations to address the design constraints and maintenance concerns. Permitting was coordinated with two railroads and the Village of Bensenville, who receives the sanitary flow from the Metra Tower.



Midlothian Corridor Sanitary Sewer, Hawthorn Woods:

Planning and design of new arterial sewer facilities to provide wastewater service to unsewered areas. The new facilities are tributary to an adjacent municipal system and a County managed regional wastewater treatment plant. An FPA change was processed for the service area. Funding was through the formation of a SSA. Design included upgrades to receiving municipal system and new facilities for Village system. The \$3 million project included 3 lift stations, forcemains, and gravity sewers.

Northwest Interceptor Sewer Facility Plan, Lake County

Public Works Department: Prepared a facilities plan for a 30 year old regional interceptor sewer serving 6 communities and 3 sewer districts in Northwest Lake County. The system historically experiences high peak flows during wet weather events. Study included evaluating and modeling the existing sewer facilities, projecting flows for a 20-year planning period and evaluating alternatives to provide for projected flow requirements. Project included participation in coordination meetings with representatives from the regional treatment plant and the member communities.

South Booster Station and Transmission Main, Lombard:

Project Manager overseeing the design of a \$2.5 million new inter-zone pumping station and transmission main. Pump station featured 3 split case pumps at 60 horsepower, emergency generator and full incorporation into the Village's SCADA system. A pressure reducing station was also built to allow flow in either direction between the Village's pressure zones. The pump station building was designed and constructed to blend in with the adjacent property by providing the building with an exterior façade similar to the school next door. Project included design of nearly 4,000' of 20" water transmission main. After completion of a detailed alignment study, an alignment was selected under the pavement of a high traffic, 4 lane County highway. Traffic control and final alignment selection were closely coordinated with the Village and the County.

Facilities Planning Area Amendment, Minooka:

Oversaw the preparation of a Facilities Plan and a FPA Amendment Application for the successful addition of 10,000 acres to Minooka's Facility Planning Area. The initial phase was the preparation of a Facilities Plan showing how the amendment would be provided with sanitary service. Flows were projected for a 20 year planning period and alternatives were evaluated for arterial interceptor sewers and treatment facilities. After completion, FPA Amendment Application for the 10,000 acre area was prepared for submittal and review at NIPC and IEPA. Work included coordinating with NIPC staff and preparing presentations for public hearings held as part of the application process. The Village was successful in adding the entire requested amendment area to its FPA.

Water Transmission Main Project, Hillside Berkeley Water

Commission: Project Manager overseeing the design of new water transmission mains. Over 20,000' of new 16" water transmission mains were designed to replace and upsized the Commission's aging transmission mains that provide drinking water for the Villages of Hillside and Berkeley. Recent higher occurrences of breaks on the 50 year old mains coupled with re-development potential for higher water demand were major

driving factors leading to replacing the transmission mains. The alignment of the mains is almost entirely on the Village of Bellwood's public ROW. Selection of alignment was closely coordinated with Bellwood to use streets scheduled for roadway improvements, streets with minimal utility conflicts and streets with low impact on Bellwood's residents. The \$5 million project nearly doubled the Commission's flow conveyance capacity without modifying the existing pumping facilities and at the same time reduced electrical consumption.

Water Rate Study, Forest Park: Conducted a Water System Review Study with recommendations for planning capital improvements. Prepared opinions of cost for the recommended improvements. Reviewed Village's current Water Fund and Water Rates. Prepared projections for water consumption and water system expenditures. Water Rate Spreadsheet provided input parameters to allow the Village to review future expenditures related to proposed capital improvements and effect on Water Fund. Spreadsheet also allowed the Village to input rate increases to determine the rates needed to fund various levels of capital improvements.

Eisenhower Lane Reservoir Facility, Lombard: Prepared preliminary design for 2 million gallon cast-in-place water storage reservoir, pump station and DuPage Water Commission Receiving Metering Station. Summarized preliminary design in report including station layout and identification of major equipment needed for facility. Prepared a preliminary opinion of cost.

Selbourne Road Sewer Lining, Riverside: Oversaw preparation of construction documents for approx. 1,000' of sewer lining in residential area. Design included addressing a point repair under a 36" diameter tree and near 2 sewer laterals.

Northeastern Illinois Planning Commission Application,

New Lenox: Oversaw the preparation of a NIPC application to add 3,400 acres of non-FPA land to the New Lenox FPA. Project required coordination with Village Staff and other Village consultants as well as attendance at a Public Hearing for FPA amendment application.

Portwine Road Lift Station, Lake County: Performed an engineering study to determine low capital cost improvements to increase the capacity. Study included investigating the feasibility of using an abandoned sewer as a conduit for a new 11,000' long forcemain. Additional assignments included reviewing corrosive conditions found on a 20 year-old ductile iron forcemain.

Wastewater Planning, Hawthorn Woods: Conducted a study to determine means of connecting development property to an adjacent municipal system. Participated in engineering and administrative meetings needed to establish agreements and details of connection point to establish service. Performed engineering review of a Wastewater Spray Irrigation System provided to serve a golf course community as well as adjacent future development areas of the Village. Was an active participant in establishing the service area for the Wastewater Spray Irrigation System during the NIPC approval process. Reviewed recapture agreements for the Wastewater Spray Irrigation System as well as for the Potable Water System constructed by a large developer.



Potable Water Supply Facility, Hawthorn Woods: Planning, design and construction observation of a new water supply facility including two deep sandstone wells, cast-in-place concrete Ground Storage Reservoir, variable high service and fire flow pumping; hydropneumatic tank, ion exchange softening and automated supervisory controls. Project was done on an accelerated schedule with water available within 4 months of initial facility concept. Site and building aesthetics also played a key role because the facility is at a marquis park-like intersection. Aesthetics were addressed through coordination with Engineer, Village Architect and Village Planner by locating utilitarian facilities below grade with a small stone cottage structure above grade.

DuPage County Rate Study: Project Manager overseeing the preparation of a User Charge Rate Study Report for the DuPage County Public Works Department Water and Wastewater Systems. The study reviewed and made recommendations for user rates for DCPWC county wide potable water and wastewater service areas.

Woodridge Green Valley (WWTP), DuPage County: Designed a 30 MGD excess flow clarifier for the WWTP. The clarifier is 150' in diameter with a 15 1/2' wall height. Design provided for the use of the clarifier as an equalization tank during non-excess flow periods. Provided construction observation services during construction of the clarifier. Construction is complete and the facility is in operation.

Water System Evaluation Study, Hillside-Berkeley Water Commission: Conducted a water system evaluation study to review pumping performance and winter operating characteristics for the Commission's potable water facilities. The facilities include a 4.4 MG ground storage facility, a 3 MGD pumping station, a 500,000 gallon elevated tank and water transmission mains. The evaluation included pipe distribution system modeling. Much of the original construction dates back to the 1950's.

Pump Modifications, Hillside-Berkeley Water Commission: Design and construction observation of a Pump Modifications project that upsized pump horsepower and flow capacity. Project included adding Variable Frequency Drives. The Pump Station maintained in-service throughout the construction of the improvements. Construction is complete and the station is in operation.

Pump Gallery Piping Improvement, Hillside-Berkeley Water Commission: Design and construction observation. Undersized and out of date piping, valve headers, and manifolds were upsized and modernized. Pump Station maintained in-service throughout construction phase with 3 out of 4 pumps always available. Construction is complete and the station is in operation.

Potable Water Facilities Capital Improvement Master Plan, Riverside: Updated a Master Plan for Village Potable Water Facilities Capital Improvement Program. Assignment included reviewing and incorporating components of earlier plans and reports prepared by previous Village consultants with the objective of not duplicating work already performed and established. Planning work included making recommendations for rehabilitating a central pump station and decommissioning other out of date facilities. Recommended improvements also

included new electrical service and distribution facilities for the Village's downtown campus area containing a national historical landmark structure. Distribution system modeling was performed and used for evaluating the pump station's performance & establishing a water main replacement program.

63 Pine Pump Station and Reservoir Rehabilitation, Riverside: Performed design and construction observation of rehabilitation project. Design included upgrading the station pumping capacity, providing standby power and construction of a new pump building on top of an existing buried concrete reservoir. New pump building was designed to architecturally blend with the surrounding area. Design also included VFD's and sophisticated supervisory controls needed to allow the Village to convert from a floating overhead system to a closed system. Construction is complete and in operation.

Water and Wastewater Projects, Hawthorn Woods: Provided water and wastewater engineering associated with CBBEL being the Village Engineer. Duties included development plan reviews, Village representation at Public Hearings, and coordinating with potable water and wastewater providers serving the Village. Represented the Village at NIPC hearings that resulted in a support recommendation for creation of a Land Application Service Area overlying 4 FPA's existing within the Village.

Lift Stations, Lombard: Designed 4 new lift stations to replace 4 existing out of date lift stations. Each project was tight quartered and required special attention to constructability issues. The old stations were maintained in-service throughout the construction of the new stations. Project included linking each station to the Village's sophisticated SCADA system. The stations are built and are in operation.

Milwaukee Avenue Lift Station, Lake County: Final design and construction observation for modifications. Project entailed the addition of a new wet well and a 3,000 gallon per minute pump station adjacent to an existing lift station. The facility is deep, in excess of 37', and in poor soils. Site is tight quartered constricted by a 5-lane IDOT highway, heavy concentrations of utilities, new construction of adjacent site development and the existing lift station. The station houses two variable speed, 150 horsepower, submersible sewage pumps. Included in the project is over 2,000' of 16" forcemain.

Delivery Structure and Water Transmission Main, Lake County: Final Design and Construction Observation of Central Lake County Joint Action Water Agency Delivery Structure and Water Transmission Mains. Project included the design of a new Delivery Structure and approx. 3,000' of 20" diameter transmission main. The main is routed along private property in easements, under two railroads, along a county highway and through congested Village Streets.

Wastewater System Evaluation Study and Report: Performed data collection and evaluation of wastewater facilities for a private residential and commercial development. Report addressed design, current build-out and available capacity for the wastewater collection system, 2 lift stations and spray irrigation systems. The report also contained evaluation of the system performance and operating characteristics.



KENNETH RASMUSSEN, PLS, CFEDS
Assistant Department Head, Surveying

Professional Land Surveyor responsible for performing Professional Land Surveying Services for a variety of governmental, private and public agencies. Duties include preparation and certifying various types of survey plats, property line research and determination, writing of Legal Descriptions on various projects. Also prepares ALTA/NSPS surveys, Route Surveys, existing conditions surveys, and Plat of Highways.

YEARS EXPERIENCE: 38
YEARS WITH CBEBL: 22

EDUCATION
Surveying Program (1991-1993)
Purdue-Calumet

PLAT OF HIGHWAYS

I-90 (Elgin Tollbooth to IL Route 20), Illinois Tollway: Assistant Survey Manager for design and roadway reconstruction. Existing roadway was widened both east and west bound directions. Surveying responsibilities included creation of a signed and sealed "Plat of Highway" for acquisition of ROW and easements along project corridor per Tollway/IDOT Standards. Required document research for reestablishment of ROW lines, parcel lines and section lines, and coordination of field crews for field survey and recon to obtain existing field evidence of existing boundary lines and ROW; calculation and analysis of data to determine existing boundaries and ROW; and coordination of drafting of the "Plat of Highway" along with writing of legal descriptions for various easements to be acquired. Along with an Existing Conditions survey of project corridor, including stream surveys and cross sections every 100'.

Surveying Program (1983-1984 & 1988-1989) Palm Beach Community College

Moraine Valley Community College

PROFESSIONAL REGISTRATION
Professional Land Surveyor, IL,
035.003240, 1998
Professional Land Surveyor, WI,
2289-8, 1995

I-294, Balmoral Off Ramp, Rosemont, Illinois Tollway: Assistant Survey Manager for design and roadway construction. New ramp is NB only exit ramp leading into Rosemont. Surveying responsibilities included creation of signed and sealed "Plats of Acquisitions" for acquisition of ROW and easements along project corridor per IDOT Standards. Required document research for reestablishment of ROW lines, parcel lines and section lines, and coordination of field crews for field survey and recon to obtain existing field evidence of existing boundary lines and ROW; calculation and analysis of data to determine existing boundaries and ROW; and coordination of drafting "Plat of Highway" along with writing of legal descriptions for various easements to be acquired. Also the field surveying of an Existing Conditions survey of project corridor.

CERTIFICATIONS
Certified Federal Surveyor
(CFedS) Federal, 1388, 2010

PROFESSIONAL AFFILIATIONS
Illinois Professional Land Surveyors Association

Wisconsin Society of Land Surveyors

Austin Avenue, Morton Grove: Assistant Survey Manager. Responsibilities included reestablishing existing ROW based on monumentation found in the field, plats of highways, subdivision plats and any other available information; field location of all existing conditions, office processing of collected data, and drafting and review of final Design Survey. Prepared and completed Plat of Highway and Legal Descriptions (IDOT standards) for approx. 1/2 mile length for acquisition of land for additional ROW and easements. Effecting 6 large parcels of land adjoining the project.

Roosevelt Road Streetscape, Forest Park: Assistant Survey Manager. Responsibilities included reestablishing existing ROW based on monumentation found in the field, plats of highways, subdivision plats and any other available information; field location of all existing conditions, office processing of collected data, and drafting and review of final Design Survey. Prepared and completed Plat of Highway and Legal Descriptions (IDOT standards) for approx. 3/4 mile length for acquisition of land for additional ROW and easements. Effecting 3 large parcels of land adjoining the project.

Fabyan Parkway and Kirk Road, KDOT: Assistant Survey Manager for design and roadway reconstruction of intersection. Responsibilities included reestablishing existing ROW based on monumentation found in the field, plats of highways, subdivision plats and any other available information; field location of all existing conditions, office processing of collected data, and drafting and review of final Design Survey. Prepared and completed Plat of Highway and Legal Descriptions (IDOT standards) for approx. 2 miles total length for acquisition of land for additional ROW and easements. Effecting 13 parcels of land adjoining the project.

Roosevelt Road and Fabyan Parkway, DCDOT: Assistant Survey Manager for design and roadway reconstruction of intersection. Responsibilities included reestablishing existing ROW based on monumentation found in the field, plats of highways, subdivision plats and any other available information; field location of all existing conditions, office processing of collected data, and drafting and review of final Design Survey. Prepared and completed Plat of Highway and Legal Descriptions (IDOT standards) for approx. 2 miles total length for acquisition of land for additional ROW and easements. Effecting 12 parcels of land adjoining the project.

Peterson Road, LCDOT: Performed research, computations, analyses of documents and existing monumentation and coordinate field reconnaissance for preparation of "Plat of



Highway" for various ROW acquisitions and easements, along with writing of legal descriptions for proposed acquisitions and easements. Project length approx. 1.5 miles.

153rd Street, Orland Park, CCHD: Performed research, computations, analyses of documents & existing monumentation and coordinate field reconnaissance for preparation of "Plat of Highway" for various ROW acquisitions and easements, along with writing of legal descriptions for proposed acquisitions and easements. Project length approx. 1.5 miles.

155th Street, WCDOT: Performed research, computations, analyses of documents and existing monumentation and coordinate field reconnaissance for preparation of "Plat of Highway" for various ROW acquisitions and easements, along with writing of legal descriptions for proposed acquisitions and easements. Project length approx. 2.75 miles.

151st Street, Orland Park, IDOT: Performed research, computations, analyses of documents and existing monumentation and coordinate field reconnaissance for preparation of "Plat of Highway" for various ROW acquisitions & easements, along with writing of legal descriptions for proposed acquisitions and easements. Project length approx. 1 mile.

Green Bay and Wadsworth Road, Beach Park, LCDOT/IDOT: Performed research, computations, analyses of documents and existing monumentation and coordinate field reconnaissance for preparation of "Plat of Highway" for various ROW acquisitions & easements, along with writing of legal descriptions for proposed acquisitions and easements. Project length approx. 1.5 miles.

Big Timber Road, Elgin, KDOT: Performed research, computations, analyses of documents and existing monumentation and coordinate field reconnaissance for preparation of "Plat of Highway" for various ROW acquisitions & easements, along with writing of legal descriptions for proposed acquisitions and easements. Project length approx. 1 mile.

Hawthorn Lane, West Chicago, IDOT: Performed research, computations, analyses of documents and existing monumentation and coordinate field reconnaissance for preparation of "Plat of Highway" for various ROW acquisitions & easements, along with writing of legal descriptions for proposed acquisitions and easements. Project length approx. 2.5 miles.

IL Route 60 and Saunders Road, Lake Forest, IDOT: Performed research, computations, analyses and coordinate field work for preparation of "Plat of Highway" for various ROW takes and easements, along with writing the legal descriptions for said ROW takes and easements. Project length approx. 0.5 miles.

Golf Road, Rolling Meadows, IDOT: Established horizontal and vertical control for Phase I roadway design. Also established existing ROW for purposes of land acquisitions and preparation of a "Plat of Highway" suitable for submittal to IDOT. Project length of approx. 0.75 miles.

Highland Avenue, Lombard, IDOT: Performed research, computations, analyses and coordinate field work for preparation of "Plat of Highway" for various ROW takes & easements, along with writing legal descriptions for said ROW takes and easements.

Plum Grove Road, Rolling Meadows, IDOT: Performed research, computations, analyses and coordinated field work for preparation of "Plat of Highway" for various ROW takes and easements, along with writing the legal descriptions for said ROW takes and easements.

Willow Road, Northfield, IDOT: Performed research, computations, analyses and coordinated field work for preparation of "Plat of Highway" for various ROW takes and easements, along with writing the legal descriptions for said ROW takes and easements. Project length approx. 1.5 miles.

Butterfield Road North, Libertyville, LCDOT: Established horizontal and vertical control for Phase I design. Also established existing ROW for purposes of land acquisition and preparation of plats and legals for individual parcels. Project length of approx. 1.5 miles.

ALTA/NSPS LAND TITLE SURVEYS

U.S. Tobacco, Franklin Park: Performed client coordination, document research at recorder's office, onsite boundary reconnaissance, boundary analysis, computations, title report review, final preparation and final review of ALTA/NSPS survey for the 20-acre manufacturing plant site.

DuPage Technical Center, West Chicago: Performed client coordination, document research at recorder's office, onsite boundary reconnaissance, boundary analysis, computations, title report review, final preparation and final review of ALTA/NSPS survey for the 800-acre site. Also prepared various Dedication, Easement and Assessment plats for the technical center development.

Metropolitan Water Reclamation District, Bellwood: Performed client coordination, document research at recorder's office, onsite boundary reconnaissance, boundary analysis, computations, title report review, final preparation and final review of ALTA/NSPS survey for the 21-acre future Addison Creek Reservoir site.

Multiple Commercial Sites, West Chicago and McHenry: Performed client coordination, document research at recorder's office, onsite boundary reconnaissance, boundary analysis, computations, title report review, final preparation and final review of ALTA/NSPS survey for two 10-acre sites.

Hyatt Hotels, Lisle, Deerfield, and Rosemont: Performed research, onsite boundary reconnaissance, boundary analysis, computations, review and final preparation of survey for 3 different Hyatt properties in the Chicagoland area.

City Hall Campus, West Chicago: Performed research, boundary analysis, computations, review and final preparation of survey for a 14-acre site for City's future City Hall Campus site.

Emmett Bean Center, Indianapolis, IN: Performed research, onsite boundary reconnaissance, boundary analysis and computations for a 73.3 acre site on US Department of Defense's Financial Building.



Village of Huntley: Performed research, computations, boundary analysis, client coordination, title review, final review and submittal of plat to meet national standards for the Downtown Redevelopment Project.

Village of Algonquin: Performed research, computations, boundary analysis, client coordination, title review, final review and submittal of plat to meet national standards for various sites within Village.

BOUNDARY SURVEYS

Illinois High Speed Railroad, Union Pacific Railroad: Assistant Survey Manager for parcel acquisition surveys. Responsibilities included: conducting research at Logan, McLean, Livingston, Grundy, and Will County Recorder's Offices and at other various public agencies to obtain recorded and unrecorded documents for reestablishment of ROW lines, parcel lines and section lines along the project corridor. CBBEL also coordinated field crews for field survey and recon to obtain existing field evidence of existing ROW and boundary lines calculations and analysis of researched documents and collected field data to determine existing boundaries and ROW lines. Prepared various "Parcel Plats", "Easement Plats" and "Right-of-Way Plats" along with legal descriptions for various proposed ROW and easement acquisition parcels. The areas covered by CBBEL were Tier 3, Tier 4, Tier 6, Tier 7 (Wilmington), and Tier 8.

Metropolitan Water Reclamation District, Bellwood: Performed client coordination, document research at recorder's office, onsite boundary reconnaissance, boundary analysis, computations, title report review, final preparation and final review of 5 proposed easement acquisition parcels for proposed improvements of Addison Creek.

Lake County Campus, Libertyville: Worked extensively on research onsite field investigation, computations, analyses and legal descriptions for 150 acre site.

Westgate Redevelopment, Schiller Park: Worked extensively on research, computations and analyses of boundary determination and prepared legal descriptions for 15 acre redevelopment site.

Calumet Sag, Palos Park: Coordinated, researched, analyzed, and computed a boundary survey for 163 acres of land owned by MWRDGC for Plat of Survey of total holdings for future easements and park site lease agreements.

Stearns Road, KDOT: Established first order vertical control for route survey through 6 miles of land, along with a dependent resurvey of 6 sections encompassing the route survey, which included extensive research, evidence evaluation and monumentation of all obliterated corners, which were documented and recorded at County's Recorder's office.

Dellwood Park West, Plat of Survey, Lockport Park District: Worked extensively on research, computations, analyses, State Plane Coordinate System Control by GPS applications and overseeing field boundary survey for 156 acre parcel along Illinois & Michigan canal for future recreational park.

PLATS OF EASEMENT, DEDICATIONS, SUBDIVISIONS, VACATIONS, ETC.

Preparation of various Plats Exhibits and Legal Descriptions at Quality Standard to meet the client's need for a specific project.

- Village of Algonquin
- City of Crest Hill
- DuPage Airport Authority
- City of Elgin
- City of Elmhurst
- Village of Hawthorn Woods
- Village of Homer Glen
- Village of Huntley
- Village of Justice
- City of Lake Forest
- Village of Lombard
- Village of Niles
- Village of Northbrook
- Village of Northfield
- City of Northlake
- City of Oakbrook Terrace
- City of Palos Hills
- City of Rolling Meadows
- Village of Rosemont
- Village of Skokie

PROFESSIONAL DEVELOPMENT

Wisconsin Surveyor's Institute (Various Seminars)

ACSM Conference (Various Seminars)

ALTA Surveys

Subdivision of Sections

Construction Layout

Subdivision of Fractional Sections

Lost and Obliterated Corners

NGS Global System Positioning

Property Boundaries and Easements

Professional Surveyors Liability

Training by Lieca on GPS Systems

Illinois Land Surveyor Conference (Various Seminars)

Training by GeoPak on GeoPak Survey Software

Evidence and Courtroom Procedures for Surveyors

Understanding and Working with the Priority of Calls in the Law and Surveying

Ethics for the Illinois Professional Land Surveyor

Illinois State Statutes for the Illinois Profession Land Surveyor

Advanced Cadastral Academy

Railroads and the Surveyor

Land Acquisition and Surveys (IDOT)

Cadastral Division of Bureau of Land Management

Certified Federal Surveying Training Program

Hillstrom 180 IBLA 388

Manual of Survey Instructions



MAJID MOBASSERI, PHD, PE, SE
Head, Structural Engineering Department

Head of Structural Engineering responsible for the study, design, and generation of construction contract documents for structural systems employed in buildings, industrial facilities and bridges serving highway traffic. Experience includes planning and concept design, bridge type/size/location studies, structural inspections, structural ratings, rehabilitation and renovation studies, final designs and the production of plans, specifications and estimates, and construction inspection. IDOT Approved Bridge Program Manager for 13 municipalities.

Balmoral Avenue Underpass, IDOT: Structural Project Manager responsible for the preparation of design plans for construction of a new underpass on new alignment. The underpass will carry traffic from SB Mannheim Rd (US 45) to Balmoral Ave. The project required extensive coordination with FAA as the underpass is located within the flight pattern of two runways that serve O'Hare Airport. Structural improvements included the construction of two new steel plate girder bridges (117' - single span) to carry Mannheim Rd over the underpass, approximately 300' of cantilevered soldier pile retaining walls, approx. 300' of tied back soldier pile retaining walls and approx. 375' of cantilevered concrete retaining walls. The retaining walls varied in height, with a maximum retained height of approx. 20'. The construction cost for this project was \$13.5 million.

Balmoral Avenue over I-294, Rosemont: Structural Project Manager. Project consisted of Phase II engineering and development of contract documents for construction of a NB exit ramp from I-294 to Balmoral Ave, reconstruction of the SB entrance ramp and widening of the Balmoral Bridge over I-294. The existing structure was a two span bridge with 102' and 119' spans. The superstructure consisted of 82'-0" deck supported on eleven 63" Bulb T-Beams. The proposed deck is 94'-7" providing five 12'-0" traffic lanes, 16'-0" median and 6'-7" sidewalk. The existing deck was partially removed and widened with three new beams. The substructure members were widened in kind and new retaining walls were constructed in front of the existing ones. This project is part of a larger series of improvements to Balmoral Ave to improve regional access to the Rosemont Convention Center area and O'Hare International Airport. Phase I investigated an ultimate extension of Balmoral Ave west to Bessie Coleman Drive on airport grounds, as well as the impact of future improvements by the Tollway at the major divergence of I-294 and I-190/I-90.

IL Route 53 West and East Frontage Roads, Rolling Meadows: Project Manager responsible for overseeing the design, developing construction plans, coordination with project architect, and QA/QC. The project consisted of the replacement of the existing bridge decks and complete substructure repairs as needed on IL Route 53 West and East Frontage Roads. CBBEL performed in depth field inspection and prepared BCRs for both structures. The BCRs revealed that the existing beams were in good condition and only deck slabs should be replaced. Also the NW wingwall of the abutment failed and was replaced. CBBEL completed the final plans and construction documents. Upon completion of the project the bridges were jurisdictionally transferred from IDOT to the City.

Huffman Street, Naperville: Structural Project Manager. Responsibilities included designing several large cast-in-place control structures and concrete end sections to connect approx. 1400 LF of dual precast box culverts. Plans, specifications, cost estimates and shop drawing review were included.

Naperville Riverwalk Renovation: Structural Project Manager. Project involved the design of several hundred feet of tiered retaining walls along the West Branch of the DuPage River in downtown Naperville. The existing walls were removed and replaced with cast in place concrete walls with an architectural facade to resemble natural stone. The improvements also included the design of stairs, an ADA compliant ramp, and a circular overlook area at the end of the newly designed park area.

Lincoln Park Zoo, Chicago: Structural Project Manager. The project scope included preparing design plans and specifications for the foundation of the proposed Educational Pavilion, Ticket Kiosk and bathroom. These foundations were built on grade. CBBEL provided design plans and specifications for the on grade boardwalk.

Washington Park, Downers Grove: Structural Project Manager. Project included several long walls to function and provide seating in the fields, stairways, floodwall, and foundation for other structures. The walls had a special form liner, selected by the Park District, to have esthetically pleasing look. Project required extensive coordination and special details because of its complicated geometry. CBBEL prepared plans, specifications, and cost estimate.

YEARS EXPERIENCE: 35
YEARS WITH CBBEL: 13

EDUCATION
Doctor of Philosophy, 1986
Structural Engineering
University of Texas at Austin

Master of Science, 1981
Structural Engineering
Washington State University

Bachelor of Science, 1978
Structural Engineering
Arya-Mehr Univ., Tehran, Iran

PROFESSIONAL REGISTRATION
Structural Engineer, IL,
081.005058, 1993
Structural Engineer, MA,
35841, 1990
Professional Engineer, IL,
062.047793, 1992
Professional Engineer, IN,
PE10101277, 2001

CERTIFICATIONS
IDOT Approved Bridge
Program Manager, ID: 00302;
National Bridge Inspection
Standards (NBIS) Qualified

PROFESSIONAL AFFILIATIONS
American Concrete Institute

American Railway Engineering
and Maintenance-of-Way
Association (AREMA)

American Society of
Civil Engineers

Earthquake Engineers
Research Institute



Mainline Roadway Widening & Reconstruction of

Northbound Tri-State Tollway: Project Manager responsible for overseeing the design, developing construction plans, coordination with Lorig Construction, and QA/QC. CBBEL was responsible for developing design plans and specifications of retaining walls. Tollway was adding a lane of traffic and a shoulder to northbound of I-294 from north of Touhy Ave up to Dempster St and there was not enough ROW to support the roadway embankment widening. Therefore the only option to support the new roadway lane and shoulder was retaining walls. The scope included developing design plans and details for 5 different retaining walls with moment slab and parapet or coping along the project limits.

33rd Street Viaduct over I-90/94, Chicago: Structural Project Manager. Completed shop drawing review for the removal and replacement of the existing seven-span bridge with five continuous steel spans and two simply supported concrete T beams and replacement with galvanized composite steel beams, substructure repairs, full replacement of two piers caps and partial replacement of four others, building new approach slabs, milling and resurfacing of the approach roadway, traffic signal modernization, and deck and underpass lighting.

Donald E. Stephens Convention Center East Parking Garage, Rosemont: Structural Project Manager. Performed inspections and prepared repair plans with specifications for a four story single helix, two way precast parking garage. Inspections included chain dragging the garage decks and hammer sounding accessible areas of the precast triple tee beams, ledger beams and columns to document areas of deteriorated. Repair plans included installation of a waterproof membrane system, joint repairs and replacement of several precast tee beams with cast in place concrete supported by steel beams.

Aloft Hotel Pedestrian Walkway, Rosemont: Structural Project Manager. Prepared structural plans and specifications for the 170' long elevated pedestrian walkway over Purdue Drive in Rosemont's Entertainment District. The glass enclosed steel truss walkway connects the 2nd floor of Aloft Hotel to the south stairway of the Williams Street parking garage. The structural design was coordinated with the architectural features of the hotel and garage.

BRIDGES**Timber Edge Drive Bridge over Salt Creek, Oakbrook**

Terrace: Structural Engineer responsible for overseeing the structural design. The proposed bridge is a 156' long, three span continuous composite wide flange stringer superstructure supported on solid web piers and integral abutments. The overall deck width is 35'-2", which provides two 12' lanes, two 4' shoulders and two F-shaped concrete parapets. Responsibilities include design of the bridge superstructure and substructure, preparation of cost estimates, special provisions and structural steel shop drawing review.

Pedestrian Bridges: Project Manager responsible for overseeing the design, developing construction plans, QA/QC, and coordination with civil engineer. CBBEL has designed several pedestrian bridges for different municipalities, park districts, golf courses, and counties. The span length of the bridges range from 40' to 120' and their width varies from 10' to

16'. The pedestrian bridges are typically designed for 85 psf live load plus a maintenance vehicle of 12,000 lb, but some agencies require bridges to be designed for a heavier vehicle of 20,000 lb.

Parapet Mounted Noise Abatement Walls along I-294: Project Manager responsible for overseeing the design, developing construction plans, coordination with Lorig Construction, and QA/QC. A section of I-294 NB at the ramp to W Dempster St required noise abatement walls. The roadway shoulder at this section consisted of moment slab with type F parapet, supported by modular block walls. The timber noise abatement walls had to be supported by the parapet. The wall is approx. 350' long, 18' high and designed for a minimum 35psf wind load. The 3" timber panel panels, between the columns, are supported by steel WF columns. CBBEL designed all the panels, columns, and the connection of steel columns to concrete parapets. CBBEL provided design plans, specifications, and structural calculations.

Main Street Triangle, Orland Park: Project Manager responsible for overseeing the design, developing construction plans, coordination with LR Development Co, and QA/QC. CBBEL prepared all the design plans, specifications, and estimates. LR Development was considering building a large commercial and residential development at NW corner of 143rd St and LaGrange Rd. The site required a large detention pond at the northern part of development bound between the Southwest RR and LaGrange Rd. The pond had to be enclosed by tall retaining walls. The proposed retaining wall on the west side was retaining the railroad embankment, on the south the proposed structures, and on the east side along the LaGrange Rd acting as a class 3 dam. The exposed height of the walls varied from 7'-14'. Soil investigation indicated that underlying soil consisted of very poor organic material. After considering different retaining wall options, a typical cantilever retaining wall supported by two rows of battered piles was the most feasible option for the west and south walls. The east wall along the LaGrange Rd was soldier pile wall with cast in place concrete facing. The project architect required special formliner patterns on each walls and on both faces of the east wall. Special precast water fountains were attached to the top of west wall.

Stone Bridge Retaining Walls, Lake Bluff: Project Manager responsible for overseeing the design, developing construction plans, coordination with project architect, and QA/QC. New England Builder was developing a site for new housing community. There were several ponds along the proposed roadways retaining walls required to support roadway embankments. Each retaining wall was approx. 55-65' and the height of walls varied from approx. 8' to 18'. There are 3'-1" parapets mounted at the top of the walls and an over look area cantilevered out in the middle of walls. The face of the walls had natural stone veneer supported by the walls and special formliner to give impression of a tunnel. The walls had to be water tight to reduce any possible water loss of the pond. Geotechnical investigation revealed that the underlying soil was very poor material. Shear keys were designed to provide minimum required sliding safety factors. CBBEL provided design plans, specification for the project.



Vale at Flagg Creek Bridge, Willow Springs: Project Manager responsible for overseeing the design, developing construction plans, coordination with Vale Homes LLC, and QA/QC. CBBEL provided design plans, specifications, and cost estimate for widening the existing bridge. The existing bridge was a two span deck bridge, each 45'-0" span, the existing superstructure was narrow and provided only one lane of traffic roadway, and substructure consisted of two pile bent abutments and a pile cap pier supported by concrete piles. Soil investigation indicated that natural bedrock elevation was close to bottom of river bed. The substructure was widened and supported by new H piles. The new deck provided two lanes of traffic with custom made railing and architectural masonry light pole pedestals were built at each corner of the pier and abutments.

DAM/SPILLWAY PROJECTS

Lake Edgewood Dam Rehabilitation Design, Lake Edgewood Conservancy District, IN: Structural Project Manager. Responsible for design, developing of structural plans, specifications, and cost estimate for a high hazard spillway. The Lake Edgewood Dam was originally designed in 1959 without a permit. Several attempts had been made to improve the spillway system and dam embankment, including significant repairs after a major June 2008 flood event; the repairs were considered a temporary measure that did not improve the deficient spillway capacity. In 2010 CBBEL designed a new labyrinth spillway that would improve the spillway capacity to safely pass 100% of the Probable Maximum Precipitation without overtopping the dam embankment. The final configuration project consisted of a reinforced concrete labyrinth weir and baffle apron chute spillway structure. The structure is approx. 70' wide and over 115' long, with 13' tall side retaining walls and an 8' tall weir.

Beaver Dam Rehabilitation Design, Jasper, IN: Structural Project Manager. Responsible for design, developing of structural plans, specifications, and cost estimate for the spillway. CBBEL prepared a Preliminary Engineering Report, design documents, acquire necessary permits from applicable government agencies, assist in grant acquisition, assist in bidding of project and observe construction activities. Part of the design included improving the capacity of the spillway. The final spillway configuration consisted of a reinforced concrete labyrinth weir and baffle apron chute spillway structure. The structure is approx. 80' wide and over 180' long, with 22' tall side retaining walls and a 12' tall. The baffle blocks at the downstream end of the structure were 6' tall.

Waterworks Reservoir #2 Dam Rehabilitation, Indiana American Water, Kokomo, IN: Structural Project Manager. Responsible for field inspection, developing repair plans, specifications, and cost estimate for repair an existing ogee spillway structure. The 500' long, 12- 14' tall ogee spillway was originally constructed in 1956 and is considered a high hazard dam. Field inspection showed that approx. 2,300 SF of the spillway as unsound and there were a few leaking cracks. CBBEL proposed shotcrete for concrete repairs between 3"-18" thick and chemical grout injection to seal existing cracks and joints with active water seeping through. The project included raising the southern portion of spillway to eliminate the installation of temporary flash boards on top of the weir.

PROFESSIONAL DEVELOPMENT

Bridge Inspection Calibration Class, IDOT

International Bridge Conference, Pittsburg, PA

- LRFD Design of Steel Girders
- LRFD Design of PPC Beams

IDOT, Springfield, IL

- Design and Construction of Segmental Concrete Bridges
- Design of Highway Bridges for Seismic Loads

Boston Society of Civil Engineers & ASCE, Continuing Education Program, Boston, MA

- Lecture Series on Composite Construction
- Selected Topics on Bridges

ASCE, Boston, MA

- Parking Structures Restoration and Rehabilitation

Post-Tensioning Institute, Minneapolis, MN

- Structural Design Fundamentals for Post-Tensioned Buildings and Parking Structures

Structural Stability Research Council, Milwaukee, WI

- Is Your Structure Suitable Braced?



ENGINEERING • CONSULTING • TESTING • TANK INSPECTIONS



**Nelson Tank Engineering
& Consulting, Inc.**

Keith Nelson
Phone: 517-321-1692
Fax: 517-321-4405

Professional Experience

Position: President January 1995 - Present

Nelson Tank Engineering & Consulting, Inc.

Lansing, Michigan 48906

Responsible for all business operations of consulting engineering firm specializing in industrial coatings, tank inspections and corrosion prevention. The services provided include structural evaluations, corrosion surveys, specifications, project management, resident inspection and cost estimating. Services are offered to Municipalities, Transportation Authorities, Industrial and Manufacturing plants, Developers and other Design Engineers.

Position: Vice President August 1992 - December 1994

Dixon Engineering, Inc.

Lake Odessa, Michigan 48849

Supervised operations and staff of 15-member consulting engineering firm that specialized in inspection and management of industrial coating projects for municipal and industrial clients. Prepared engineering and consultation proposals to existing and potential clients.

Position: Project Manager April 1989 - July 1992

Managed coating and weld inspectors for construction and industrial painting projects. Prepared technical specifications and contract documents for industrial coating projects. Prepared reports for structural evaluations of water storage tanks and corrosion surveys for water and waste water treatment plants.

Position: Staff Engineer March 1984 - March 1989

Provided resident inspection and supervised contractors on maintenance, painting and construction of water storage tanks. Prepared daily reports describing progress and compliance with contract documents. Assisted lead engineer during structural inspections and corrosion surveys.

Highlights

Performed over 500 structural, maintenance and warranty inspections of elevated and ground storage tanks ranging from 5000 to 10,000,000 gallons.

Project manager for over 400 construction, rehabilitation or lead abatement projects including tanks, clarifiers, bridges and miscellaneous steel structures.

Provided design consultation, specification and plan review for over 25 civil engineering design consultants for industrial coatings, tank construction and rehabilitation.

Education

B.S. - Michigan State University, East Lansing, MI

Date: March 1983

Major: Civil Engineering

Concentration: Structural Engineering, Hydraulics

Professional Affiliations

American Civil Engineering Council - Served on Michigan Financial Management Committee

Steel Structures Painting Council - Served on several surface preparation committees

American Water Works Association - Member of Michigan & Indiana Sections

Michigan Rural Water Association - Member of Michigan Section

National Association of Corrosion Engineers - Member

American Welding Society - Member

Licenses and Certificates:

PE Michigan

PE Indiana

PE Ohio

PE Illinois

PE Wisconsin

National Association of Corrosion Engineers: Coating Inspection Technician #12800

AWS Certified Weld Inspector #04040111

Ray Otberg
Phone: 517-321-1692
Fax: 517-321-4405

Professional Experience

Position: Inspection Division Manager October 2003 - Present

Nelson Tank Engineering & Consulting, Inc.

Lansing, Michigan 48906

Provide resident inspection on maintenance, painting and construction of water storage tanks. Prepared daily reports describing progress and compliance with contract documents. Resident inspection included full containment and lead abatement projects. Assisted lead engineer during structural inspections and corrosion surveys.

Performed testing that includes the following:

- Dry film thickness testing per SSPC-PA2
- Ambient air monitoring
- Low voltage holiday testing
- Surface preparation inspection to SSPC Standards
- Surface profile measurement

Assisted in preparation of engineering and consultation proposals to existing and potential clients. Prepared marketing materials and provided data entry to master files.

Highlights

Assisted on over 150 structural, maintenance and warranty inspections of elevated and ground storage tanks ranging from 5000 to 10,000,000 gallons.

Project Inspector for over 60 construction, rehabilitation or lead abatement projects including tanks, clarifiers, bridges and miscellaneous steel structures ranging from 5,000 to 2,000,000 gallons.

Organizations

National Association of Corrosion Engineers: Member

American Welding Society - Member

Certifications

National Association of Corrosion Engineers: Coating Inspection Technician #10325

Training

Confined space entry

Fall protection

Respirator protection

Hazard Communication

Steve Kwart
Phone: 517-321-1692
Fax: 517-321-4405

Professional Experience

Position: Inspector April 2009—Present

Nelson Tank Engineering & Consulting, Inc.

Lansing, Michigan 48906

Provide resident inspection on maintenance, painting and construction of water storage tanks. Prepared daily reports describing progress and compliance with contract documents. Assisted lead engineer during structural inspections and corrosion surveys.

Performed testing that includes the following:

- Dry film thickness testing per SSPC-PA2
- Ambient air monitoring
- Low voltage holiday testing
- Surface preparation inspection to SSPC Standards
- Surface profile measurement

Highlights

Project Inspector for total rehabilitation projects on elevated and ground storage tanks ranging from 100,000 to 1,000,000 gallons.

Certifications

National Association of Corrosion Engineers: Coating Inspection Technician #31700.

Training

Completed 80 hours of NTEC in-house training based on NACE instructional CD's

Confined space entry

Fall protection

Respirator protection

Hazard Communication

Jim Gardner
Phone: 517-321-1692
Fax: 517-321-4405

Professional Experience

Position: Inspector May 2012—Present

Nelson Tank Engineering & Consulting, Inc.

Lansing, Michigan 48906

Provide resident inspection on maintenance, painting and construction of water storage tanks. Prepared daily reports describing progress and compliance with contract documents. Assisted lead engineer during structural inspections and corrosion surveys.

Performed testing that includes the following:

- Dry film thickness testing per SSPC-PA2
- Ambient air monitoring
- Low voltage holiday testing
- Surface preparation inspection to SSPC Standards
- Surface profile measurement

Highlights

Project Inspector for total rehabilitation projects on elevated and ground storage tanks ranging from 100,000 to 1,000,000 gallons.

Training

Completed 80 hours of NTEC in-house training based on NACE instructional CD's

Confined space entry

Fall protection

Respirator protection

Hazard Communication

Matt Olberg
Phone: 517-321-1692
Fax: 517-321-4405

Professional Experience

Position: Inspector April 2015—Present

Nelson Tank Engineering & Consulting, Inc.

Lansing, Michigan 48906

Provide resident inspection on maintenance, painting and construction of water storage tanks. Prepared daily reports describing progress and compliance with contract documents. Assisted lead engineer during structural inspections and corrosion surveys.

Performed testing that includes the following:

- Dry film thickness testing per SSPC-PA2
- Ambient air monitoring
- Low voltage holiday testing
- Surface preparation inspection to SSPC Standards
- Surface profile measurement

Highlights

Project Inspector for total rehabilitation projects on elevated and ground storage tanks ranging from 100,000 to 1,000,000 gallons.

Training

Completed 80 hours of NTEC in-house training based on NACE instructional CD's

Confined space entry

Fall protection

Respirator protection

Hazard Communication

EXHIBIT A BASE PROPOSAL

Preliminary Information Gathering:	\$ <u>4,336</u> Dollars
Study and Report Phase:	\$ <u>6,432</u> Dollars
Preliminary Design Phase: (Hourly Rate – Please Provide Hourly Rate Cost Chart)	\$ <u>6,504</u> Dollars
Final Design Phase: (Hourly Rate – Please Provide Hourly Rate Cost Chart)	\$ <u>5,240</u> Dollars
Bidding and Negotiation Phase:	\$ <u>3,936</u> Dollars
Construction Services Phase: (Hourly Rate – Please Provide Hourly Rate Cost Chart)	\$ <u>20,792</u> Dollars
Contractors Completion Phase:	\$ <u>2,168</u> Dollars
Allowance for Authorized Services: (Assume 16 hours of senior level and 60 hours of junior level staff. Hours only utilized at City direction.)	\$ <u>9,568</u> Dollars
Presentation to City Council: (Assume 3 meetings at 3 hours/meeting)	\$ <u>1,467</u> Dollars
Total Base Proposal:	\$ <u>60,443</u> Dollars

CHRISTOPHER B. BURKE ENGINEERING, LTD.
STANDARD CHARGES FOR PROFESSIONAL SERVICES
JANUARY, 2019

<u>Personnel</u>	<u>Charges*</u> <u>(\$/Hr)</u>
Principal	265
Engineer VI	241
Engineer V	200
Engineer IV	163
Engineer III	146
Engineer I/II	116
Survey V	220
Survey IV	188
Survey III	165
Survey II	121
Survey I	96
Engineering Technician V	190
Engineering Technician IV	155
Engineering Technician III	140
Engineering Technician I/II	65
CAD Manager	170
Assistant CAD Manager	147
CAD II	130
GIS Specialist III	142
GIS Specialist I/II	90
Landscape Architect	163
Environmental Resource Specialist V	208
Environmental Resource Specialist IV	163
Environmental Resource Specialist III	134
Environmental Resource Specialist I/II	90
Environmental Resource Technician	110
Administrative	100
Engineering Intern	61
Information Technician III	125
Information Technician I/II	112

Direct Costs

Outside Copies, Blueprints, Messenger, Delivery Services, Mileage Cost + 12%

*Charges include overhead and profit

Christopher B. Burke Engineering, Ltd. reserves the right to increase these rates and costs by 5% after December 31, 2019.



Nelson Tank Engineering & Consulting, Inc.

16240 National Parkway
Lansing, MI 48906

Additional Service Fees

<u>Labor Class</u>	<u>PER HOUR</u>
Project Manager.....	\$120.00
Registered Professional Engineer.....	\$120.00
Project Engineer - Level II.....	\$100.00
Project Engineer - Level I.....	\$ 90.00
Inspector - Level II.....	\$ 85.00
Inspector - Level I.....	\$ 75.00
Secretarial Services.....	\$ 50.00
Modeling or CAD.....	\$120.00

Expenses

Mileage.....	\$1.00/mile
Meals, Lodging.....	\$120 per diem
Air Travel.....	Business class
Car rental.....	Full size

Laboratory Testing

TCLP (One metal).....	\$ 85.00
TCLP (Ten metals).....	\$350.00
Background Soil (Total lead).....	\$ 45.00
Paint Sample (1 Metal).....	\$ 50.00
Paint Sample (2 Metal).....	\$ 60.00
Paint Sample (3 Metal).....	\$ 70.00

EXHIBIT 2

CITY OF WOOD DALE



REQUEST FOR PROPOSALS (RFP)

**To Provide:
PROFESSIONAL ENGINEERING SERVICES FOR
RICHERT STATION AND TANK MAINTENANCE**

**For The:
CITY OF WOOD DALE, ILLINOIS**

March 1, 2019

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INVITATION TO SUBMIT PROPOSAL

Professional Engineering Services for Richert Station and Tank Maintenance

NOTICE IS HEREBY GIVEN that proposals are invited by the City of Wood Dale, Illinois for **Professional Engineering Services for Richert Station and Tank Maintenance.**

The City of Wood Dale is seeking to engage the services of a qualified Engineering Firm (CONTRACTOR or CONSULTANT) with experience and interest to present their qualifications and capabilities to provide Engineering Services for the City of Wood Dale, Illinois.

Proposal forms will be sent via email by invitation only.

Proposals are due and will be accepted until 12:00 P.M. on March 20, 2019, with the following provisions:

1. Submit three (3) Complete Copies of RFP
2. RFP is to be split into two Sealed Envelopes: one including services proposal without proposed fees and a second with only proposed fees:
 - a. One marked with the RFP Title ("*Professional Engineering Services for Richert Station and Tank Maintenance - Services*") with Proposal Due Date and Time; and
 - b. One marked with RFP Title ("*Professional Engineering Services for Richert Station and Tank Maintenance - Fees*") with Proposal Due Date and Time.
3. Please also submit an electronic copy of each proposal
4. Faxed proposals will not be accepted

Proposals shall be submitted to: **City of Wood Dale, Administration**
404 N. Wood Dale Rd
Wood Dale, IL 60191
Attn: Kate Buggy, Management Analyst
kbuggy@wooddale.com

Any Proposal submitted unsealed or unsigned, received via fax transmissions or received subsequent to the aforementioned date and time, may be disqualified and returned to the submitter.

The City of Wood Dale reserves the right to reject any and all proposals or parts thereof, to waive any irregularities or informalities in proposal procedures, and to award the contract in a manner best serving the interests of the City.

Proposals will not be opened in a public forum.

REQUEST FOR PROPOSALS

Professional Engineering Services for Richert Station and Tank Maintenance

Services Summary

The City of Wood Dale is seeking proposals and project management plans from interested companies for **PROFESSIONAL ENGINEERING SERVICES FOR RICHERT STATION AND TANK MAINTENANCE**.

Project Summary

Each year, the City of Wood Dale seeks Engineering and Construction oversight services for the various projects as part of its Capital Improvement Plan (CIP). The CIP has been authorized by the City Council. The City is seeking Engineering Services to complete one such project, which is detailed in General Requirements of this RFP.

The successful firm will act as consulting engineers in the design, construction and oversight of the project. It will provide project leadership in all areas such as, but not limited to, fact gathering, preliminary design, final design completion phase, pre-construction services, bidding and proposal processes, construction and post-construction phases, as well as grant management.

The consulting engineers will provide strong project leadership and direction in value engineering, budgeting oversight, expediting project completion time, avoiding owner delay situations, conducting meetings, tracking construction, and keeping detailed records of the entire process.

A. GENERAL PROCESSING AND SELECTION PROCEDURES

Unless otherwise directed by the City, the following general procedures are used in the selection of vendors to provide professional services:

1. The City prepares a project description, criteria for selection and requirements for the specific contract. A proposal package is e-mailed to interested offerors and notice of the intent to contract for services is established.
2. The City receives written proposals. The proposals should include a resume of the firm, references from past and present clients, similar experience.
3. The City reviews and evaluates proposals based on established selection criteria and a comparison of all proposals. If necessary, the City may request a meeting with one or more offerors to clarify and/or expand on the proposal in accordance with the requirements of the proposal, the City may negotiate terms, conditions, and fees with one or more offerors.
4. The City selects the proposal which, based on the ability to meet the criteria, appears to be the most advantageous selection for the City.
5. The following table outlines the anticipated timeline for RFP proposal submission and selection:

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

Activity	Target Dates	Location
RFP Issued	3/1/2019	Via Email
Submission of Proposals	3/20/2019	City of Wood Dale
RFP Awarded	4/18/2019	City of Wood Dale
Professional Services Start	4/19/2019	City of Wood Dale

B. REQUEST FOR PROPOSALS

Definition:

Request for Proposals (RFP) is a method of procurement permitting discussions with responsible offerors and revisions to proposals prior to award of a contract. Proposals will be opened and evaluated in private. Award will be based on the criteria set forth herein.

Familiarity with Conditions:

Offerors are advised to become familiar with all conditions, instructions, and specifications governing this proposal. Once the award has been made, failure to have read all the conditions, instructions and specifications of this Request for Proposal, and any subsequent contract, shall not be cause to alter the original contract or request additional compensation.

Discussion of Proposals:

All offerors are advised that in the event of receipt of an adequate number of proposals, which in the opinion of the City require no clarification and/or supplementary information, such proposals may be evaluated without discussion. Hence, proposals should be initially submitted on the most complete and favorable terms which offerors are capable of offering to the City.

The City may conduct discussions with any offeror who submits an acceptable or potentially acceptable proposal. Offerors shall be accorded fair and equal treatment with respect to any opportunity for discussion and revision of proposals. During the course of such discussions, the City shall not disclose any information derived from one proposal to any other offeror. The City reserves the right to request the offeror to provide additional information during this process.

During discussions, the offeror shall be prepared to cover the following topics:

1. The specific services to be provided;
2. Qualifications of the offeror, including work on similar projects, experience of personnel, etc.;
3. The working relationship to be established between the City and the offeror, including, but not limited to what each party should expect from the other.

Negotiations:

The City of Wood Dale reserves the right to negotiate specifications, terms and conditions which may be necessary or appropriate to the accomplishment of the purpose of this RFP. The City may require the RFP and the offeror's entire proposal be made an integral part of the resulting contract. This implies that all responses, supplemental information, and other submissions provided by the offeror during discussions or negotiations will be held by the City of Wood Dale as contractually binding on the successful offeror.

Notice of Unacceptable Proposal:

When the City determines an offeror's proposal to be unacceptable, such offeror shall not be afforded an additional opportunity to supplement its proposal.

Confidentiality:

The City shall examine the proposals to determine the validity of any written requests for nondisclosure of trade secrets and other proprietary data identified. After award of the contract, all responses, documents, and materials submitted by the offeror pertaining to this RFP will be considered public information and will be made available for inspection, unless otherwise determined by the City. All data, documentation and innovations developed as a result of these contractual services shall become the property of the City. Based upon the public nature of these RFP's, an offeror must inform the City, in writing, of the exact materials in the offer, which cannot be made a part of the public record in accordance with the Illinois Freedom of Information Act (5 ILCS 140/1 *et seq*; hereinafter, the "Act").

Once a contract is awarded, the Contractor shall maintain full compliance with all provisions of the Act, including, but not limited to, providing any requested records subject to the Act within the deadlines provided by the Act. Failure by the Contractor to maintain compliance with any provisions shall result in the assessment of any and all penalties, damages, and/or costs incurred by the City to the Contractor that shall be paid immediately by the Contractor upon demand of the same by the City.

C. TERMS AND CONDITIONS

Authority:

This Request for Proposals is issued pursuant to applicable provisions of the City of Wood Dale. Responses to this RFP shall be opened in private, by City officials, to avoid disclosure of contents that may contain confidential or proprietary information to competing Respondents.

Errors in Proposals:

Offerors are cautioned to verify their proposals prior to submission. Negligence on the part of the offeror in preparing the proposal confers no right for withdrawal or modification of the proposal.

Reserved Rights:

The City reserves the right, at its sole discretion, to use without limitation any and all information, concepts, and data submitted in response to this RFP, or derived by further investigation thereof. The City further reserves the right at any time and for any reason to cancel this solicitation, to reject any or all proposals, to supplement, add to, delete from, or otherwise change this RFP if conditions dictate. The City may seek clarifications from a Respondent at any time and failure to respond promptly may be cause for rejection. The City also reserves the right to interview only those firms it determines shall provide the most advantageous services to the City, and to negotiate with one or more Respondents acceptable to the City.

Incurred Costs:

The City of Wood Dale will not be liable in any way for any costs incurred by respondents in replying to this RFP.

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

Award:

Award shall be made by the City of Wood Dale to the responsible offeror whose proposal is determined to be the most advantageous to the City, taking into consideration the evaluation criteria set forth herein. The City of Wood Dale reserves the right to accept the Proposal as a whole, or any component thereof, if it appears to be in the best interests of the City.

Evaluation Considerations:

Selection criteria refer to the qualifications that the City requires in order to award a contract for services, or qualifications that the City intends on using to evaluate respondents in order to select the most qualified respondent for the project. At a minimum, respondents must provide all requested information in this request for proposal.

Evaluation Criteria is shown below. The City of Wood Dale shall consider the following when judging the ability of offerors to meet the requirements of this Proposal:

1. Compliance with Request for Proposals
This refers to the adherence to all conditions and requirements of the Request for Proposals.
2. Quality of Response
Clearly demonstrates an understanding of the work to be performed, project staff experience, and ability to successfully work with other project team members.
3. Completeness
Completeness and reasonableness of the offeror's proposal for accomplishing the tasks.
4. Capability
Level of capability demonstrated by the offeror's proposed resources for meeting the requirements of this proposal; a demonstrated ability to complete projects on schedule and within budget.
5. Competence
Level of competence in managing sensitive construction projects including existing facility remodeling.
6. Services to be Provided
Exact type and nature of offeror's proposed services and how it will accomplish the objectives of the project, as well as the ability to rapidly respond to the City's needs, as defined in the Evaluation Criteria set forth.
7. Qualifications of the Company
This refers to the offeror's capability in all respects to fully perform the contract requirements, including the tenacity, perseverance, experience, integrity and reliability, which will assure good faith performance, as well as satisfactory reference verification. This criterion includes:
 - a. The experience of the firm and its record on engagements of a similar nature, including the ability to serve in a similar capacity for other units of government or organizations; and,

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

- b. Personnel to be assigned to the project, their education, capabilities, qualifications and experience with similar projects. Amount of proposed contract fees (please note that price is only one factor for consideration of award).

Taxes:

The City is exempt from paying Illinois Use Tax, Illinois Retailer's Occupation Tax, Federal Excise Tax, and Municipal Retailer's Occupation Tax.

Hold Harmless Clause:

To the fullest extent permitted by law, the Contractor shall defend, indemnify and hold harmless the City, its officials, agents, architects, contractors, consultants, and employees against all injuries, deaths, loss, damages, claims, patent claims, suits, liabilities, judgments, costs and expenses, which may in any way accrue against the City, its officials, agents and employees, arising in whole or in part or in consequence of the performance of the work by the Contractor, its employees, or subcontractors, or which may in any way result therefore, except that arising out of sole legal cause of the City, its agents or employees. The Contractor shall also be required, at its own expense arising therefore or incurred in connection therewith, and, if any judgment shall be rendered against the City, its officials, agents and employees, in any such action, the Contractor will, at its own expense, satisfy and discharge the same.

Contractor shall acknowledge that it expressly understands and agrees that any performance bond or insurance policies required by contract, or otherwise provided by the Contractor, shall in no way limit the Contractor's responsibility to indemnify, keep and save harmless and defend the City, its officials, agents and employees as provided by contract.

Contractor shall also agree to be solely liable for any fines or civil penalties that are imposed by any governmental or quasi-governmental agency or body that may arise, or be alleged to have arisen, out of or in connection with Contractor's, or its subcontractors' or suppliers', performance of, or failure to perform, the work or any part thereof.

Contractor shall be permitted to contest any such fines or penalties in administrative or court proceedings; however, Contractor shall pay such fines or civil penalties prior to such protest if payment is required prior to making such protest. Contractor shall be held solely responsible for all costs, including attorney's fees and administrative expenses, of protesting any such fines or civil penalties.

Insurance Requirements:

Contractor shall maintain, for the duration of this contract and any extensions thereof, insurance as noted in Appendix I – Insurance Requirements.

Meetings:

Engineer will be required to meet with various City staff and outside officials as needed throughout the project. A set schedule shall be defined by the respondent.

Equal Employment Opportunity:

Engineer shall comply with the Illinois Human Rights Act, 775 ILCS 5/1-101 et seq., as amended, and any rules and regulations promulgated in accordance therewith, including, but not limited to, the Equal Employment Opportunity Clause, Illinois Administrative Code, Title 44, Part 750 (Appendix A), which is incorporated herein by reference. Furthermore, the Consulting

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

Engineer shall comply with the Public Works Employment Discrimination Act, 775 ILCS 10/0.01 et seq., as amended.

Responsibility & Default:

The awarded offeror shall be required to assume responsibility for all items listed in this Request for Proposals. The successful offeror shall be considered the sole point of contact for purposes of this contract.

Time is of the essence and shall be considered in awarding this contract. If delivery of acceptable items or rendering of services is not completed by the time promised, the City reserves the right, without liability, in addition to its other rights and remedies, to terminate the contract by written notice effective when received by the Consulting Engineer, as to stated items not yet shipped or services not yet rendered and to purchase substitute items or services elsewhere in such a manner as the City of Wood Dale may deem appropriate, and charge the Consulting Engineer with any or all losses incurred. The City shall be entitled to recover its attorney's fees and expenses in any successful action by the City to enforce this contract.

Payments:

The Consulting Engineer shall furnish the City with itemized invoices as required for the project.

All payments to be made in accordance with applicable provisions of the Local Government Prompt Payment Act.

Consulting Engineer Responsibilities:

The selected Consulting Engineer will be required to assume responsibility for all services offered in this proposal. The City will consider the selected Consulting Engineer to be the sole point of contact with regard to contractual matters, including payment of any and all charges resulting from the contract. Sub-contracts will be permitted only upon specific, written permission of the City of Wood Dale.

Interpretation or Correction of Request for Proposals:

Offerors shall promptly notify the City of any ambiguity, inconsistency or error, which they may discover upon examination of the Request for Proposals. Requests for interpretation of specifications may be made in writing, and directed to the City. All such requests must be delivered in a timely fashion.

Interpretations, corrections and changes to the Request for Proposals will be made by addendum. Interpretations, corrections or changes made in any other manner will not be binding.

Governing Law:

Any contract resulting from this RFP shall be governed by and construed according to the laws of the State of Illinois.

Compliance with Laws:

The Consulting Engineer shall at all times observe and comply with all laws, ordinances and regulations of the federal, state, local and City governments, which may in any manner affect the contract.

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

Termination for Lack of Funding:

The City reserves the right to terminate the whole or any part of this contract, upon written notice to the Consulting Engineer, in the event that sufficient funds to complete the contract are not appropriated by the City of Wood Dale; provided that in the event of such termination, the Consulting Engineer shall be paid promptly for all services rendered by the Consulting Engineer through the effective date of termination.

Addenda:

Addenda are written instruments issued by the City prior to the date of receipt of proposals, which modify or interpret the RFP by addition, deletions, clarifications or corrections. Prior to the receipt of proposals, addenda shall be distributed to all who are known to have received a complete RFP.

After receipt of proposals, addenda shall be distributed only to applicants who submitted proposals, and those offerors shall be permitted to submit new or amended proposals as detailed within the addenda.

Each offeror shall ascertain, prior to submitting a proposal, that all addenda issued have been received and, by submission of a proposal, such act shall be taken to mean that such offeror has received all addenda and that the offeror is familiar with the terms thereof and understands fully the contents of the addenda. Offerors shall acknowledge receipt and understanding of the addenda in the area provided herein on the *Form of Proposal* page.

Regulatory Compliance:

Seller represents and warrants that the goods and services furnished hereunder (including all labels, packages and container for said goods) comply with all applicable standards, rules, and regulations as applicable including the Occupational Safety and Health Act as amended with respect to design, construction, manufacture or use for their intended purpose of said goods or services. Consulting Engineer shall ensure all designs and operation will adhere to all applicable City of Wood Dale, IDOT, USEPA, IEPA and Clean Water Act guidelines and regulatory requirements.

Guarantees and Warranties:

All guarantees and warranties required shall be furnished by the Consulting Engineer and shall be delivered to the City of Wood Dale before final voucher on the contract is issued.

Changes in Scope

Unless otherwise agreed by the City in the original contract for professional services, any change in scope of services that increases the agreed contract price for professional or the aggregate of services and / or for costs to be expended by the professional in an amount in excess of \$10,000 must be approved by the City of Wood Dale's City Council. Any change in the scope of services that increases the agreed contract price for professional services and/or for costs to be expended by the professional in the amount of \$10,000 or less or the aggregate of, may be approved by City of Wood Dale staff. **Please make note of this. This will apply during the construction oversight as well.**

Invoicing Requirements

Unless otherwise agreed to by the City in the original contract for professional services, all invoices for professional services rendered must be itemized by the name of the individual doing the work, the date of the work, the time expended by the individual broken down into hour, with

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

a description of the work. In addition, all costs must be itemized with a description of the purpose for which the cost was incurred. Unless otherwise agreed by the City in the original contract for professional services, fee and cost invoices must be provided to the City of Wood Dale on a monthly basis.

D. PROPOSAL FORMS AND CONTENT

Submission of Proposals:

To be considered, proposals should be mailed or delivered to the Administration window, 404 N. Wood Dale Rd., 2nd floor, and submitted electronically on or before the date and time specified in the Request for Proposals. Each respondent shall submit the number of proposals as enumerated on the cover page herein, one of which shall be the original.

Proposals should be submitted in two parts, one including only the proposed services and a second with only proposed fees, in a sealed envelope and electronically, addressed as follows:

City of Wood Dale, Administration
404 N. Wood Dale Rd
Wood Dale, IL 60191
Attn: Kate Buggy, Management Analyst
kbuggy@wooddale.com

FOR SERVICES: "PROFESSIONAL ENGINEERING SERVICES FOR RICHERT STATION AND TANK MAINTENANCE – SERVICES"

FOR COSTS: "PROFESSIONAL ENGINEERING SERVICES FOR RICHERT STATION AND TANK MAINTENANCE – FEES"

Late proposals may be rejected and returned to sender.

Form of Proposal:

The proposal forms included within this RFP shall be completed in full and signed by an officer, partner or principal with authority to execute contracts. Items to be submitted:

1. **Forms of Proposal:** See Attached Proposal Form ("Exhibit A – Base Proposal"). Attached form must be completed.
2. **Narrative Response:** The Narrative Response shall include:

Work Overview: State your understanding of the proposed project.

Work Plan: Describe in narrative and/or outline form your detailed work plan which indicates your firm's methodology for execution of this contract including a summary of the methodology to be used to perform the work specified, and a synopsis and review of other areas or considerations not addressed in the Statement of Work herein, which the offeror believes to be essential to the effective execution of the project.

Cost and Price Analysis: Contract shall be for services on a lump sum basis and as prescribed by the attached proposal pricing sheet in "Exhibit A." An agreement or contract resulting from the acceptance of a proposal shall be on forms approved by the

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

City's legal counsel and shall contain, at a minimum, the applicable provisions of this request for proposal and the proposal itself. The City reserves the right to reject any agreement or contract which does not conform to the request for proposal, the proposal of the firm concerned, or the City's requirements for agreements and contracts.

Terms and Conditions: List any terms and conditions, which may apply to this contract that are not included in this RFP.

Implementation Schedule: Provide a complete schedule for implementation of the services, including all significant milestones.

Additional Information and Comments: Include any other information which may be requested in the "Statement of Work" herein, or which you believe to be pertinent to the City's requirements.

GENERAL REQUIREMENTS

Professional Engineering Services for Richert Station and Tank Maintenance

1. INTENT

The City of Wood Dale desires to enter into an agreement with a single Engineering Firm to design and oversee construction services for maintenance of its Richert Rd. pumping station and reservoir tank as specified in the Scope of Services.

2. SCOPE OF SERVICES

Scope of Services

Background

The City of Wood Dale, through the Capital Improvements Plan, has selected to make necessary improvements and maintenance repairs to the Richert Rd. pumping station and reservoir tank.

Current Conditions

The existing 1.25 million gallon reservoir tank (74'd x 39'4"h) and associated pumping station are experiencing corrosion and undermining of existing coating system. A secondary access hatch is also needed for the reservoir tank.

Work to be Performed

Work will include, but is not limited to the design and construction oversight services for the removal and replacement of interior/exterior coating system of reservoir tank, as well as removal and replacement of existing coating system of distribution water line inside pumping station. Work will also include the installation of a secondary access hatch to the reservoir tank, as well as replacement of existing hatch's door with outward opening design. Design will adhere to all federal, state and local standards and regulations.

PART 1 – BASE SERVICES

General services provided by the ENGINEER shall include, but are not limited to, the following:

Preliminary Information Gathering

City shall meet and work with the Engineer to make project related information and data available as is reasonably required to enable Engineer to complete its Basic and Additional Services:

1. Engineer shall provide for enough time in the proposal to meet with the City to obtain the necessary information to conduct the required services.
2. Engineer shall obtain the property descriptions, zoning, deed, and other land use restrictions.
3. Engineer shall obtain the property, boundary, easement, right-of-way, and other special surveys or data, including establishing relevant reference points.

4. Engineer shall obtain explorations and tests of subsurface conditions at or contiguous to the Site, drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the Site, or hydrographic surveys, with appropriate professional interpretation thereof.
5. Engineer shall obtain environmental assessments, audits, investigations and impact statements, and other relevant environmental or cultural studies as to the Project, the Site, and adjacent areas.
6. Any previous data or studies conducted that may assist selected firm in preparing the study.
7. Engineer shall not solely rely on City provided data or information.

Study and Report Phase

A. Engineer shall work and meet with the City to complete the following:

1. Consult with City to define and clarify requirements for the Project and available data.
2. Advise City of any need for City to provide data or services.
3. Identify, consult with, and analyze requirements of governmental authorities having jurisdiction to approve the portions of the Project designed or specified by Engineer including, but not limited to, permitting and agencies.
4. Prepare a cost-benefit analysis of the current strategy to minimize temporary impacts to the distribution system.
5. Prepare a report (the "Report") which will, as appropriate, contain schematic layouts, sketches, and conceptual design criteria with appropriate exhibits to indicate the agreed-to requirements, considerations involved, and those alternate solutions available to City which Engineer recommends.
6. Furnish review copies of the Report and review with City.
7. Revise the Report and any other deliverables in response to City's comments, as appropriate, and furnish copies of the revised Report and any other deliverables to the City.

B. Engineer's services under the Study and Report Phase will be considered complete on the date when the revised Report and any other deliverables have been delivered to City.

Preliminary Design Phase

A. After acceptance by City of the Report and any other deliverables, selection by City of a recommended solution and indication of any specific modifications or changes in the scope, extent, character, or design requirements of the Project desired by City, and upon written authorization from City, Engineer shall:

1. Prepare Preliminary Design Phase documents consisting of final design criteria, preliminary drawings, outline specifications, and written descriptions of the Project. The project design and construction specifications will need to be in accordance with all applicable design requirements.
2. Provide necessary field surveys and topographic and utility mapping for design purposes. Utility mapping will be based upon information obtained from utility owners.
3. Advise and meet with the City if additional reports, data, information, or services are necessary and assist City in obtaining such reports, data, information or services.

4. Based on the information contained in the Preliminary Design Phase documents, prepare a revised opinion of probable Construction Cost, and assist City in collating the various cost categories which comprise total Project Costs.
 5. Furnish review copies of the Preliminary Design Phase documents and any other deliverables to City, and review them with City.
 6. Revise the Preliminary Design Phase documents and any other deliverables in response to City's comments, as appropriate, and furnish to City copies of the revised Preliminary Design Phase documents, revised opinion of probable Construction Cost, and any other deliverables.
- B. Engineer's services under the Preliminary Design Phase will be considered complete on the date when the revised Preliminary Design Phase documents, revised opinion of probable Construction Cost, and any other deliverables have been delivered to City.

Final Design Phase

- A. After acceptance by City of the Preliminary Design Phase documents, revised opinion of probable Construction Cost as determined in the Preliminary Design Phase, and any other deliverables subject to any City directed modifications or changes in the scope, extent, character, or design requirements of or for the Project, and upon written authorization from City, Engineer shall:
1. Prepare final Drawings and Specifications indicating the scope, extent, and character of the Work to be performed and furnished by Contractor. The final Drawings and Specifications will need to be in accordance with all applicable requirements.
 2. Provide technical criteria, written descriptions, and design data for use in filing applications for permits from or approvals of governmental authorities having jurisdiction to review or approve the final design of the Project; provide leadership for the City in consultations with such authorities; and revise the Drawings and Specifications in response to directives from such authorities if required.
 3. Advise City of any adjustments to the opinion of probable Construction Cost known to Engineer.
 4. Prepare and furnish bidding documents for review by City, its legal counsel, and other advisors, and assist City in the preparation of other related documents, and review them with City.
 5. Revise the bidding documents in accordance with comments and instructions from the City, as appropriate, and submit final copies of the bidding documents, a revised opinion of probable Construction Cost, and any other deliverables to City.
- B. Engineer's services under the Final Design Phase will be considered complete on the date when the submittals have been delivered to City.
- C. In the event that the Work designed or specified by Engineer is to be performed or furnished under more than one prime contract, or if Engineer's services are to be separately sequenced with the work of one or more prime Contractors (such as in the case of fast-tracking), City and Engineer shall, prior to commencement of the Final Design Phase, develop a schedule for performance of Engineer's services during the Final Design, Bidding or Negotiating, Construction, and Post-Construction Phases in order to sequence and coordinate properly such services as are applicable to the work under such separate prime contracts.

Bidding or Negotiating Phase

- A. After acceptance by City of the bidding documents and the most recent opinion of probable Construction Cost as determined in the Final Design Phase, and upon written authorization by City to proceed, Engineer shall:
1. Assist City in advertising for and obtaining bids or proposals for the Work and, where applicable, maintain a record of prospective bidders to whom Bidding Documents have been issued, attend pre-bid conferences, if any, and receive and process contractor deposits or charges for the bidding documents.
 2. Issue addenda as appropriate to clarify, correct, or change the bidding documents.
 3. Provide information or assistance needed by City in the course of any negotiations with prospective contractors.
 4. Consult with City as to the acceptability of subcontractors, suppliers, and other individuals and entities proposed by prospective contractors for those portions of the Work as to which such acceptability is required by the bidding documents.
 5. If bidding documents require, the Engineer shall evaluate and determine the acceptability of "or equals" and substitute materials and equipment proposed by bidders.
 6. Attend the Bid opening, prepare Bid tabulation sheets, and assist City in evaluating Bids or proposals and in assembling and awarding contracts for the Work.
- B. The Bidding or Negotiating Phase will be considered complete upon commencement of the Construction Phase or upon cessation of negotiations with prospective contractors.

Construction Services Phase

- A. After the City has awarded the project to a Contractor, and upon written authorization by City to proceed, Engineer shall assist with the construction phase. Activities may include, but are not limited to the following:
1. Daily visits to the job site to review the progress and quality of the work being performed. Proposers shall specify in their proposals the number of field staff proposed to properly manage the required field services. Proposers shall assume at least one full time person during the duration of construction activities.
 2. Attendance at construction status meetings with contractor, as needed.
 3. Coordinate all inspections required to meet applicable local, state, and federal permit requirements.
 4. Review of periodic payment estimates of the contractor for completed work.
 5. Review and approve substitution requests, respond to Request for Information and assistance in preparation of any necessary change orders.
 6. Interpretation of the plans, specifications, and other contract documents as required.
 7. Project reviews with the contractor and City.
 8. Preparation of record drawings (as-builts) of the completed facilities in accordance with the City's standard requirements.
 9. The services of a local project representative to monitor and report on the progress and quality of work being performed by the contractor.
 10. Other necessary and related services associated with the Engineer's design as applied to the construction process.

Note: During construction activities, the City of Wood Dale has strict project tracking expectations. City staff is not authorized to permit change orders in excess of \$10,000. As such, the City of Wood Dale expects the Engineer to carefully track field changes and advise the Director of Public Works when change conditions are expected, in aggregate, to exceed this value.

- B. The Construction Services Phase will be considered complete upon City's acceptance of completed improvements, Contractor's contract closeout and acceptance of record drawings.

Contractor's Completion Documents

- A. After the City has accepted the contractor substantial completion, and upon written authorization by the City, Engineer shall lead the contractor completion phase. Activities may include, but are not limited to the following:
1. Receive and review maintenance and operating instructions, schedules, warranties, and guarantees.
 2. Receive bonds, certificates, or other evidence of insurance not previously submitted and required by the Contract Document's, certificates of inspection, tests and approvals, Shop Drawings, Samples and other data. Engineer shall transmit these documents to the City.
 3. After notice from Contractor that Contractor considers the entire Work ready for its intended use, in company with City and Contractor, conduct an inspection to determine if the Work is Substantially Complete.
 4. Prepare and furnish to the City Record Drawings showing appropriate record information based on Project annotated record documents received from Contractor. This will include GIS data for any structures installed or modified within the course of this project.
 5. Preparation of operation and maintenance manuals if applicable.

PART 2 – ADDITIONAL SERVICES

Additional Services Requiring City's Written Authorization

- A. If authorized in writing by City, Engineer shall furnish or obtain from others Additional Services of the types listed below.
- a. Preparation of applications and supporting documents (in addition to those furnished under Basic Services) for private or governmental grants, loans, or advances in connection with the Project.
 - b. Services resulting from significant changes in the scope, extent, or character of the portions of the Project designed or specified by Engineer or its design requirements including, but not limited to, changes in size, complexity, City's schedule, character of construction, or method of financing; and revising previously accepted studies, reports, Drawings, Specifications, or Contract Documents when such revisions are required by changes in Laws and Regulations enacted subsequent to the Effective Date or are due to any other causes beyond Engineer's control.
 - c. Services resulting from City's request to evaluate additional Study and Report Phase alternative solutions.

City of Wood Dale, Illinois
Professional Engineering Services for Richert Station and Tank Maintenance

PART 3 – CONTRACT PERIOD/ SCHEDULE

The Professional Services are anticipated to start around April 19, 2019. The goal would be to have completed all specified projects designed, construction bid documents, and the bid awarded by May 31, 2019.

DISQUALIFICATION OF CERTAIN PROPOSER

PERSONS AND ENTITIES SUBJECT TO DISQUALIFICATION

No person or business entity shall be awarded a contract or subcontract, for a stated period of time, from the date of conviction or entry of a plea or admission of guilt, if the person or business entity has:

- A. Been convicted of an act committed, within the State of Illinois or any state within the United States, of bribery or attempting to bribe an officer or employee in the State of Illinois, or any state in the United States in that officer's or employee's official capacity;
- B. Been convicted of an act committed, within the State of Illinois or any state within the United States, of bid rigging or attempting to rig bids as defined in the Sherman Anti-Trust Act and Clayton Act 15 U.S.C.;
- C. Been convicted of bid rigging or attempting to rig bids under the laws of the State of Illinois, or any state in the United States;
- D. Been convicted of an act committed, within the State of Illinois or any state in the United States, of price-fixing or attempting to fix prices as defined by the Sherman Anti-Trust Act and Clayton Act 15 U.S.C. Sec. 1, etc.;
- E. Been convicted of price-fixing or attempting to fix prices under the laws of the State of Illinois, or any state in the United States;
- F. Been convicted of defrauding or attempting to defraud any unit of state or local government or school district within the State of Illinois or in any state in the United States;
- G. Made an admission of guilt of such conduct as set forth in subsection (A) through (F) above which admission is a matter of record, whether or not such person or business entity was subject to prosecution for the offense or offenses admitted to;
- H. Entered a plea of nolo contendere to charges of bribery, price fixing, bid rigging, bid rotating, or fraud; as set forth in subparagraphs (A) through (F) above.

Business entity, as used herein, means a corporation, partnership, limited liability company, trust, association, sole proprietorship, unincorporated business or individually owned business.

Appendix I - Insurance Requirements
City of Wood Dale
Certificate of Insurance Requirements

Contractor shall carry all insurance coverage required by law. In addition, the Contractor shall carry, at its own expense, at least the following insurance coverage with a duly licensed and registered insurance company in the State of Illinois having a minimum A.M. Best rating of A-VI:

- a. Workers' Compensation & Occupational Diseases Insurance – Statutory amount for Illinois
- b. General Liability Insurance:
 - i. Bodily injury, with limits of not less than \$1,000,000 each occurrence/ \$2,000,000 aggregate;
 - ii. Property damage, with limits of not less than \$1,000,000 each occurrence/ \$2,000,000 aggregate;
 - iii. Contractual insurance – broad form, with limits of not less than \$1,000,000 each occurrence/\$2,000,000 aggregate.
- c. Automotive Liability Insurance:
 - i. Bodily injury, with limits of not less than \$1,000,000 each occurrence/ \$2,000,000 aggregate;
 - ii. Property damage, with limits of not less than \$1,000,000 each occurrence/ \$2,000,000 aggregate. Property damage insurance coverage shall include non-owned, hired, leased, or rented vehicles, as well as owned vehicles.
- d. Umbrella or excess liability coverage of \$5,000,000.
- e. Contractor's insurance policy shall name City as an additional insured on the General Liability, Automotive Liability and Excess Liability insurance policies. The insurance coverage shall be written with insurance companies acceptable to City. All insurance premiums shall be paid without cost to City. The Contractor shall furnish to City a Certificate of Insurance attesting to the respective insurance coverage for the full contract term. Contractor shall submit satisfactory proof of insurance simultaneously with the execution of the contract.
- f. All insurance policies shall provide that the City shall receive written notice of cancellation or reduction in coverage of any insurance policy thirty (30) days prior to the effective date of cancellation.

EXHIBIT A BASE PROPOSAL

Proposers are required to submit a Lump Sum Cost for the project. Proposers shall provide an Hourly Rate Cost Chart which will be used for any additional services. Proposers will be awarded this procurement not necessarily based on least cost, but rather to the consultant whose proposal best meets the requirements of this RFP. It is understood that the consultant will be required to perform and complete the proposed work in a thorough and professional manner. The consultant shall provide all necessary labor, tools, implements, equipment, materials, and supplies to complete the contracted work.

Fee proposals shall be opened in private to avoid disclosure of proprietary or confidential information of competing submittals.

Fee proposals must be received on or before 12:00 P.M., March 20, 2019, both electronically and at the City of Wood Dale, 404 N. Wood Dale Rd., Wood Dale, IL 60191. The City of Wood Dale reserves the right to reject any and all submittals, to waive any informality in the submittals received and to accept any submittal which the owner deems most favorable and in the best interest of the City of Wood Dale.

All questions on the overall project and/or requests for interpretation of any part of the submittal form should be directed to Kate Buggy, Management Analyst (Email: kbuggy@wooddale.com).

All submittals shall become the property of the City of Wood Dale and will not be returned to the submitting Engineering services firms.

All costs associated with the preparation of the proposal will be the full responsibility of the submitting engineering services firm.

Respondents are to use the format presented within the "Fee Proposal Form" to make copies for submittal. The submittal shall consist of one (1) original and two (2) copies, but all must have original signatures.

Submit your fee proposal documents in a sealed envelope marked on the outside with the following:

Deliver to:

**City of Wood Dale
Kate Buggy, Management Analyst
404 N. Wood Dale Rd.
Wood Dale, Illinois 60191**

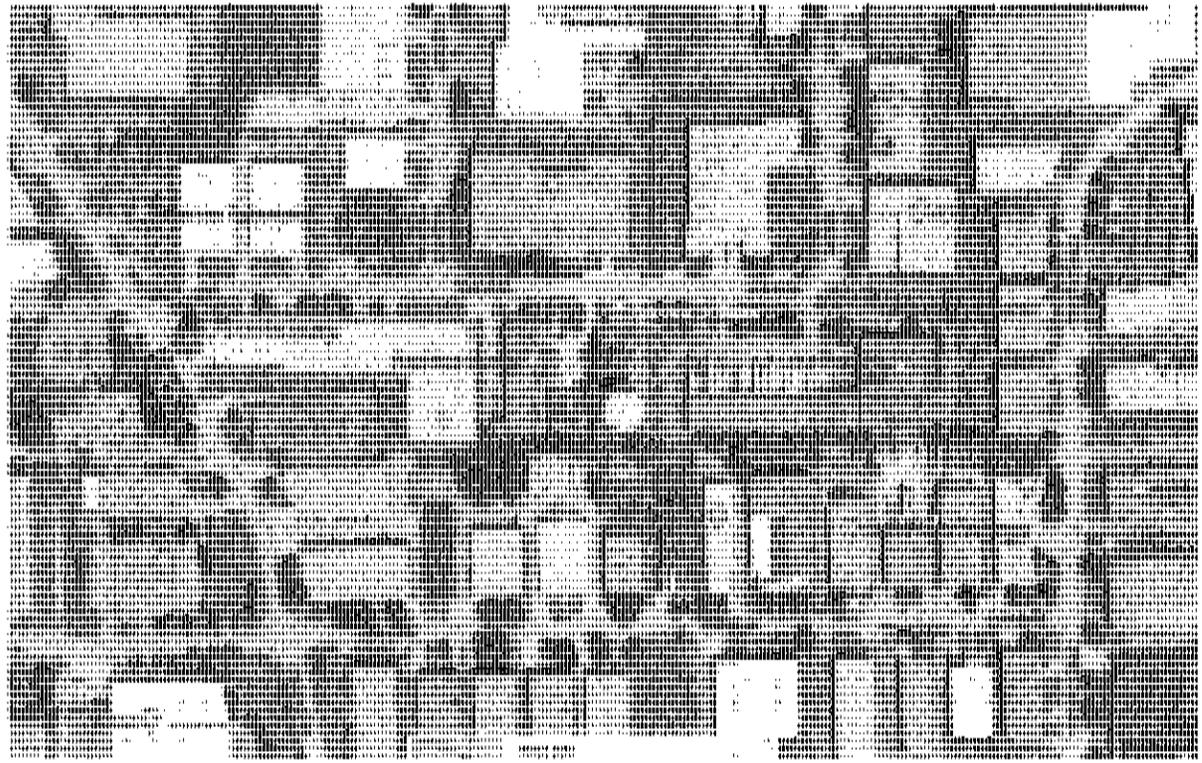
**"PROFESSIONAL ENGINEERING SERVICES FOR RICHERT STATION AND TANK
MAINTENANCE"**

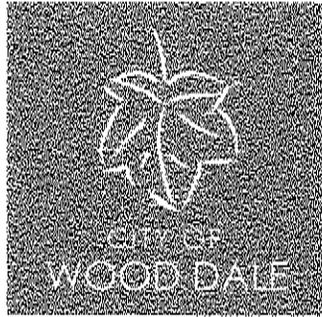
Also submit your fee proposal documents electronically, either via email to kbuggy@wooddale.com or saved to a USB flash drive included in the sealed envelope and delivered to the City of Wood Dale.

EXHIBIT A BASE PROPOSAL

Preliminary Information Gathering:	\$ _____ Dollars
Study and Report Phase:	\$ _____ Dollars
Preliminary Design Phase: (Hourly Rate – Please Provide Hourly Rate Cost Chart)	\$ _____ Dollars
Final Design Phase: (Hourly Rate – Please Provide Hourly Rate Cost Chart)	\$ _____ Dollars
Bidding and Negotiation Phase:	\$ _____ Dollars
Construction Services Phase: (Hourly Rate – Please Provide Hourly Rate Cost Chart)	\$ _____ Dollars
Contractors Completion Phase:	\$ _____ Dollars
Allowance for Authorized Services: (Assume 16 hours of senior level and 60 hours of junior level staff. Hours only utilized at City direction.)	\$ _____ Dollars
Presentation to City Council: (Assume 3 meetings at 3 hours/meeting)	\$ _____ Dollars
Total Base Proposal:	\$ _____ Dollars

EXHIBIT B SITE MAP





ADDENDUM TO RFP DOCUMENTS

Request for Proposal: Professional Engineering Services for Richert Station and Tank Maintenance

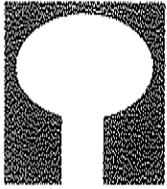
Addendum No: 1

Date: March 12, 2019

To All Potential Bidders:

This addendum is issued to modify the previously issued RFP documents and/or given for information purposes, and is hereby made a part of the RFP documents. Please attach this addendum to all documents in your possession. **Per the RFP, the proposer shall acknowledge receipt of any and all addenda.**

1. The following is required for all proposals:
Include the cost of a remotely operated vehicle (ROV) inspection in the "Preliminary Information Gathering" line on the Base Proposal sheet (Exhibit A).
2. For your reference, please see the attached results of a 2015 preliminary maintenance inspection report for Richert Station.



DIXON
ENGINEERING, INC.

5307 S. 92nd Street
Suite 125
Hales Corners, WI 53130
Telephone (414) 529-1859
Fax (414) 529-3120

December 14, 2015

Chuck Brunner
Baxter-Woodman Engineering
8678 Ridgefield Road
Crystal Lake, IL 60012

RE: Preliminary Maintenance Inspection Report

Mr. Brunner:

Please find enclosed the above referenced report for the 1,250,000 gallon reservoir owned by the City of Wood Dale. The inspection was completed on December 1, 2015.

The report consists of 1) a cover page, 2) conclusions and recommendations, 3) the detailed report, 4) the field inspection report, 5) photos and descriptions, and 6) flash drive.

Brief explanation: 1) The cover page is self explanatory. 2) The conclusions and recommendations explain in short form what is found and what DIXON recommends if any repair or maintenance is necessary. 3) This section is the long report that goes into details to explain what exactly was found and why DIXON makes the recommendations. 4) Field inspection report (FIR) is the form that is filled in when the inspection team is on-site so the report can be written accurately. 5) Photographs and descriptions give the Owner a visual record of the condition of the tank and appurtenances. 6) The flash drive is an Adobe PDF format of the complete report and photos for your convenience.

If you have any questions or concerns, please call Brad Schotanus at 630-220-1410.

Thank you for choosing DIXON for your inspection needs.

DIXON ENGINEERING, INC.,

Thomas Van Gemert, Senior Engineer
NACE Certified, AWS-CWI

Enclosure

Members: Steel Structures Council
American Water Works Association
Consulting Engineers Council

Dixon Engineering, Inc.

Preliminary Maintenance Inspection

1,250,000 Gallon Reservoir

Wood Dale, Illinois

Dixon Engineering, Inc.
5307 S. 92nd Street, Suite 125
Hales Corners, WI 53130
Phone: (414) 529-1859
Fax: (414) 529-3120
<http://www.dixonengineering.net>
Wisconsin@dixonengineering.net

Inspection Performed: December 1, 2015
Report Prepared: December 14, 2015

CONCLUSIONS:

1. The exterior coating is an epoxy/urethane overcoat system that is in fair condition overall. The coating is moderately faded and the primary modes of failure are spot coating failures to the substrate and erosion. The coating has good adhesion and there are only a few spot coating failures on the sidewall and roof.
2. The wet interior coating is a multi-coat epoxy overcoat system that is in fair condition overall. The coating appears to have good adhesion. Below the high water line, the coating deterioration includes spot failures and blistering on the floor and the sidewall. Above the high water line, the coating is deteriorating at the on the roof stiffener edges with moderate corrosion.

RECOMMENDATIONS:

1. Schedule regular cleanings and inspections of the tank by an independent third party as recommended by AWWA, or once every five years.
2. Complete the recommended work pending the revised condition assessment after the next five-year inspection. The coating work is the greatest cost and largest part of the recommendations. The repairs and upgrades should be completed during the next major tank rehabilitation process when coating repairs are made.
3. High-pressure water clean (5,000-10,000 psi), spot power tool clean and recoat the exterior with a polyurethane system. The estimated cost is \$90,000.
4. Abrasive blast clean the entire wet interior to a near white metal condition (SSPC-SP10), and apply a three-coat epoxy polyamide system. The estimated cost is \$200,000.
5. Remove the cathodic system during coating and re-install after coating is complete. Cost would be incidental to coating costs.
6. Trim trees from site to prevent paint damage on the structure; work can be performed by in-house personnel.
7. Coat the foundation to help prevent further deterioration. Cost would be incidental to exterior painting.
8. Repair the cracks in the foundation by routing and filling with a mortar material. The estimated cost is \$1,000.
9. Install a 42-inch high railing on the roof surrounding the roof vent. The estimated cost is \$20,000.
10. Install railing sections on each side of the sidewall ladder with a railing section that extends up to the new roof railing. The estimated cost is \$14,000.

11. Install rigging couplings on the roof for temporary fall prevention of workers in the wet interior. Cost would be incidental to the next paint project.
12. Install a screened flap gate on the end of the overflow pipe. The estimated cost is \$2,000.
13. Install a 30-inch manway in the sidewall. The estimated cost is \$9,000.
14. Replace the wet interior roof hatch with a 30-inch hatch. The estimated cost is \$3,000.
15. Replace the existing roof vent screen. Cost would be incidental to exterior repainting.
16. Install a fall prevention device on the exterior ladder. The estimated cost is \$1,500.
17. Install a vandal guard on the exterior ladder to prevent access. The estimated cost is \$2,000.
18. Remove the cage on the exterior ladder. Estimated cost is \$1,000.
19. Install a deflector plate at the draw pipe inlet. The estimated cost is \$1,000.

COST SUMMARY:

Exterior coating	\$90,000
Interior coating	200,000
Foundation repair	1,000
Roof railings	34,000
Flap gate	2,000
Sidewall manway	9,000
Roof hatch	3,000
Fall prevention device	1,500
Vandal guard	2,000
Remove ladder cage	1,000
Deflector plate.	<u>1,000</u>
	\$344,500
Engineering and Contingencies	<u>55,500</u>
Total	\$400,000

INSPECTION:

On December 1, 2015, Dixon Engineering, Inc. (DIXON) performed a preliminary maintenance inspection on the 1,250,000-gallon ground reservoir owned by the City of Wood Dale, Illinois. Purposes of the inspection were to evaluate the interior and exterior coating's performance and life expectancy; assess the condition of metal surfaces and appurtenances; review safety and health aspects; and make budgetary recommendations for continued maintenance of the tank. All recommendations with budgeting estimates for repairs are incorporated in this report. The inspection was performed by Josh Grover, Staff Technician. The inspector was assisted by Kyle Lay, Staff Technician and ROV Operator, and John Watson, Staff Technician.

The wet interior inspection was completed with a remotely operated vehicle (ROV). Video of the inspection and still photos are attached from your review. No cleaning, paint thickness, or adhesion tests are performed in the wet interior during the ROV inspection.

TANK INFORMATION:

The tank was built in 1972 by Pitt-Des Moines with a height to high water line of 38 feet; the tank is welded construction. The exterior was last painted in approximately 2002. The wet interior was last painted in approximately 2002.

CONDITIONS AND RECOMMENDATIONS:

EXTERIOR COATING CONDITIONS:

The coating system is a multiple coat epoxy urethane overcoat system.

Information provided by the City to DIXON showed the exterior was pressure washed and spot power tool cleaned to SSPC-SP11. Bare metal surfaces were then primed, followed by application of a full intermediate coat, and a full finish coat to the entire tank over the existing coating.

The coating is in fair condition overall; it is beginning to chalk and fade and there is loss of gloss. Surfaces have faded due to exposure to ultraviolet light, which is a normal occurrence for an exterior coating system. There are only a few coating failures.

There are several areas of rock chip damage on the lower sidewall. These areas have started to surface rust and undercut the surrounding coating.

The sidewall coating is in fair condition. Primary methods of deterioration are spot coating failures to the substrate and erosion. The coating deterioration is minor with only a few failures.

The sidewall is covered with moderate mildew growth.

The roof coating is in fair condition. Primary methods of deterioration are spot coating failures to the substrate and erosion. The coating deterioration is minor with only a few failures.

Good adhesion was noted on the ASTM x-cut test areas, with up to 1/16-inch loss of topcoat to the substrate coat in areas tested. The tank is a candidate for overcoating.

EXTERIOR COATING RECOMMENDATIONS:

Take no immediate action on the exterior coating. Budget for overcoating in the year 2020, or when aesthetics dictate. At that time, the coating will be entering the typical recoat window for modern urethane systems. Perform a maintenance inspection in five years to update the recoating times and costs. Current adhesion showed the existing coating would support an additional recoat. The estimated cost to recoat with an epoxy urethane is \$90,000.

The recommended procedure is to high-pressure water clean (5,000-10,000 psi) the exterior to remove any delamination or flaking coating and any contaminants. Then any coating failures would be spot power tool cleaned to bare metal (SSPC-SP 11).

The coating system would consist of a spot prime coat on the bare metal, a full coat of epoxy, followed by a two full coats of polyurethane. The polyurethane system offers excellent abrasion resistance with high gloss and sheen retention. The expected life of this system is fifteen years. The system can be recoated again in fifteen years, and a second time approximately fifteen years after the first recoating, extending the total life of the coating to approximately forty-five years before total removal would be necessary. The tank would be removed from service during the painting project. This is necessary to reduce moisture condensation on the tank's surface. Polyurethane coatings have a minimum temperature requirement for application and are sensitive to moisture during the curing process. If moisture is present during the curing process, the appearance will become cloudy with little or no gloss.

WET INTERIOR COATING CONDITIONS:

The coating is an epoxy system.

The roof coating is in fair condition overall, with the primary areas of deterioration along the lap seams, the stiffener edges, and in the crevices. Staining in the lap seams is not a concern, but should be monitored during future inspections for corrosion growth. Edge corrosion on the stiffeners is typical but should be corrected before structural loss of steel occurs.

The sidewall coating is in fair condition with deterioration in the form of pinholes and spot coating failures with some blisters. There is not any significant damage at the high water line, which would be the area most affected by ice pressures and ice movement. The failures are moderate with several failures.

The coating on the floor is in fair condition, with deterioration in the form of pinholes and spot coating failures. The failures are moderate with several failures.

WET INTERIOR COATING RECOMMENDATIONS:

Remove the coating system by abrasive blast cleaning the metal to a near white grade (SSPC-SP 10) and apply an epoxy coating system. Wet interior coating systems are to be approved for potable storage tanks contingent upon meeting requirements of National Sanitation Foundation Standard 60/61.

DIXON recommends application of epoxy coating systems in most applications because they have good adhesion and abrasion resistant qualities. Their drawbacks include a minimum application temperature of 50°F (35°F for fast cure), and long cure times. A typical cure time can be seven days at 70°F and up to twenty-eight days at 35°F. The estimated cost to apply the three-coat epoxy system is \$200,000.

CATHODIC PROTECTION CONDITIONS:

The tank has an impressed current ice-free cathodic protection system that is in good condition. Tank's surfaces below the high water line are protected by the submerged cathodic protection system that is suspended from the floor.

The supporting ropes and anode wires are in good condition with no failures.

CATHODIC PROTECTION RECOMMENDATIONS:

Continue operation of the submerged cathodic protection. Have a qualified contractor maintain the system.

PIT AND PIT PIPING CONDITIONS:

There is a pump house adjacent to the tank that contains piping with valves.

The piping is in good condition; coating on the piping is in good condition.

SITE CONDITIONS:

The size of the tank site is average and is fenced.

There is commercial development surrounding the tank site.

Tree branches are rubbing on the sidewall of the tank. The rubbing has not damaged the coating yet, but may wear through the coating if the branches are not trimmed back. The tree branches have worn away some of the coating.

Power lines are located less than fifty feet away from the tank and would interfere with a containment system but should be far enough away for an overcoat without containment.

SITE RECOMMENDATIONS:

Cut the tree limbs that are rubbing on the tank to prevent further damage.

FOUNDATION CONDITIONS:

The top 0-14 inches of the foundation is exposed.

The exposed concrete foundation is in good condition and showed minor deterioration with some cracking.

FOUNDATION RECOMMENDATIONS:

Pressure wash the concrete and coat the exposed concrete to help prevent further deterioration with an epoxy coating system. The cost would be incidental to exterior painting.

Repair the cracks in the foundation by routing and filling with a mortar. The estimated cost is \$1,000.

CAULK CONDITIONS:

The caulk is in good condition with none damaged or missing.

ROOF HANDRAIL AND PAINTER'S RAIL CONDITIONS:

The tank has no roof handrail or edge of roof rail.

ROOF HANDRAIL AND PAINTER'S RAIL RECOMMENDATIONS:

Install handrails at the edge of the roof to either side of the sidewall ladder. The railings will allow someone working near the edge of the roof to be tied-off and secure behind the railing. The railing should be 42-inches high with a mid-rail and a 4-inch toe plate. The estimated cost is \$10,000.

Install a handrail from the new sidewall railing to the new center railing. A fall prevention device would be attached to the top of the railing so that you are completely tied off when moving along the railing. Steps or cleats could be installed to increase traction on the steep section of the roof. The estimated cost is \$4,000.

Install a 42-inch high railing on the roof. The railing will allow tie-off locations and safety during routine vent screen and aviation light inspections. The estimated cost is \$20,000.

Install rigging couplings on the roof for fall prevention of workers in the wet interior. The couplings would allow a contractor working in the wet interior to be tied-off to a fall prevention device at all times. The cost would be incidental to the recoating.

OVERFLOW PIPE CONDITIONS:

The tank has an 8-inch diameter overflow pipe that exits the upper sidewall and extends down along the exterior of the sidewall.

The discharge end of the overflow pipe is screened. The screen is in good condition.

The pipe discharges to the ground with the required air gap. The discharge area is in good condition.

OVERFLOW PIPE RECOMMENDATIONS:

Install a screened flap gate on the overflow pipe discharge. The flap gate would allow water to discharge even if the screen becomes plugged or frosted over. It is designed to stay closed to prevent rodents or birds from entering the pipe. The estimated cost is \$2,000.

HATCH AND MANWAY CONDITIONS:

The tank has a 24-inch square flip-top roof access hatch to the wet interior. The hatch is in good condition. There is not a handhold next to the hatch to aid in entering and exiting the opening.

The wet interior roof hatch was secured with a padlock.

The tank has a 24-inch diameter access manway in the sidewall that is in good condition.

The manway is not hinged; the gasket showed no signs of leaking.

HATCH AND MANWAY RECOMMENDATIONS:

Install a 30-inch manway in the sidewall on the opposite side of the tank. This would allow paint crews to run hoses and equipment through one opening and to access the interior through the other. The estimated cost is \$9,000.

Replace the wet interior roof access hatch with a new 30-inch curbed hatch. Average rescue baskets and rescue personnel wearing equipment will not pass through the existing hatch. The estimated cost is \$3,000.

Install a handhold at the roof opening for entering and exiting the opening. The cost would be incidental to coating costs.

VENT CONDITIONS:

The roof vent is a 20-inch pressure-vacuum design; the vent is in good condition.

The pressure vacuum plate was properly aligned.

VENT RECOMMENDATIONS:

Replace the existing roof vent screen. Cost would be incidental to exterior repainting.

Annually inspect the roof vent for tears and gaps in the screen, and to ensure the pressure plate is free to move.

LADDER CONDITIONS:

The tank has an exterior sidewall ladder that starts approximately ten feet above ground level and extends up to the roof. The ladder is caged. It is not equipped with a fall prevention device.

There is no ladder in the wet interior.

LADDER RECOMMENDATIONS:

Disclaimer:

Unless DIXON feels ladders are unsafe, it is our opinion that if they were built to code at the time of construction, they do not require replacement. The code changed three times in the late 80's and early 90's and it seems excessive to replace ladders each time. It is, however, our responsibility to inform you of this possible deficiency.

With antennas being installed on water storage tanks, the ladders will be used more often. OSHA requires a fall prevention device on ladders in excess of twenty foot, or thirty foot if a cage is present. There are two major types of fall prevention devices. One uses a rail; the other a cable.

Install a cable-type fall prevention device on the exterior ladder. The estimated cost is \$1,500.

Install a vandal guard on the ladder to prevent access. The estimated cost is \$2,000.

FILL PIPE CONDITIONS:

The fill pipe penetrates through the wet interior floor. The pipe stubs just inside the tank.

There is not a deflector plate over top of the fill pipe.

The tank drains from a separate draw pipe. The draw pipe is in good condition; coating on the pipe is in good condition.

There is not a deflector plate over top of the draw pipe.

DRAW PIPE RECOMMENDATIONS:

Install a deflector plate over the end of the draw pipe to prevent debris or ice from plugging the opening. The estimated cost is \$1,000.

WET INTERIOR METAL CONDITIONS:

The steel structure is in good condition above the high water line and in good condition below it.

No pitting was found at the existing coating failures on the floor or sidewalls.

The interior roof is supported by thirty-two radial stiffeners that are in good condition with moderate corrosion in the crevices and at the edges.

The connection at the sidewall is bolted and in good condition.

DIXON ENGINEERING, INC.
STEEL TANK FIELD INSPECTION REPORT
RESERVOIR TANK

DATE: December 1, 2015

OWNER: City of Wood Dale
 CLIENT CODE: 99-22-11-05
 LOCATION: Street: Richert Road
 City: Wood Dale
 State: Illinois
 GPS coordinates: N 41° 58' 39.07" W 87° 58' 05.98"
 TANK SIZE: Capacity: 1,250,000 gallons
 Diameter: Approximately 80 feet
 Height to overflow (HWL): 38 feet
 Sidewall height: 39 feet 6 inches
 CONSTRUCTION:
 Welded
 Type of structure: Reservoir
 Type of roof: Hemisphere
 DATE CONSTRUCTED: 1972
 MANUFACTURER: Pitt-Des Moines
 CONTRACT NUMBER: 22610

COATING HISTORY	EXTERIOR	WET INTERIOR
DATE LAST COATED	<u>2002</u>	<u>2002</u>
COATING SYSTEM	<u>66/1074</u>	<u>20/20</u>
SURFACE PREPARATION	<u>SSPC-SP 11</u>	<u>Spot SSPC-SP 10</u>
COATING MANUFACTURER	<u>Tnemcc</u>	<u>Tnemcc</u>
COATING SAMPLES	<u>No</u>	<u>No</u>

PERSONNEL: Inspector Josh Grover, Top person John Watson,
 ROV operator Kyle Lay
 TYPE OF INSPECTION: Preliminary Maintenance
 METHOD OF INSPECTION: ROV

SITE CONDITIONS

Fenced: Yes
 Site large enough for contractor's equipment: Yes
 Control building: Yes
 Antenna control site: No
 SCADA controls: Yes
 Location of antenna: Building
 Site conditions: Well maintained

Neighborhood:

North: Commercial

East: Commercial

South: Commercial

West: Commercial

Power lines within 50 feet: Yes

Are power lines attached to the structure: No

Would power lines interfere with containment: Yes

Site drainage: Away from tank

Indications of underground leakage: No

Shrub, tree, etc. encroachment: Yes

Rubbing on the Tank: Yes

Interference with future containment: Yes

EXPOSED PIPING:

Location: Adjacent to tank (in control building)

Condition of structure: Good

Structure is: Dry

Pump present: Yes

Hatch condition: Good

Locked: Yes

Altitude valve: No

Condition of pipe coating: Fair

Describe coating: Delaminating and spot coating failures to substrate.

Condition of metal: Good

FOUNDATION

Foundation exposed: Yes

Exposed height: 0-14 inches

Exposed foundation condition: Good

Damage or deterioration: Yes

Type of damage: Cracks

Severity: Moderate

Crack location: Random

Total length cracking: 15 feet

Foundation coated: No

Type of base-plate gap filler: Caulk

Condition: Good

Filler missing: No

Indications of foundation settlement: No

Undermining of foundation: No

EXTERIOR APPURTENANCES

Air gap: Yes

Highest part of discharge to the ground distance: 24 inches

Splash pad: Yes

Type: Parking lot

Condition: Good

Mud valve:

N/A

Sidewall ladder:

Height to start of ladder: 10 feet

Toe clearance: 7 inches or greater

Width of rungs: 15 inches

Thickness of rungs: 5/8-inch

Shape of rungs: Round

Coating condition: Fair

Metal condition: Good

Fall prevention device: No

Cage: Yes

Diameter: 26 inches

Condition: Good

Vandal Guard: No

Step-off platform:

N/A

Balcony:

N/A

Roof handrail:

N/A

Painter's rail:

N/A

Roof hatches:

Wet interior:

Neck size: 24 inches

Distance from center of the tank (to outer edge): 20 feet

Shape: Round

Handhold at opening: No

Hatch security: Lock

Exterior coating condition: Fair

Interior coating condition: Fair

Metal condition: Good

EXTERIOR APPURTENANCES

Dry interior:

N/A

Bolted ventilation hatch:

N/A

Roof vent:

Number: 1

Type: Screened pressure-vacuum

Neck diameter: 20 inches

Vent material: Steel

Coating condition: Poor

Metal condition: Good

Screen condition: Good

Percent of screen open: 99

Vent comments: Could not access vent safely.

Aviation lights:

N/A

Removable cathodic caps:

N/A

Roof rigging points:

N/A

Antennas:

N/A

Aluminum Geodesic Dome:

N/A

WET INTERIOR COATING

Roof:

Topcoat condition: Fair

Primer coating condition: Good

Describe coating: Spot coating failures to substrate, rust undercutting, and rust bleedthrough.

Metal condition: Good

Lap seams: Open

Condition of laps: Good

EXTERIOR APPURTENANCES

Sidewall:

Topcoat condition: Good

Primer coating condition: Good

Describe coating: Spot coating failures to substrate and pinholes.

Mineral deposits: Light

Metal condition: Good

Active pitting: No

Previous pitting: No

Sidewall comments: There are 100-200 spots; 90% of the spots are pinholes the others are very small.

Tank bottom:

Topcoat condition: Good

Primer coating condition: Good

Describe coating: Spot coating failures to substrate.

Mineral deposits: Light

Metal condition: Good

Active pitting: No

Previous pitting: No

Depth of sediment: 1/4-inch

Bottom comments: There are a few small breaks with corrosion cells present.

There is a small amount of roof beam metal noted on the floor.

WET INTERIOR APPURTENANCES

Tank ladder:

N/A

Cathodic protection:

Location of Clips: Floor

Type: Ring

Location of controls: On sidewall

System condition: Good

Ropes/arms damaged: No

Wires damaged: Yes

System functioning: Yes

Fill pipe:

Diameter: 18 inches

Height above floor: 4-6 inches

Configuration: Stubs at floor

One way valves present: No

Deflector on end: No

Removable silt ring: No

Mixing system: No

Coating condition: Good

WET INTERIOR APPURTENANCES

Metal condition: Good

Separate draw pipe:

Diameter: 18 inches

Height above floor: 4-6 inches

Deflector over end: No

Removable silt ring: No

Coating condition: Good

Metal condition: Good

Overflow pipe:

Type: Weir box

Coating condition: Fair

Metal condition: Good

Roof stiffeners:

Orientation: Radial

Stiffeners: 32

Stiffener Dimensions: 3 x 5 inches

Shape: Angle

Number of stiffener support rings: 1

Sidewall connection: Bolted and welded

Condition: Good

Connection at center support: Welded

Condition: Good

Coating condition: Poor

Metal condition: Good

Roof stiffener comments: There is spot breaks, delamination, and rust streaking.

Columns:

N/A

Sidewall stiffener:

N/A

Baffle wall:

N/A

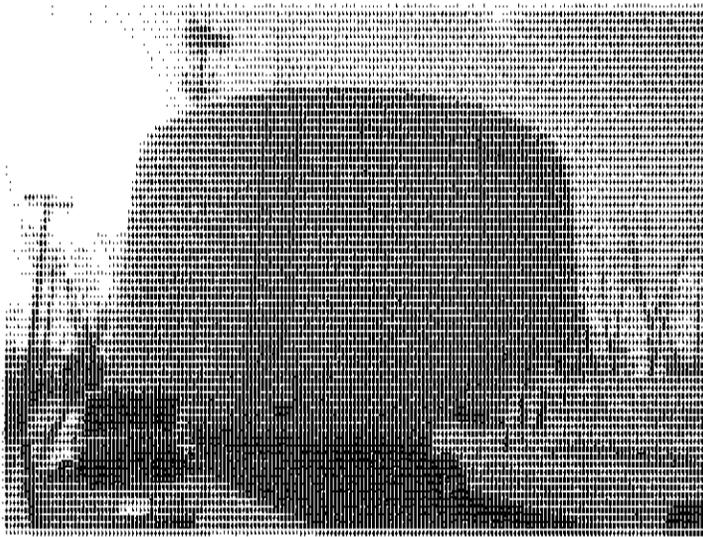
Interior platform:

N/A

Spider:

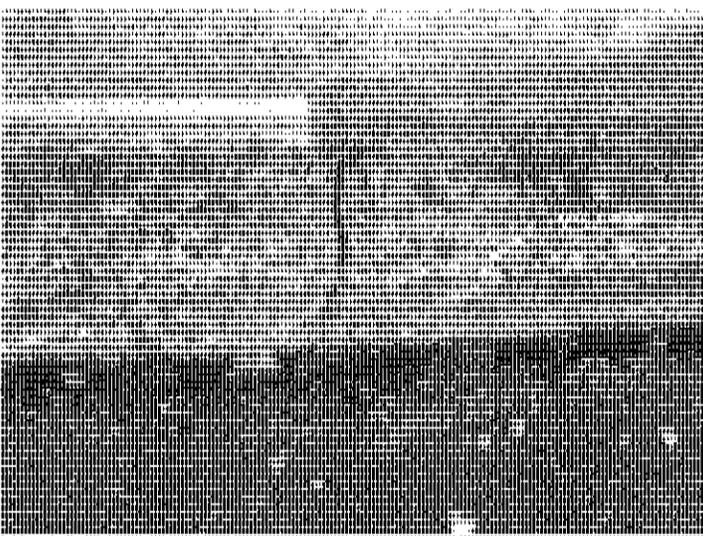
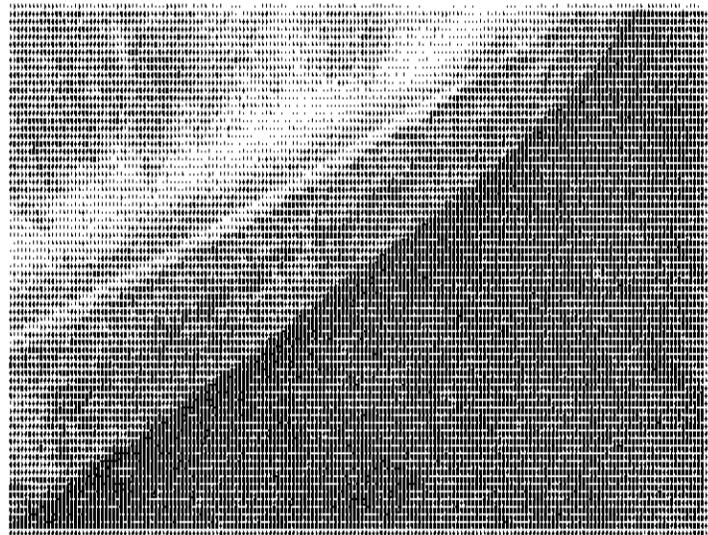
N/A

Field Inspection Report is prepared from the contractor's viewpoint. It contains information the contractor needs to prepare his bid for any repair or recoating. The engineer uses it to prepare the engineering report. Cost estimates are more accurate if the contractor's problems can be anticipated. While prepared from the contractor's viewpoint, the only intended beneficiary is the owner. These reports are completed with diligence, but the accuracy is not guaranteed. The contractor is still advised to visit the site.

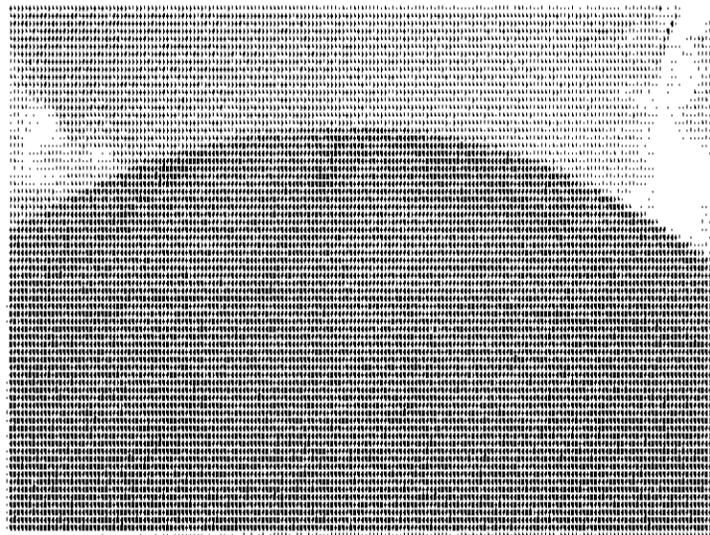


1. The exterior sidewall coating is in fair condition.

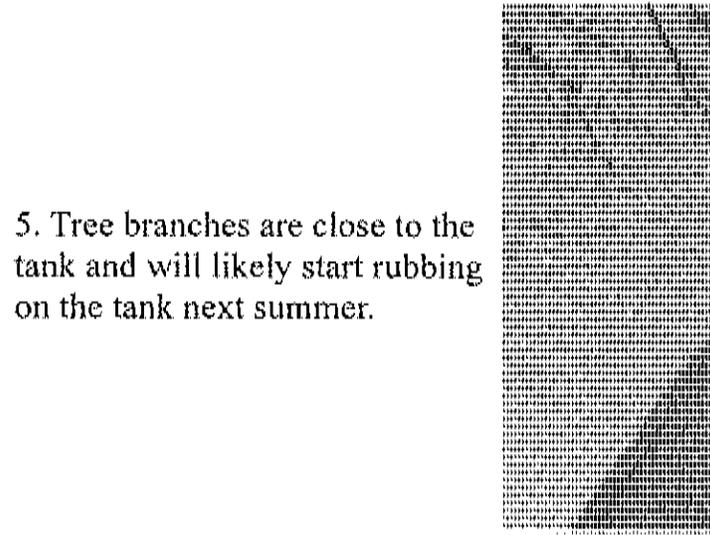
2. The foundation is in good condition and the caulk is in good condition.



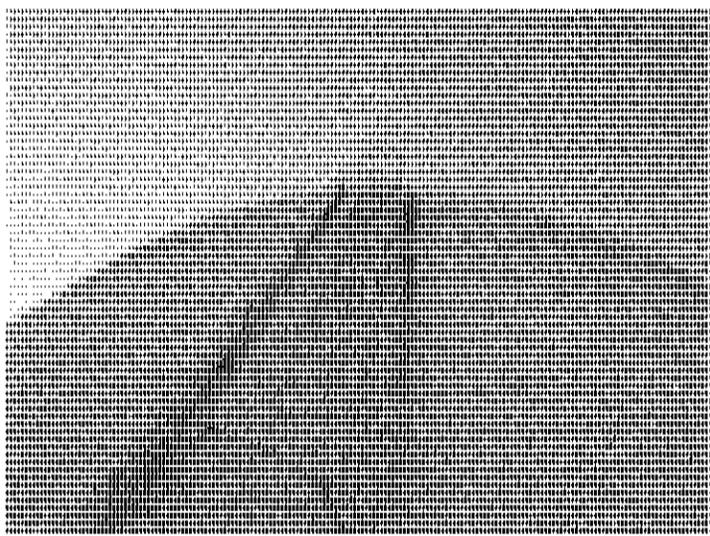
3. The foundation is not coated. There are several cracks in the foundation concrete.



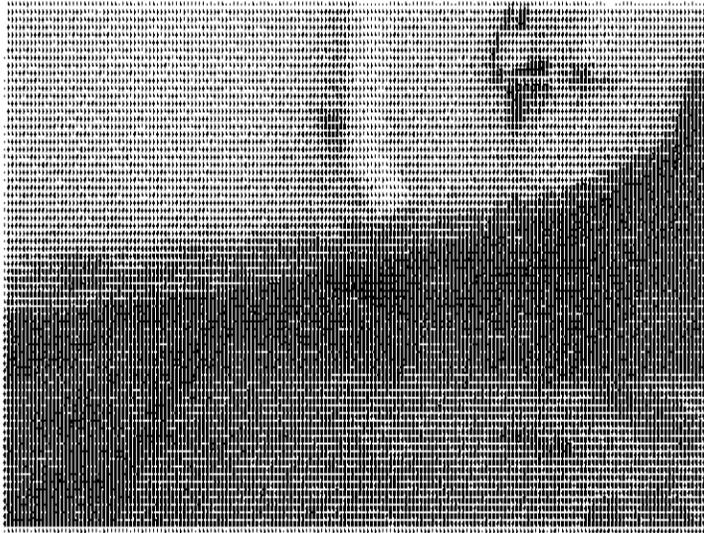
4. The exterior sidewall coating has dirt streaking and mildew growth on the surface.



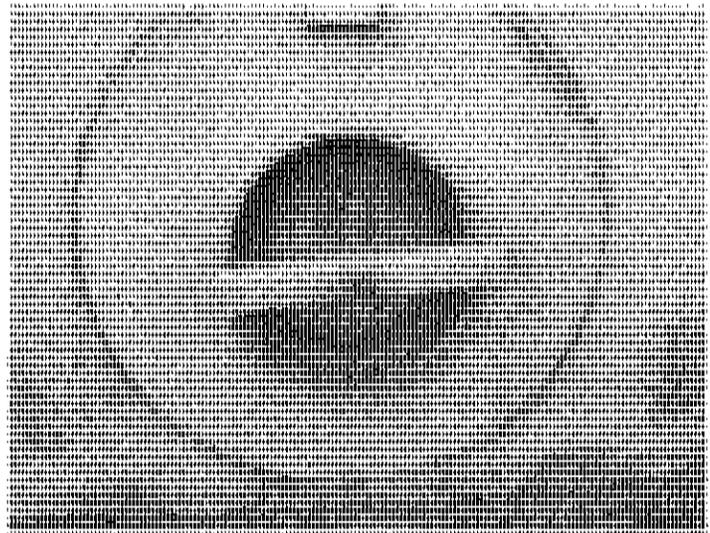
5. Tree branches are close to the tank and will likely start rubbing on the tank next summer.



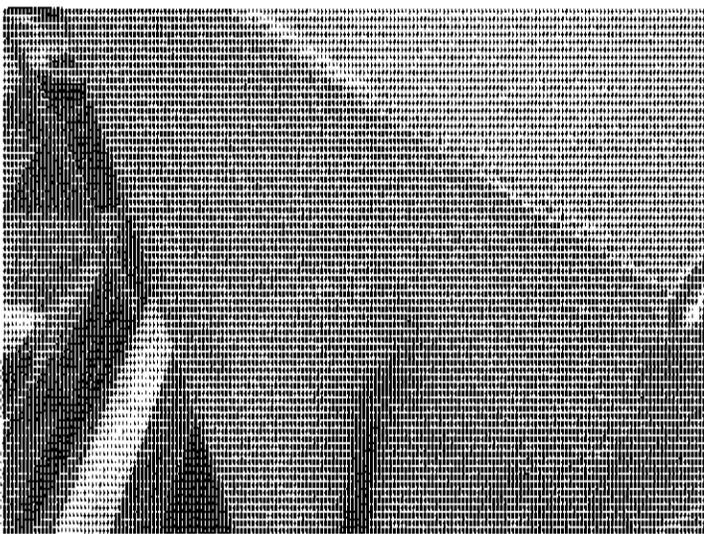
6. The sidewall ladder is in good condition; the coating is fair.



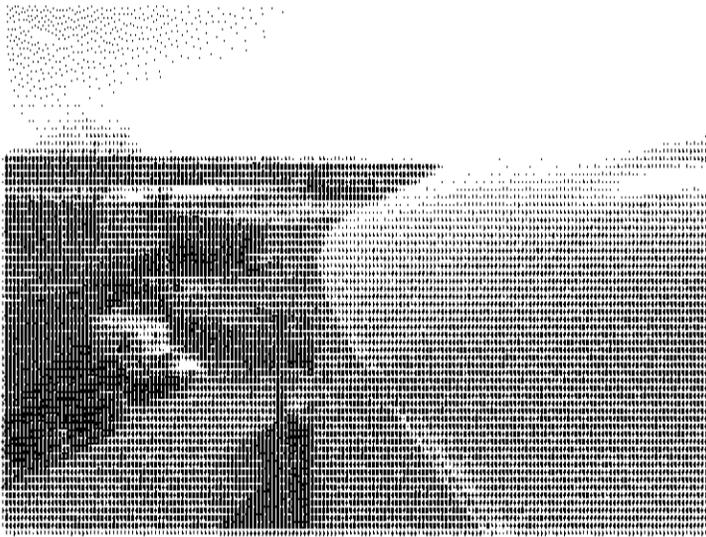
7. The overflow pipe and screen are in good condition. The discharge is to the asphalt lot.



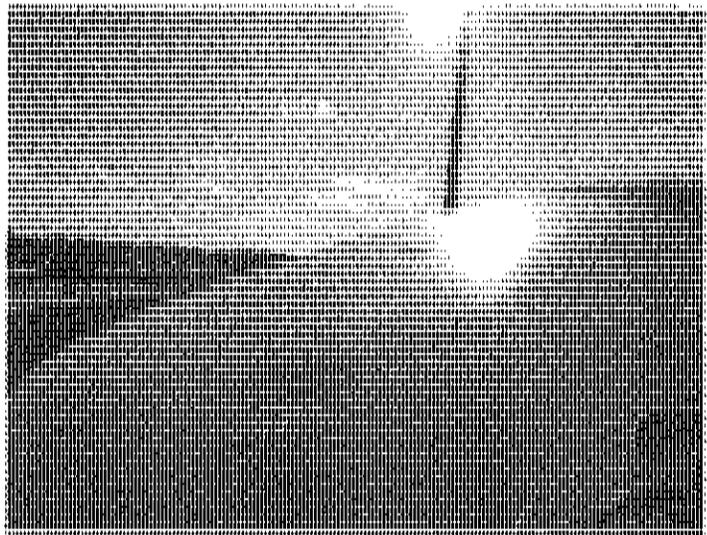
8. The sidewall manway is in good condition.



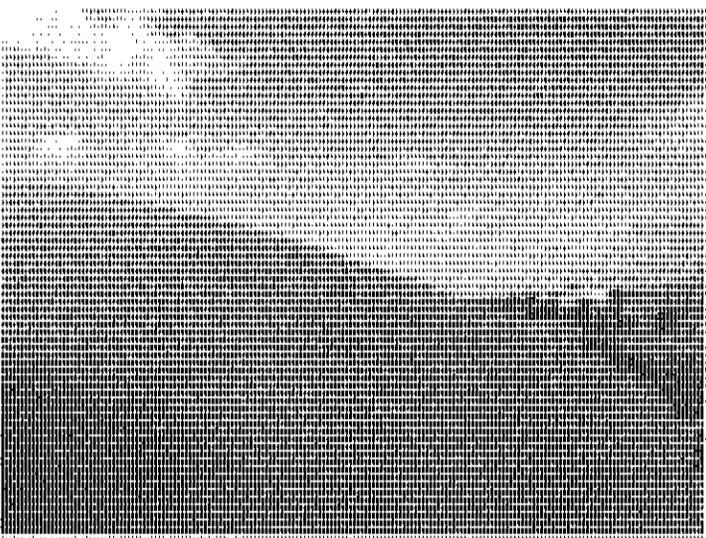
9. The overflow pipe penetration is in good condition.



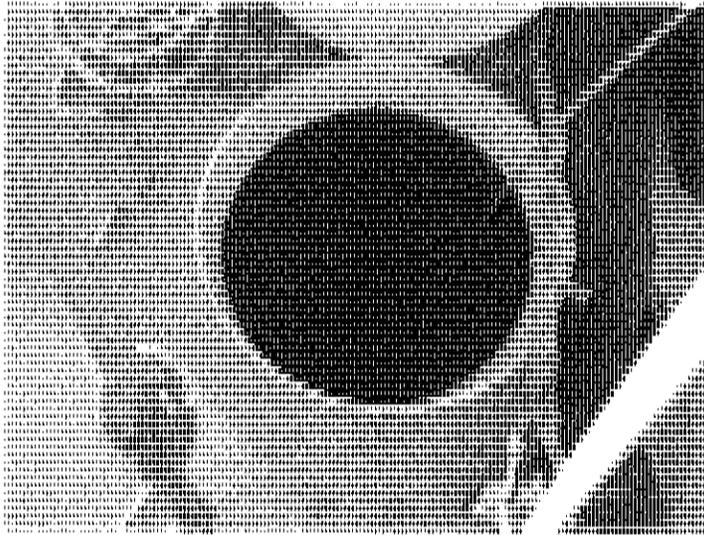
10. The roof to sidewall junction is in good condition; the coating is in fair condition.



11. The exterior roof coating is in fair condition.

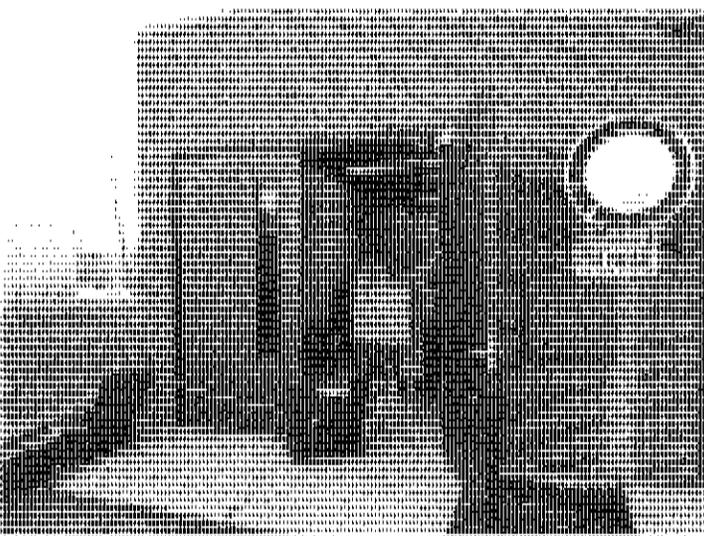
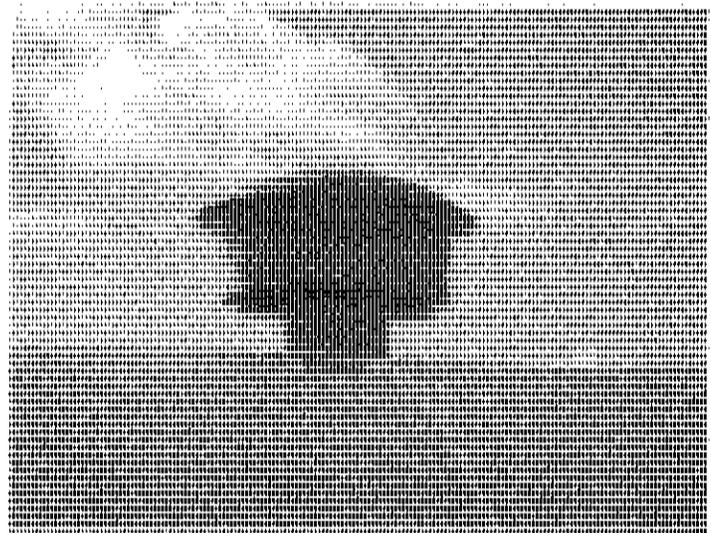


12. Same.

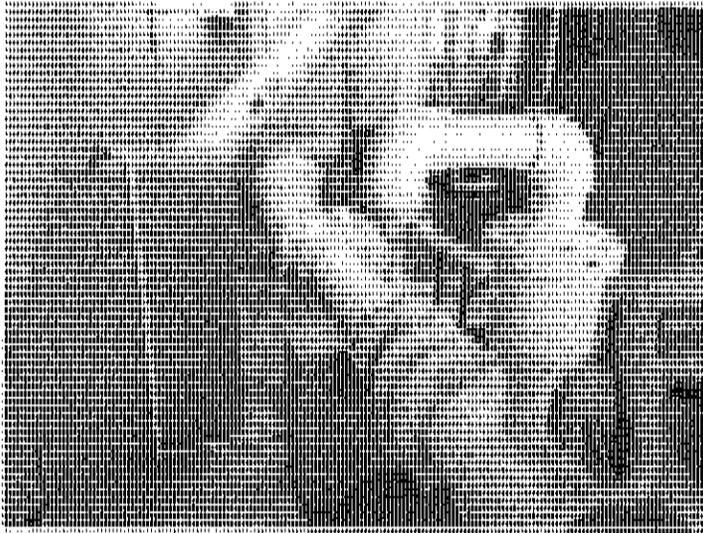


13. The roof hatch into the wet interior is in good condition.

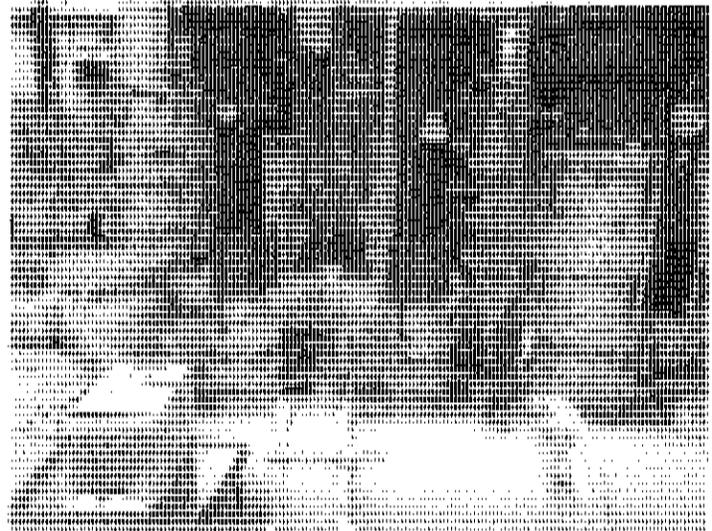
14. The screened pressure vacuum vent is in good condition.



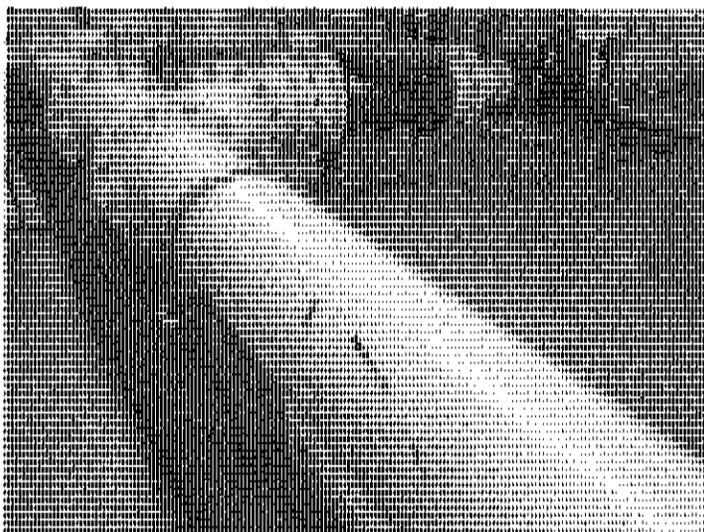
15. A pump house is adjacent to the tank.



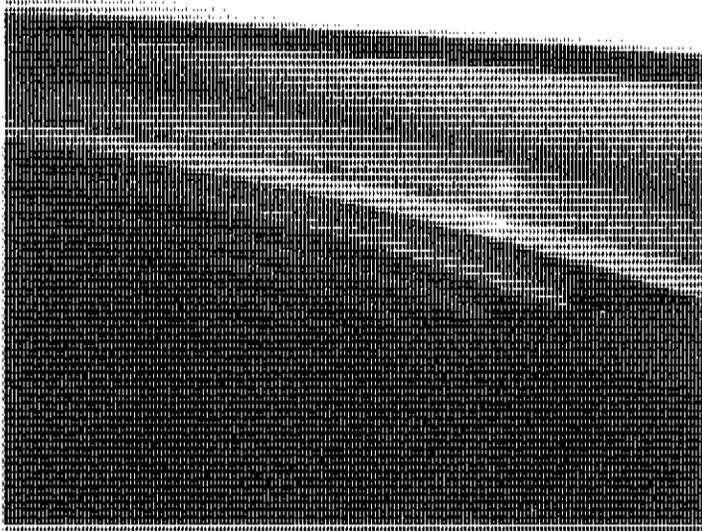
16. The piping in the pump house is in good condition.



17. Same.

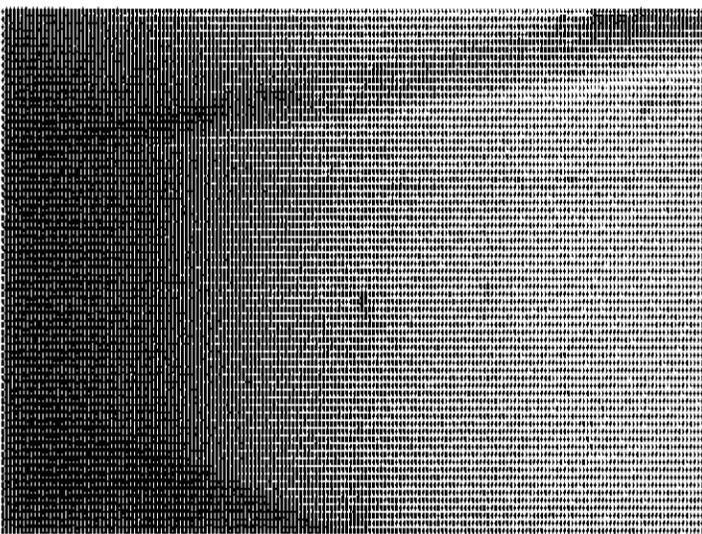
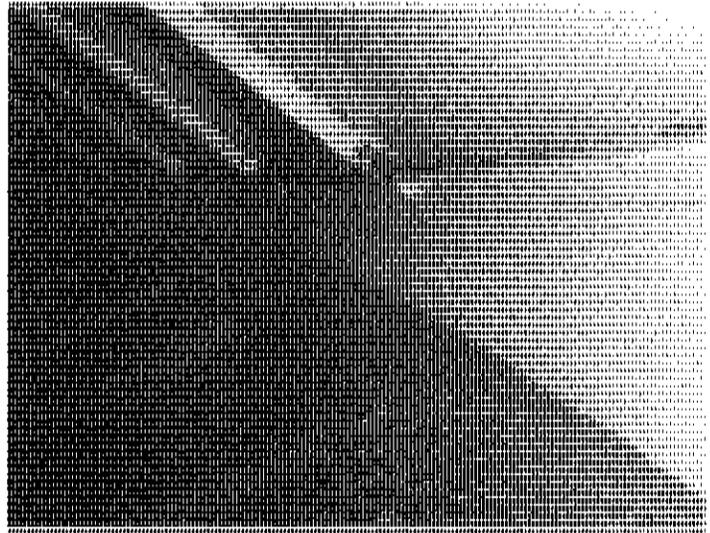


18. A small amount of coating deterioration and abrasion was found on the pump house piping.

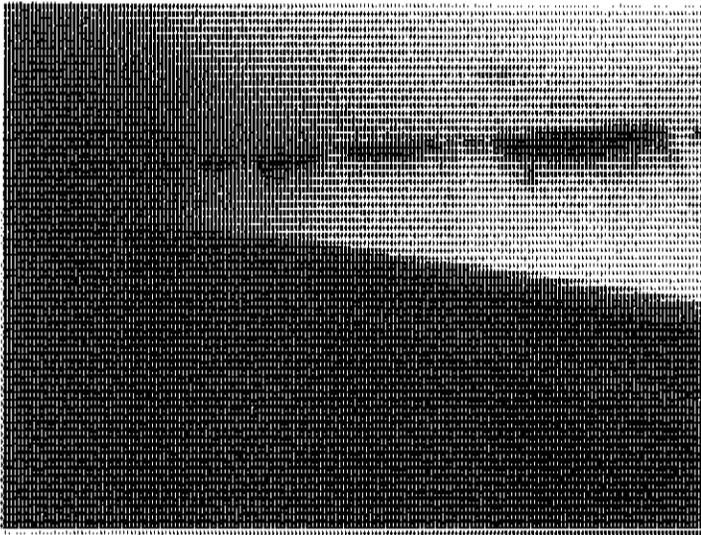


19. The wet interior roof coating is in fair condition with edge and crevice corrosion on the roof beams.

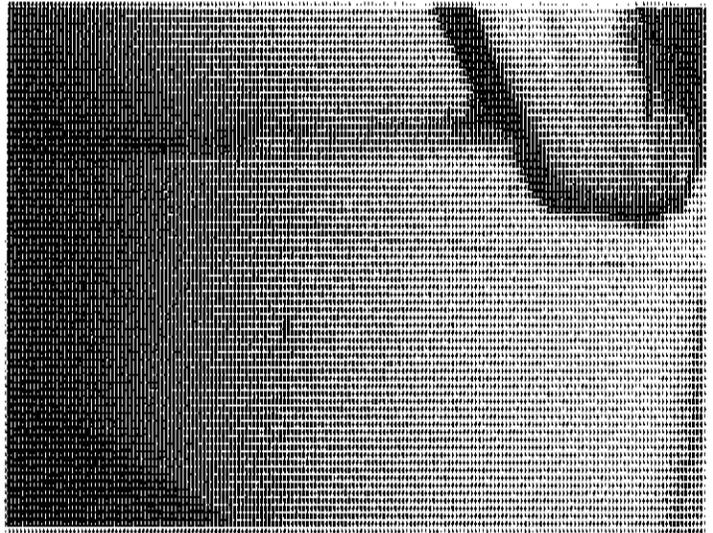
20. The roof to sidewall junction is in fair condition with corrosion along the junction.



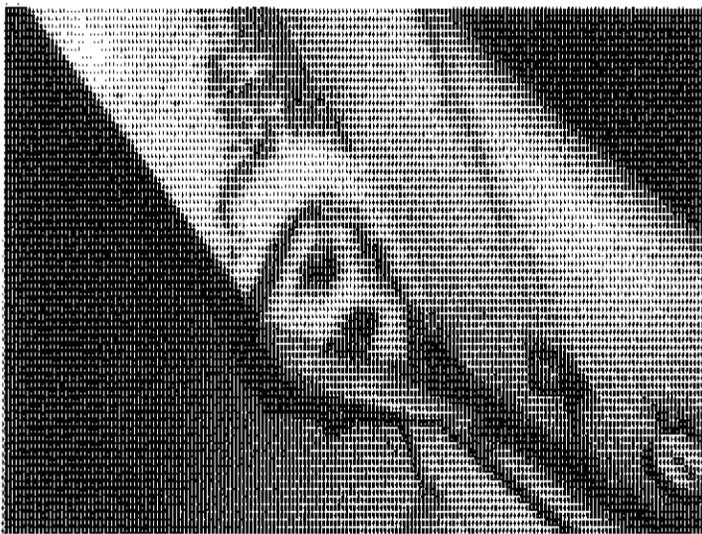
21. Several spot coating breaks were found on the sidewalls above the water level.



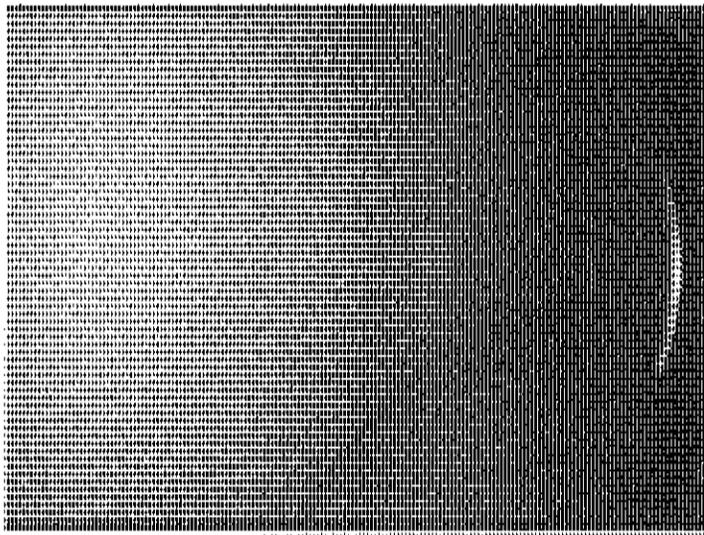
22. Roof beam crevice corrosion is occurring.



23. Roof to sidewall junction corrosion is occurring

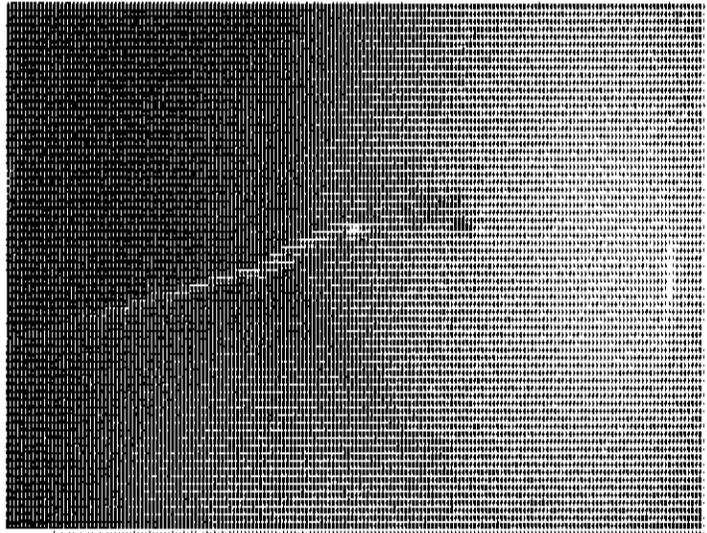


24. The roof beam bolted at the sidewall are in good condition.

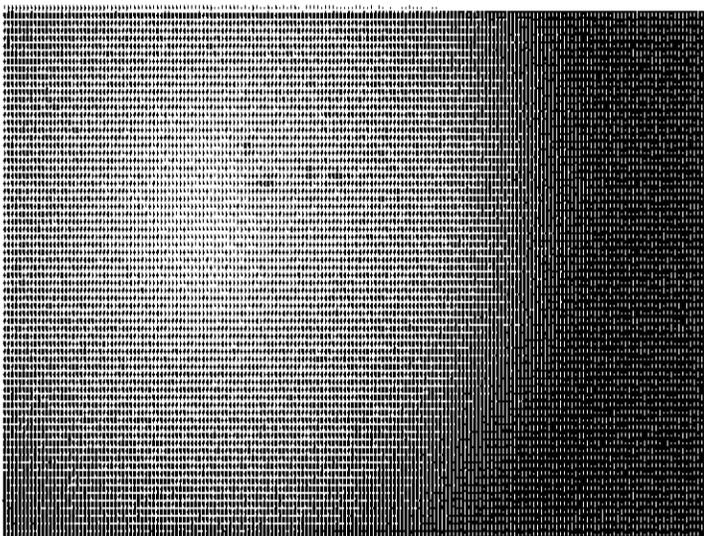


The remaining photos are stills taken from the ROV video.

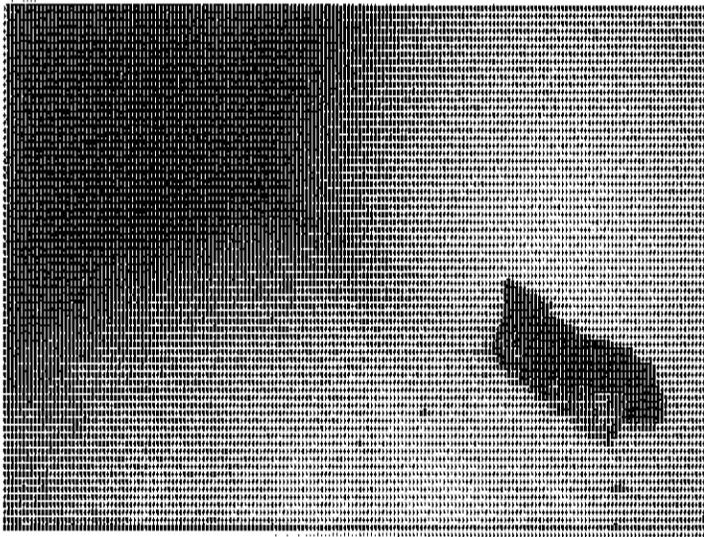
25. The wet interior sidewall coating is in good condition.



26. The cathodic protection wiring and sidewall penetration are in good condition.

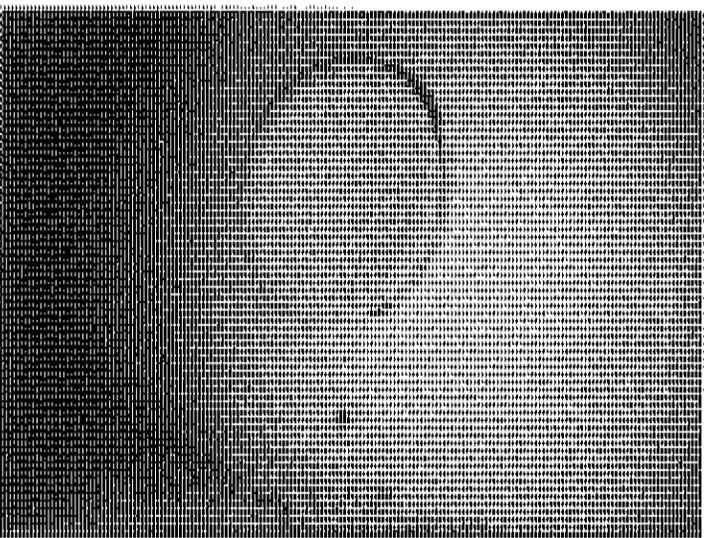
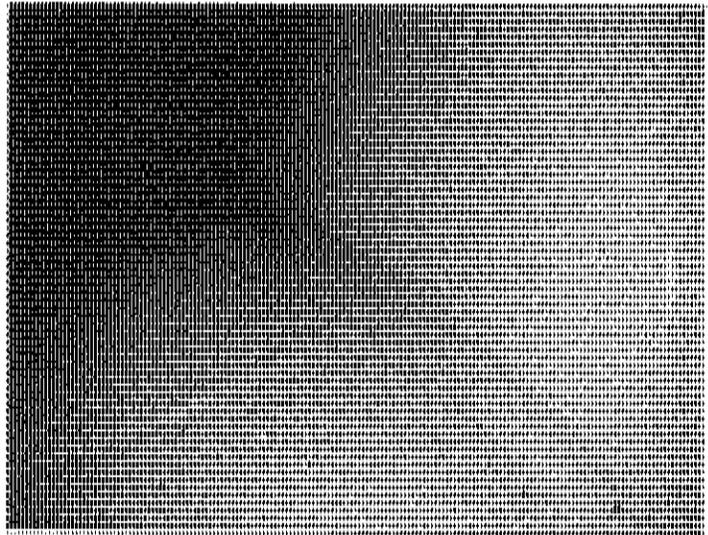


27. A few spot coating breaks were found on the sidewall.

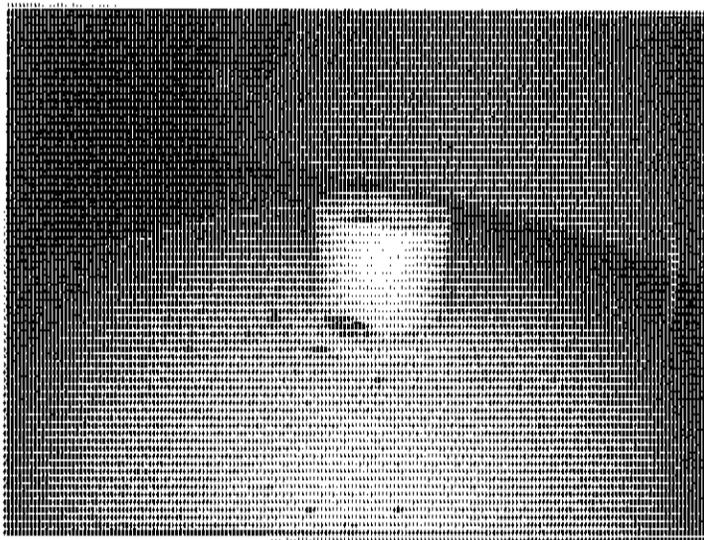


28. Scale rust from the roof was found on the floor. Some coating blistering is occurring at the floor to sidewall junction.

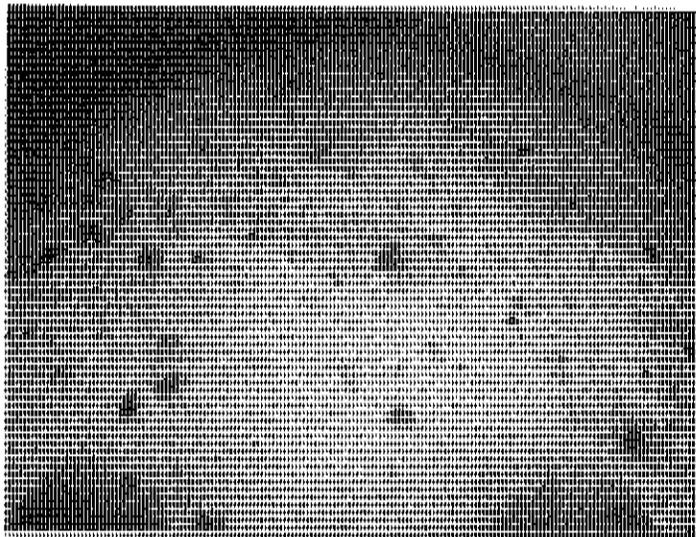
29. The floor to sidewall junction is in good condition.



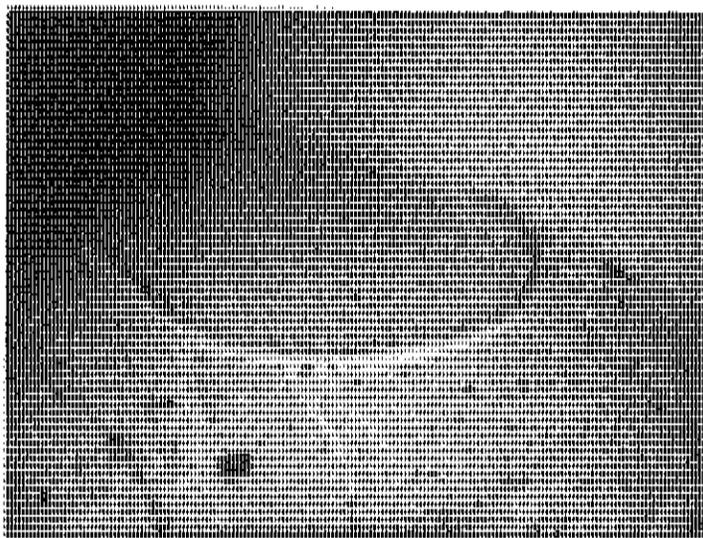
30. The sidewall manway is in good condition.



31. The fill pipe is in good condition.



32. Some scale rust and sand was found on the floor of the tank.



33. Other debris was found on the tank floor.



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Robinson CRS Agreement
Staff Contact: Alan Lange, Assistant Public Works Director
Department: Public Works

TITLE: A Resolution Approving an Agreement between the City of Wood Dale and Robinson Engineering for Professional Services for Community Rating System (CRS) Administration in an Amount Not to Exceed \$15,865

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote – Passed 8-0

RECOMMENDATION:

Staff recommends a resolution approving an agreement between the City of Wood Dale and Robinson Engineering for administration of Community Rating System in an amount no to exceed \$15,865.00.

BACKGROUND:

Each year, the City engages a qualified firm to assist in the management and administration of activities and documentation for the Community Rating System (CRS). The City is a Class 5 community within the CRS Program of the National Flood Insurance Program (NFIP), which means that flood insurance policyholders with property in the Special Flood Hazard Area receive a 25% discount on their flood insurance premiums. Remarkably, only 13 of the 1,444 communities in the CRS program have achieved a better class rating.

ANALYSIS:

Robinson has provided this service to the City in the past. The City is due for a Cycle Verification visit in 2019 to review rating status. As the City would like to maintain its Class 5 rating, staff recommends utilizing Robinson once again.

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ Robinson CRS Proposal

RESOLUTION NO. R-19-32

A RESOLUTION APPROVING AN AGREEMENT BETWEEN THE CITY OF WOOD DALE AND ROBINSON ENGINEERING FOR PROFESSIONAL SERVICES FOR COMMUNITY RATING SYSTEM (CRS) ADMINISTRATION IN AN AMOUNT NOT TO EXCEED \$15,865

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*, and its own duly adopted Municipal Code; and

WHEREAS, the City is authorized and empowered under the Illinois Municipal Code, and its Ordinances adopted pursuant thereto, to enter into agreements and to contract for goods and services; and

WHEREAS, the Mayor and the City Council of the City seek to ensure that the City is run effectively and efficiently; and

WHEREAS, the Mayor and the City Council of the City, seeks the **ROBINSON ENGINEERING** for the **PROFESSIONAL SERVICES FOR COMMUNITY RATING SYSTEM ADMINISTRATION**; and

WHEREAS, these services are necessary to maintain and promote an effective and efficient City Government; and

WHEREAS, after diligent review of the qualifications and services of **ROBINSON**, the Mayor and the City Council find **ROBINSON** is the most qualified firm to perform the duties sought by the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF WOOD DALE, DUPAGE COUNTY, AN ILLINOIS CORPORATION, as follows:

SECTION 1: The recitals set forth above are incorporated herein and made a part hereof.

SECTION 2: The Mayor is authorized to execute said Agreement on behalf of the City of Wood Dale, which signature shall be attested to by the City Clerk.

SECTION 3: The City Manager, staff and/or the City Attorney shall take the steps necessary to put the terms and conditions of the Agreement into effect.

SECTION 4: That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 5: That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this **20 day of June, 2019.**

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this **20 day of June, 2019.**

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk



Municipal Expertise. Community Commitment.

Sean P. Kelly, PE, CFM
Direct Line: (815) 412-2704
Email: skelly@reltd.com

May 10, 2019

City of Wood Dale Public Works
720 N. Central Avenue
Wood Dale, IL 60191

Attention: Mr. Alan Lange, Director of Public Works

RE: Professional Services for Community Rating System (CRS) Administration

REL# 17-R0638.01

Dear Mr. Lange:

Robinson Engineering, Ltd. (REL) appreciates the ability to serve the City of Wood Dale in various aspects of stormwater and floodplain management, and as requested, we are submitting this proposal to you to help City staff with management and administration of the City's Community Rating System (CRS) activities, documentation, and administration throughout the next year. We have spent a good deal of time reviewing the City's records, and we understand that the City is a Class 5 community within the CRS Program of the National Flood Insurance Program (NFIP), which means that flood insurance policyholders with property in the Special Flood Hazard Area receive a 25% discount on their flood insurance premiums. This is remarkable, because only 13 of the 1,444 communities in the CRS program have achieved a better class rating. It is our understanding that the City wishes to maintain their Class 5 certification.

In 2018, the City completed their annual recertification; however, per correspondence with personnel from the Insurance Services Office – Community Rating System (ISO /CRS) the City is due for a Cycle Verification visit in 2019. Tentatively this visit will take place between June 1st and November 30, 2019 (final scheduling to be coordinated by the ISO/CRS specialist). As part of this visit, the existing CRS application/paperwork needs to be updated using the current 2017 NFIP-CRS coordinator's manual.

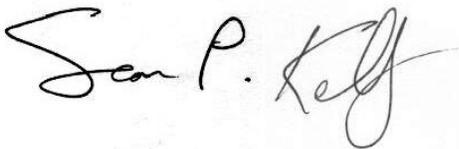
REL has a highly qualified team of professionals who will be dedicated and fully accessible throughout the year to ensure that the required activities are completed within our office or by the City's Public Works and Community Development staff. Our team will be directed by Melanie K. Arnold, PE and Sean P. Kelly, PE, CFM, who have over 35 years of combined experience in providing municipal stormwater management services. Experienced professionals from our GIS department will also work behind the scenes to provide the mapping services associated with the CRS activities, as needed,

We have included an estimate of hours for REL to administrate the CRS activities for which the City has earned points in the program in the past. Below are the estimated hours for **one year** of CRS maintenance and administration (beginning on the date this proposal is signed) including the cycle verification visit scheduled for summer/fall 2019. Please note that this does not include services associated with a future annual recertifications. We can provide a proposal for the additional activities associated with the annual re-certification when the next re-certification date is determined (likely early 2020).

CRS Activity	Hours	Cost
200 Series - Cover Page and Program Data Table	8	\$1,080.00
300 Series - Elevation Certificates, Map Information Service, Outreach Projects, Flood Protection Information	25	\$3,412.00
400 Series - Floodplain Mapping, Open Space Preservation, Higher Regulatory Standards, Flood Data Maintenance, Stormwater Management	45	\$5,896.00
500 Series - Repetitive Loss Category, Acquisition and Relocation, Drainage System Maintenance	20	\$2,592.00
Meetings with City staff & ISO, Project coordination and Administration	20	\$2,885.00
Total Hours/Not-to-Exceed Cost	118	\$15,865.00

We have attached a copy of our Standard Terms and Conditions to this letter. Please sign and date this proposal along with the attached Standard Terms and Conditions as authorization to proceed. We thank you for the opportunity to submit this proposal, and look forward to continuing to serve you and the City of Wood Dale on this important effort in good floodplain management.

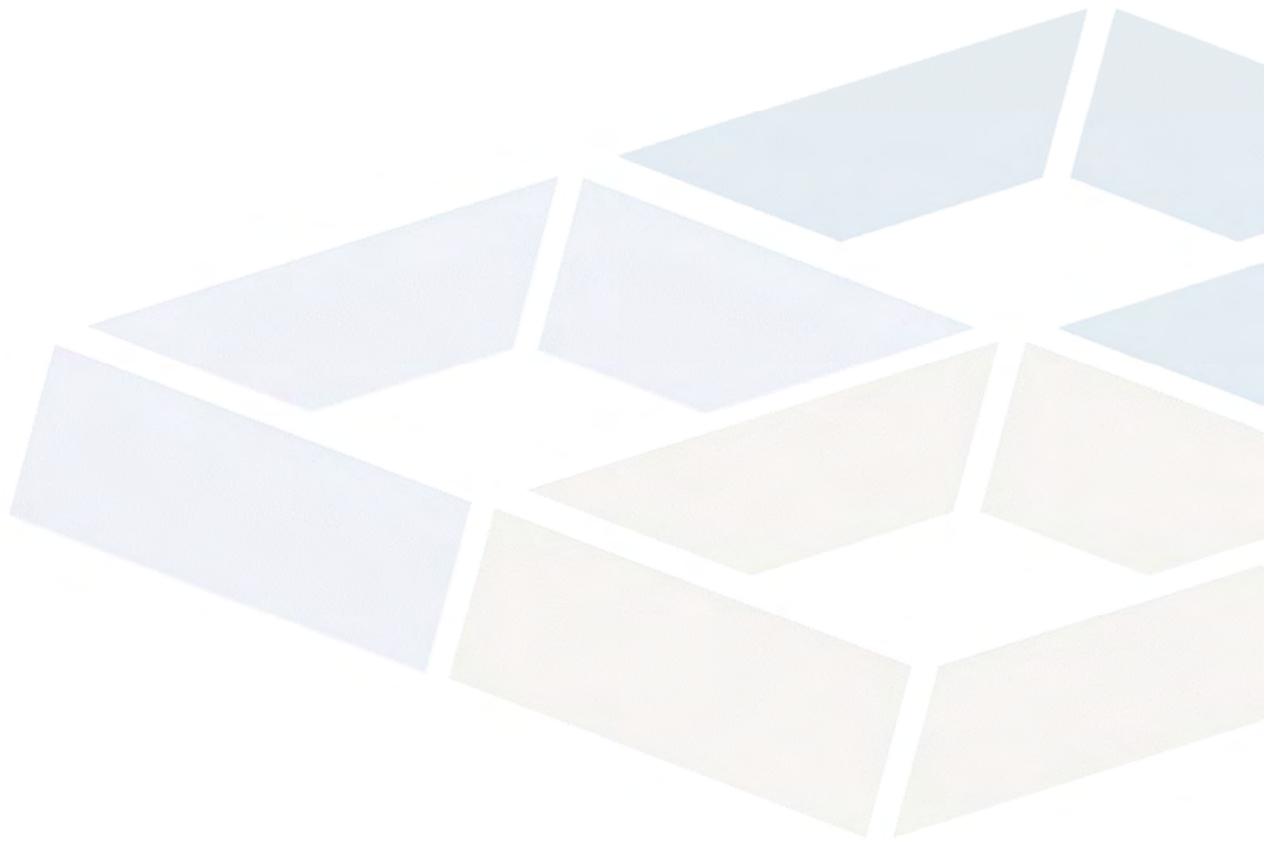
Very truly yours,
ROBINSON ENGINEERING, LTD.



Sean P. Kelly, CFM
Senior Project Manager

ACCEPTED THIS _____ DAY OF _____ 2019:

CITY OF WOOD DALE, IL:



ROBINSON ENGINEERING, LTD ("REL")

STANDARD TERMS AND CONDITIONS

CONTRACT – These Standard Terms and Conditions may be amended, added to, superseded, or waived only if both REL and Client specifically agree in writing to any amendment of **these Terms and Conditions ("Agreement")**.

STANDARD OF CARE - The standard of care for all professional engineering, survey or related professional services performed or furnished by REL under this Agreement will be the care and skill ordinarily used by members of the same profession practicing under similar circumstances at the same time and in the same locality. REL makes no warranties, express or implied, under this Agreement or **otherwise, in connection with REL's services** on this Project.

RELIANCE – REL may, without liability, rely on the accuracy and completeness of **information provided by Client, Client's consultants and any contractors**, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards without the need for verification.

CHANGES IN SCOPE – **The proposed fees constitute REL's estimate to perform the services required to complete the Project.** However, all required services are not always definable in the initial planning. Accordingly, circumstances may dictate a change in the scope of services to be performed. Where this occurs, changes in the Agreement shall be negotiated, **an equitable adjustment shall be made to REL's compensation and agreed to in writing by REL and Client.**

DELAYS – REL shall complete its obligations within a reasonable time. If, through no fault of REL, such periods of time or dates are changed, or the orderly and **continuous progress of REL's services is impaired, or REL's services are delayed or suspended, then the time for completion of REL's services, and the rates and amounts of REL's compensation, shall be adjusted equitably.**

SUSPENSION & TERMINATION – Client may suspend the Project upon seven (7) **days written notice to REL. If REL's services are substantially delayed through no fault of REL, REL may suspend services after giving seven (7) days written notice to Client.** Either party may terminate this agreement upon thirty (30) days written notice to the other party in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party.

Client shall remain liable for, and shall promptly pay REL for all services rendered to the date of such suspension/termination of services plus suspension/termination charges incurred by REL. Suspension/termination charges include the cost of assembling documents, personnel and equipment rescheduling or reassignment, **and commitments made to others on Client's behalf.**

OPINION OF PROBABLE COSTS - **REL's opinions of probable Construction Cost are to be made on the basis of REL's experience and qualifications and represent REL's best judgment as an experienced and qualified professional generally familiar with the construction industry.** However, since REL has no control over the cost of **labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions,** REL cannot and does not guarantee that proposals, bids, or actual Construction Cost shall not vary from opinions of probable Construction Cost prepared by REL.

REUSE OF PROJECT DELIVERABLES - All design documents prepared or furnished by REL are instruments of service, and REL retains all ownership and property interest (including the copyright and the right of reuse) in such documents, whether or not the Project is completed. Client shall not rely in any way on any Document unless it is in printed form, signed and sealed by REL or one of its Consultants.

RIGHT OF ENTRY – Client agrees to obtain legal right-of-entry on the property when entry to property is required by the work of this Agreement.

ENVIRONMENTAL CONDITIONS OF SITE - **REL's scope of services does not include any services related to any environmental issues related to the site including petroleum, radioactive material, polychlorinated biphenyls (PCBs), hazardous waste, and any substance, product, waste, or other material of any nature whatsoever that is or becomes listed, or regulated by any Federal, State, or local statute, law, rule, regulation, ordinance, resolution, code, order, or decree regulating, relating to, or imposing liability or standards of conduct concerning any hazardous, toxic, or dangerous waste, substance, or material.**

RELATIONSHIP WITH CONTRACTORS – REL shall not at any time supervise, direct, or have control over any contractor's work, nor shall REL have authority over or responsibility for the means, methods, techniques, sequences, or procedures of construction selected or used by any contractor, nor for safety precautions and programs in connection with the contractors' work, nor for any failure of any **contractor to comply with laws and regulations applicable to contractor's work.** REL neither guarantees the performance of any contractor nor assumes responsibility for **any contractor's failure to furnish and perform its work.** REL shall have no authority to stop the work of any contractor on the Project.

LIMITATION OF LIABILITY – **REL's total liability to Client** for any and all claims for damages whatsoever, arising out of or in any way related to the Project or this **Agreement, from any cause or causes, including but not limited to REL's negligence, errors, omissions, strict liability, or breach of contract,** shall be limited as follows: **REL's total liability shall not exceed the lesser of (1) \$1,000,000 (one million dollars) or (2) the remaining limits of any policy of insurance which provides coverage for the Client's cause or causes of action, such remaining limits to be measured as of the date judgment is entered against REL or the date when Client and REL otherwise settle/resolve the cause or causes of action.**

INSURANCE – REL shall maintain insurance coverage for Professional, Commercial **General, Automobile, Worker's Compensation and Employer's Liability** in amounts in accordance with any legal requirements **and REL's business requirements.** Certificates of Insurance shall be provided by REL upon written request.

MUTUAL WAIVER – To the fullest extent permitted by law, Client and REL waive **against each other, and the other's employees, officers, directors, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to the Project.**

GOVERNING LAW, JURISDICTION & VENUE – This Agreement shall be governed by, and construed in accordance with, the laws of the State of Illinois. Further, the parties agree and consent to the exclusive jurisdiction of the courts of the State of Illinois for all purposes regarding this Agreement and that venue of any action brought hereunder shall be exclusively in Cook County, IL.

NON-ENFORCEMENT – **A party's non-enforcement** of any provision shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remainder of this Agreement.

ASSIGNMENT – A party shall not assign its rights or obligations pursuant to this Agreement without the express written permission and consent of the other party. This Agreement shall be binding upon and inure to the benefit of any permitted assigns.

SURVIVAL – All express representations, waivers, indemnifications, and limitations of liability included in this Agreement shall survive its completion or termination for any reason.

THIRD PARTIES - Nothing in this Agreement shall be construed to create, impose, **or give rise to any duty owed by Client or REL to any Contractor, Contractor's subcontractor, supplier, other individual or entity, or to any surety for or employee of any of them.** All duties and responsibilities undertaken pursuant to this Agreement shall be for the sole and exclusive benefit of Client and REL and not for the benefit of any other party.

SEVERABILITY - Any provision or part of the Agreement held to be void or unenforceable under any Laws or Regulations shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Client and REL, who agree that the Agreement shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that expresses the intention of the stricken provision.

STATUTE OF LIMITATIONS – to the fullest extent permitted by law, all causes of action arising under this Agreement shall be deemed to have accrued, and all statutory periods of limitation shall commence to run, no later than the date of Substantial Completion of this Agreement.

CONFLICTS - If a conflict exists between the Agreement provisions and these Standard Terms and Conditions then these Standard Terms and Conditions shall prevail and control.



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Robinson Professional Services
Staff Contact: Brett Garelli, Assistant Public Works Director
Department: Public Works Department

TITLE: A Resolution Approving an Agreement Between the City of Wood Dale and Robinson Engineering for the FY 2020 Management of the Industrial Pre-Treatment Program, NPDES Permit Required Nutrient Studies And Other Design Work in the Not to Exceed Amount of \$202,300

COMMITTEE ACTION FOLLOW-UP ITEMS:

Committee Vote – Passed:8-0

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ Robinson Proposal

RESOLUTION NO. R-19-33

A RESOLUTION APPROVING AN AGREEMENT BETWEEN THE CITY OF WOOD DALE AND ROBINSON ENGINEERING FOR THE FY 2020 MANAGEMENT OF THE INDUSTRIAL PRE-TREATMENT PROGRAM, NPDES PERMIT REQUIRED NUTRIENT STUDIES AND OTHER DESIGN WORK IN THE NOT TO EXCEED AMOUNT OF \$202,300

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a duly organized and existing body politic and corporate governed by the provisions of the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*, and its own duly adopted Municipal Code; and

WHEREAS, the City is authorized and empowered under the Illinois Municipal Code, and its Ordinances adopted pursuant thereto, to enter into agreements and to contract for goods and services; and

WHEREAS, the Mayor and the City Council of the City seek to ensure that the City is run effectively and efficiently; and

WHEREAS, the Mayor and the City Council of the City, seeks the **ROBINSON ENGINEERING** for the **FY 2020 MANAGEMENT OF THE INDUSTRIAL PRE-TREATMENT PROGRAM, NPDES PERMIT REQUIRED NUTRIENT STUDIES AND OTHER DESIGN WORK** ; and

WHEREAS, these services are necessary to maintain and promote an effective and efficient City Government; and

WHEREAS, after diligent review of the qualifications and services of **ROBINSON ENGINEERING**, the Mayor and the City Council find **ROBINSON ENGINEERING** is the most qualified firm to perform the duties sought by the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF WOOD DALE, DUPAGE COUNTY, AN ILLINOIS CORPORATION, as follows:

SECTION 1: The recitals set forth above are incorporated herein and made a part hereof.

SECTION 2: The Mayor is authorized to execute said Agreement on behalf of the City of Wood Dale, which signature shall be attested to by the City Clerk.

SECTION 3: The City Manager, staff and/or the City Attorney shall take the steps necessary to put the terms and conditions of the Agreement into effect.

SECTION 4: That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 5: That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this 20th day of June, 2019.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019.

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

April 29, 2019

City of Wood Dale
404 North Wood Dale Road
Wood Dale, Illinois 60191

Attention: Brett Garelli
WWTP Superintendent

**RE: CITY OF WOOD DALE
Pretreatment Program Engineering Services Calendar Year 2019-2020**

Dear Mr. Garelli:

We appreciate the opportunity to continue to assist the City with its Pretreatment Program. We anticipate that the costs associated with the implementation for the 2019 – 2020 Program. A description of the services associated the implementation of the pretreatment program follows:

PRETREATMENT PROGRAM SCOPE OF SERVICES

TASK 1 – Provide Assistance with Day-To-Day Pretreatment Operations

The day-to-day implementation activities consist of a myriad of specific tasks. These tasks are identified below:

- Coordinate and prepare all correspondence to Permitted Industrial Users, including review of all analytical reports.
- Review permitted Industrial Users correspondence and maintain comprehensive files.
- Coordinate scheduling with the City's contract laboratory for sample collection and analysis; review laboratory data and prepare Permitted Industrial User letters accordingly.
- Prepare data reports on a quarterly basis.
- Prepare quarterly summary of invoices.
- Prepare self-monitoring reports for all Permitted Industrial Users on a semi-annual basis.
- Conduct annual Permitted Industrial User inspections.
- Prepare follow-up letters to Permitted Industrial Users for information required during site inspections.
- Review responses from follow-up letters and prepare any additional follow-up, if required.
- Issue discharge permit applications, review applications, request additional information as necessary.

- Prepare and issue discharge permits.
- Issue spill plan update forms.
- Review spill plans and comment as necessary.
- Update Industrial User database on an annual basis to include information provided by Building Department.
- Review any additional information from the City pertaining to the new Industrial User.
- Forward copies of all necessary documents to the City relating to the new Industrial Users.
- Prepare Annual Pretreatment Program Report.

TASK 2 – Non-Compliance Operations

The tasks identified for the Non-Compliance Operations assistance will be related to only those industrial users not in compliance with the City's Ordinance and Enforcement Response Plan. We will continue to provide the services described below, which will allow the City to maintain compliance with the USEPA requirements.

- Coordinate and prepare all correspondence to the Industrial Users following review of analytical reports or substandard report submissions concerning non-compliant Industrial Users.
- Prepare Notices of Violation for Industrial Users who demonstrate compliance violations. Send correspondence and Notices of Violation to City for signatures.
- Prepare Notices of Reporting Violation for Industrial Users who fail to file timely responses to the analytical Notice of Violations or fail to meet deadlines set by the City. Send correspondence and Notices of Reporting Violation to City for signatures.
- Send notice to the Industrial Users who demonstrate that they have violation of analytical data.
- Prepare "Compliance Meeting" form and data for compliance meetings.
- Attend necessary compliance meetings between the City and IUs.
- Review responses to Notices of Violation and prepare reports and letters related to the instances of non-compliance.
- Track compliance with the City's Enforcement Response Plan.
- Calculate Permitted Non-Compliance Status quarterly for each categorical industrial users.
- Prepare annual publication of Industrial Users that exhibit Permitted Non-Compliance status during the previous year.
- Prepare invoices for each non-compliant industry.

TASK 3 – Pretreatment Program Additional Services

From time to time additional activities are requested to be undertaken by the regulating governmental bodies. Currently, the USEPA is in the early phases of conducting an audit of the City’s pretreatment program. This has largely been a document submittal effort, but the Agency has requested supplemental background information and likely will require additional industrial site visits with representatives of the USEPA with City and REL staff. Other services would include conducting surveys, updating ordinances and evaluating Local Limits.

Fee

Task 1 - Our fee for the efforts described in Task 1 is anticipated to be \$100,000 for the twelve-month beginning May 1, 2019. We will bill monthly for the previous months efforts at our standard hourly rates and for any expenses incurred.

Task 2 – Our fee for the efforts described in Task 2 will be billed under a separate project number at our standard hourly rates as well as for any expenses incurred. These invoices will be segregated to allow the City to use them to obtain reimbursement directly from the non-compliant industry for the associated expenses.

Task 3 – Our fee for the efforts described in Task 3 will be billed under a separate project number at our standard hourly rates as well as for any expenses incurred.

We thank you for this opportunity and look forward to assisting the City of Wood Dale. If this proposal is acceptable please sign below and on the Standard Terms and Conditions page and return one copy to my attention.

If you have any questions or concerns, please do not hesitate to contact me at your convenience.

Very truly yours,

ROBINSON ENGINEERING, LTD.

Steven G. Zehner P.E LEED-AP
Senior Project Manger

ACCEPTED: City of Wood Dale, Illinois

By: _____

Title: _____

Date: _____



Municipal Expertise. Community Commitment.

May 28, 2019

City of Wood Dale
404 North Wood Dale Road
Wood Dale, Illinois 60191

Attention: Brett Garelli
WWTP Superintendent

**RE: CITY OF WOOD DALE
Pretreatment Program Industrial User Survey Assistance**

Dear Mr. Garelli:

The City is required to undertake periodic Surveys of its Non-Residential Users to update its list of Significant Industrial Users. USEPA has requested that the City conduct this Survey. A description of the services associated this task follows:

Assist with an Industrial User Survey

REL will prepare a listing of all non-residential user addresses to send a one-page survey to. The Survey will also be able to be completed online. REL will provide assistance in reviewing the survey results, conducting follow-up with non-respondents and conducting site visits, where warranted. The City has a list of all business license holders and the survey is being sent to each of these parties. REL will use other databases to identify any additional non-residential users to be included in the survey efforts.

The process of supplying the USEPA the information required is straightforward and contains four steps:

1. Survey all non-residential users
2. Review and categorize the responses
3. Prepare a short letter report
4. Submit the findings to the USEPA

REL will visit each of the non-respondents and collect the information required. We will visit each of the non-respondent addresses up to four times in an effort to obtain a completed survey form. A log of each survey will be kept noting the time and date of each contact attempt. We will collect the name and phone number of the individual providing the required information on the survey.

The data collected on the Survey will be used to categorize the non-residential users and determine if there are any additional significant industrial users in the community.

A short letter report will be prepared with this information and sent to the USEPA.

Schedule

We anticipate that this task will take approximately six months to complete upon receipt of the surveys; the project schedule depends upon responsiveness from businesses. Regular updates will be provided to City Staff in the process of soliciting survey completion.

Engineering Fee

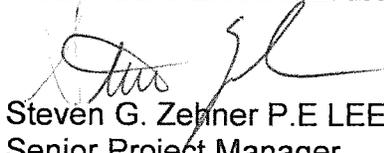
We anticipate the engineering fee for the stated scope of services will be computed on the basis of our hourly billing rates for actual work time performed, Not to Exceed \$40,000. In the event that additional efforts are needed to obtain surveys beyond the efforts stated here-in, additional scope and budget, or alternative strategy will be discussed with City Staff before proceeding.

We thank you for this opportunity and look forward to assisting the City of Wood Dale. If this proposal is acceptable please sign below and on the Standard Terms and Conditions page and return one copy to my attention.

If you have any questions or concerns, please do not hesitate to contact me at your convenience.

Very truly yours,

ROBINSON ENGINEERING, LTD.



Steven G. Zehner P.E LEED-AP
Senior Project Manager

ACCEPTED: City of Wood Dale, Illinois

By: _____

Title: _____

Date: _____



Municipal Expertise. Community Commitment.

Paul R. Ruscko, PE
Direct Line: (224) 908-3981
Email: pruscko@reltd.com

May 13, 2019

City of Wood Dale
404 North Wood Dale Road
Wood Dale, Illinois 60191

Attn: Mr. Brett Garelli, Assistant Public Works Director

RE: Proposal for Professional Engineering Services
2019 WWTP Capital Improvement Projects Design Engineering & Bidding Assistance

Dear Mr. Garelli:

Robinson Engineering, Ltd. (REL) is pleased to present a proposal to perform professional engineering services related to various wastewater treatment plant (WWTP) capital improvement projects. REL appreciates this opportunity to participate in this important project for the City of Wood Dale (City). We take great pride in partnering with our clients to achieve their goals, and sincerely appreciate the opportunity to offer our expertise and dedication on this project.

Included in this proposal are the following: Project Overview, Scope of Services, Payment Terms, and Standard Terms and Conditions. REL's Standard Terms and Conditions should be considered as an integral part of this proposal.

1. PROJECT OVERVIEW

The City of Wood Dale has identified and allocated funding for several capital improvement projects at the South and North WWTPs. At the South WWTP this includes valve replacement and pipe/valve painting in the lower level of the Raw Sewage Pump Station and Chemical Building. At the North WWTP this includes the replacement of the HVAC unit in the Gravity Belt Thickener Building.

2. SCOPE OF SERVICES

A. Project Initiation and Organization Meeting

REL will conduct a project initiation and organization meeting with City staff. This meeting will clarify the key objectives and timeframes established by the City. This initial meeting will (a) confirm the focus and scope of the project; (b) confirm the project schedule, work items and priorities; and (c) identify key project liaisons to establish communication protocols between the City and REL. Successful project implementation will require not only the proper technical engineering expertise and experience, but also pro-active communications to ensure that the City's needs are met.

B. Site Visit

A site visit will be conducted by the project's design engineer. Photographs of the areas in which the proposed improvements are to take place will be taken to document existing conditions. This site visit will supplement any information that City staff provides during our project initiation meeting. It is our strong opinion gained through experience on similar projects that meticulous data gathering, on-site experience, and face-to-face conversations with City staff by the design engineer are key components in a successful design process.

Samples of paint from the piping in the lower level of the Raw Sewage Pump Station and Chemical Building will be taken and analyzed for lead.

C. Preparation of Engineering Plans and Specifications

Based on the above data gathered, the design will proceed and contract documents will be prepared. REL will prepare construction specifications, bidding/contract documents, and an engineer's probable cost of construction. REL will meet with City staff to review the 90% complete design documents. The City's comments will then be integrated to produce final design documents that can be released for bidding.

D. Project Bidding

Once the project is designed, then the project will be bid. REL will assist the City with advertising the project by contacting contractors who typically perform wastewater treatment plant improvement projects. REL will respond to contractor questions during the bidding phase and issue addenda to the contract documents when required. REL will attend the bid opening, prepare the bid tabulation, assist the City in evaluating the bid proposals, and prepare a letter of recommendation for award of the contract.

3. PAYMENT TERMS

For the above scope of services, REL proposes a lump sum fee of \$15,900. This fee is based on our understanding of the project and experience with similar projects.

4. STANDARD TERMS AND CONDITIONS

The Standard Terms and Conditions for this proposal are attached hereto and incorporated herein.

Please let me know how you would like to proceed. Again, we thank you for the opportunity to submit this proposal for your consideration. Please feel free to call me at (224) 908-3981 or email me at pruscko@reltd.com with any questions regarding this proposal, or if any additional information is needed.

Very truly yours,

ROBINSON ENGINEERING, LTD.



Paul R. Ruscko, PE
Senior Project Manager
PRR

ACCEPTED AND APPROVED:

By: _____
Signature

By: _____
Printed Name

Title: _____

Date: _____



Municipal Expertise. Community Commitment.

Steven G. Zehner, PE
Direct Line: (815) 412-2011
Email: szehner@reltd.com

May 1, 2019

City of Wood Dale
404 North Wood Dale Road
Wood Dale, Illinois 60191

Attn: Mr. Brett Garelli, Assistant Public Works Director

RE: Proposal for Professional Engineering Services
 NWWTP Phosphorus Removal Feasibility Study and Phosphorus Discharge Optimization Plan

Dear Mr. Garelli:

Robinson Engineering, Ltd. (REL) is pleased to present a proposal to perform professional engineering services related to completing a Phosphorus Removal Feasibility Study and Phosphorus Discharge Optimization Plan for the City's North Wastewater Treatment Plant (WWTP). REL appreciates this opportunity to participate in this important project for the City of Wood Dale. We take great pride in partnering with our clients to achieve their goals, and sincerely appreciate the opportunity to offer our expertise and dedication on this project.

Included in this proposal are the following: Project Overview, Scope of Services, Payment Terms, and Standard Terms and Conditions. REL's Standard Terms and Conditions should be considered as an integral part of this proposal.

1. PROJECT OVERVIEW

When the IEPA reissued the NPDES permit for the City's North WWTP in July 2018, the permit included Special Condition 16. Within this special condition there are requirements to develop and submit a Phosphorus Discharge Optimization Plan and a Phosphorus Removal Feasibility Study to the IEPA. Therefore, the purpose of this project is to complete these reports for the City. On behalf of the City, we will submit these plans to the IEPA within twenty-four (24) months of the effective date of the renewed NPDES permit (by July 31, 2020) to comply with the reissued NPDES permit requirements.

2. SCOPE OF SERVICES

The Phosphorus Removal Feasibility Study will consist of the following elements:

1. Analyze and review influent, effluent, and sludge data to determine current loading to the North WWTP and actual treatment removal performance. Compare actual North WWTP loading and performance against the design assumptions in the Basis of Design. Evaluate the data on various constituents of the wastewater and identify any limiting parameters.
2. For phosphorus discharge levels of 0.5 and 0.1 mg/L evaluate:
 - a. Chemical phosphorus removal via metal salt addition.

- b. Biological phosphorus removal with full chemical backup system.
3. The alternatives identified above will have varying impacts on clarification/filtration needs, sludge production, chemical needs, etc. Each alternative will identify the improvements needed throughout the North WWTP to implement said alternative.
4. Develop preliminary engineer's opinion of probable construction cost, along with annual operation and maintenance costs for each alternative.
5. Provide an exhibit showing the approximate location and size of the proposed improvements for each alternative.

The Phosphorus Discharge Optimization Plan will consist of the following elements:

1. Investigate North WWTP influent reduction measures.
 - a. Evaluate the phosphorus reduction potential of users.
 - b. Determine which sources have the greatest opportunity for reducing phosphorus.
 - i. Determine whether known sources can adopt phosphorus minimization and water conservation plans.
 - ii. Evaluate implementation of local limits on influent sources of excessive phosphorus.
2. Investigate North WWTP effluent reduction measures.
 - a. Investigate reducing phosphorus discharges by optimizing existing treatment processes without causing non-compliance with permit effluent limitations or adversely impacting stream health.
 - i. Evaluate adjusting the solids retention time for biological phosphorus removal.
 - ii. Evaluate adjusting aeration rates to reduce dissolved oxygen and promote biological phosphorus removal.
 - iii. Evaluate changing aeration settings in plug flow basins by turning off air or mixers at the inlet side of the basin system.
 - iv. Evaluate minimizing impact on recycle streams by improving aeration within holding tanks.
 - v. Evaluate adjusting flow through existing basins to enhance biological nutrient removal.
 - vi. Evaluate increasing volatile fatty acids for biological phosphorus removal.
3. Develop a schedule for the implementation of feasible influent and effluent reduction measures.

The City will provide influent discharge monitoring report (DMR) data, effluent DMR data, and sludge data for the North WWTP, including but not limited to: flow, BOD, TSS, TP, and sludge generation/disposal. The City will also provide the Basis of Design, select "as-built" design drawings for the North WWTP, utility account data, sludge disposal costs, electricity rates, and natural gas rates. The City will collect, analyze, and provide the results from a minimum of five (5) influent and effluent samples for BOD, COD and fCOD that are to be taken on different days.

An electronic copy of each plan will be provided to the City for review and comment. REL will address the any comments received from the City and finalize the plan documents. Two (2) hardcopies and one (1) electronic copy of each final plan will be provided to the City. REL will electronically submit one (1) copy of each plan to the IEPA to comply with the requirements of Special Condition 16 of the City's NPDES permit for the North WWTP.

3. PAYMENT TERMS

For the above scope of services relating to the Phosphorus Removal Feasibility Study, REL proposes a lump sum fee of \$27,900. For the above scope of services relating to the Phosphorus Discharge Optimization Plan, REL proposes a lump sum fee of \$18,500. These fees are based on our understanding of the project and experience with similar projects.

4. STANDARD TERMS AND CONDITIONS

The Standard Terms and Conditions for this proposal are attached hereto and incorporated herein.

Please let me know how you would like to proceed. Again, we thank you for the opportunity to submit this proposal for your consideration. Please feel free to call me at (815) 412-2011 or email me at szehner@reltd.com with any questions regarding this proposal, or if any additional information is needed.

Very truly yours,

ROBINSON ENGINEERING, LTD.

Steven G. Zehner, PE, LEED AP

Senior Project Manager

SGZ/prr

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ACCEPTED AND APPROVED:

By: _____
Signature

By: _____
Print

Title: _____

Date: _____

ROBINSON ENGINEERING, LTD ("REL")
STANDARD TERMS AND CONDITIONS

CONTRACT – These Standard Terms and Conditions may be amended, added to, superseded, or waived only if both REL and Client specifically agree in writing to any amendment of these Terms and Conditions ("Agreement").

STANDARD OF CARE - The standard of care for all professional engineering, survey or related professional services performed or furnished by REL under this Agreement will be the care and skill ordinarily used by members of the same profession practicing under similar circumstances at the same time and in the same locality. REL makes no warranties, express or implied, under this Agreement or otherwise, in connection with REL's services on this Project.

RELIANCE – REL may, without liability, rely on the accuracy and completeness of information provided by Client, Client's consultants and any contractors, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards without the need for verification.

CHANGES IN SCOPE –The proposed fees constitute REL's estimate to perform the services required to complete the Project. However, all required services are not always definable in the initial planning. Accordingly, circumstances may dictate a change in the scope of services to be performed. Where this occurs, changes in the Agreement shall be negotiated, an equitable adjustment shall be made to REL's compensation and agreed to in writing by REL and Client.

DELAYS – REL shall complete its obligations within a reasonable time. If, through no fault of REL, such periods of time or dates are changed, or the orderly and continuous progress of REL's services is impaired, or REL's services are delayed or suspended, then the time for completion of REL's services, and the rates and amounts of REL's compensation, shall be adjusted equitably.

SUSPENSION & TERMINATION – Client may suspend the Project upon seven (7) days written notice to REL. If REL's services are substantially delayed through no fault of REL, REL may suspend services after giving seven (7) days written notice to Client. Either party may terminate this agreement upon thirty (30) days written notice to the other party in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party.

Client shall remain liable for, and shall promptly pay REL for all services rendered to the date of such suspension/termination of services plus suspension/termination charges incurred by REL. Suspension/termination charges include the cost of assembling documents, personnel and equipment rescheduling or reassignment, and commitments made to others on Client's behalf.

OPINION OF PROBABLE COSTS - REL's opinions of probable Construction Cost are to be made on the basis of REL's experience and qualifications and represent REL's best judgment as an experienced and qualified professional generally familiar with the construction industry. However, since REL has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, REL cannot and does not guarantee that proposals, bids, or actual Construction Cost shall not vary from opinions of probable Construction Cost prepared by REL.

REUSE OF PROJECT DELIVERABLES - All design documents prepared or furnished by REL are instruments of service, and REL retains all ownership and property interest (including the copyright and the right of reuse) in such documents, whether or not the Project is completed. Client shall not rely in any way on any Document unless it is in printed form, signed and sealed by REL or one of its Consultants.

RIGHT OF ENTRY – Client agrees to obtain legal right-of-entry on the property when entry to property is required by the work of this Agreement.

ENVIROMENTAL CONDITIONS OF SITE - REL's scope of services does not include any services related to any environmental issues related to the site including petroleum, radioactive material, polychlorinated biphenyls (PCBs), hazardous waste, and any substance, product, waste, or other material of any nature whatsoever that is or becomes listed, or regulated by any Federal, State, or local statute, law, rule, regulation, ordinance, resolution, code, order, or decree regulating, relating to, or imposing liability or standards of conduct concerning any hazardous, toxic, or dangerous waste, substance, or material.

RELATIONSHIP WITH CONTRACTORS – REL shall not at any time supervise, direct, or have control over any contractor's work, nor shall REL have authority over or responsibility for the means, methods, techniques, sequences, or procedures of construction selected or used by any contractor, nor for safety precautions and programs in connection with the contractors' work, nor for any failure of any contractor to comply with laws and regulations applicable to contractor's work. REL neither guarantees the performance of any contractor nor assumes responsibility for any contractor's failure to furnish and perform its work. REL shall have no authority to stop the work of any contractor on the Project.

LIMITATION OF LIABILITY – REL's total liability to Client for any and all claims for damages whatsoever, arising out of or in any way related to the Project or this Agreement, from any cause or causes, including but not limited to REL's negligence, errors, omissions, strict liability, or breach of contract, shall be limited as follows: REL's total liability shall not exceed the lesser of (1) \$1,000,000 (one million dollars) or (2) the remaining limits of any policy of insurance which provides coverage for the Client's cause or causes of action, such remaining limits to be measured as of the date judgment is entered against REL or the date when Client and REL otherwise settle/resolve the cause or causes of action.

INSURANCE – REL shall maintain insurance coverage for Professional, Commercial General, Automobile, Worker's Compensation and Employer's Liability in amounts in accordance with any legal requirements and REL's business requirements. Certificates of Insurance shall be provided by REL upon written request.

MUTUAL WAIVER – To the fullest extent permitted by law, Client and REL waive against each other, and the other's employees, officers, directors, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to the Project.

GOVERNING LAW, JURISDICTION & VENUE – This Agreement shall be governed by, and construed in accordance with, the laws of the State of Illinois. Further, the parties agree and consent to the exclusive jurisdiction of the courts of the State of Illinois for all purposes regarding this Agreement and that venue of any action brought hereunder shall be exclusively in Cook County, IL.

NON-ENFORCEMENT – A party's non-enforcement of any provision shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remainder of this Agreement.

ASSIGNMENT – A party shall not assign its rights or obligations pursuant to this Agreement without the express written permission and consent of the other party. This Agreement shall be binding upon and inure to the benefit of any permitted assigns.

SURVIVAL – All express representations, waivers, indemnifications, and limitations of liability included in this Agreement shall survive its completion or termination for any reason.

THIRD PARTIES - Nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Client or REL to any Contractor, Contractor's subcontractor, supplier, other individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement shall be for the sole and exclusive benefit of Client and REL and not for the benefit of any other party.

SEVERABILITY - Any provision or part of the Agreement held to be void or unenforceable under any Laws or Regulations shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Client and REL, who agree that the Agreement shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that expresses the intention of the stricken provision.

STATUTE OF LIMITATIONS – to the fullest extent permitted by law, all causes of action arising under this Agreement shall be deemed to have accrued, and all statutory periods of limitation shall commence to run, no later than the date of Substantial Completion of this Agreement.

CONFLICTS - If a conflict exists between the Agreement provisions and these Standard Terms and Conditions then these Standard Terms and Conditions shall prevail and control.



REQUEST FOR COUNCIL ACTION

Referred to Council: 6/20/2019
Subject: Stormwater Commission Code Change
Staff Contact: Jeff Mermuys, City Manager
Department: Administration

TITLE: An Ordinance Eliminating the Stormwater Management Commission as Provided for in Chapter 3, Articles 1 And 4 of the City Of Wood Dale Municipal Code

COMMITTEE ACTION FOLLOW-UP ITEMS:

This item was not discussed at committee for a number of reasons. First and foremost there will likely be at least a few legal questions centering on how this transition will impact maintaining all of our Stormwater requirements within DuPage County for being a full waiver community.

RECOMMENDATION:

n/a – However this consolidation/transition has been identified in the strategic plan labeled “Stormwater Committee Roles and Responsibilities”.

BACKGROUND:

The Mission Statement of the Stormwater Management Commission is to minimize potential losses due to periodic flooding including loss of life, loss of property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood protection and relief and impairment of the tax bases, all of which adversely affect the public health, safety and general welfare; and to preserve and enhance the quality of surface waters, conserve economic and natural values and provide for the wise utilization of water and related land resources.

The Stormwater Management Commission continues to meet regularly to address issues that may affect the public health, safety, and general welfare. Over the course of time, roles of this committee may need to be altered in the future as some of the roles

they used to be involved in have transitioned directly to the Council itself or professional Stormwater engineering firms.

ANALYSIS:

In going back and reviewing years of Stormwater Commission agendas of recent vintage, we have discovered a substantial amount of Commission in-efficiencies. The Commission is an advisory committee, so any issues brought forward at the Commission level still needs to be approved at the Committee/Council level. A majority of discussion time revolves around rehashing discussions had at the Committee/Council level or topics that are outside of the mission statement of the Commission.

Research into 37 municipal entities within DuPage County show that there are very few that have separate Stormwater Commissions. Burr Ridge, Downers Grove, and Wood Dale are in the remaining minority with standalone Stormwater Management Commissions/Committees.

Since Stormwater is still an extremely important topic within the City of Wood Dale, moving forward all Stormwater items that need to be discussed at the Committee level can be brought forward under the Public Works Committee (they currently are, this would just be formalizing the process within the code). A separate, subgroup within the Wood Dale for a Greener Tomorrow can meet as relevant Stormwater items may arise. Membership of the subgroup would be the current membership of the former Stormwater Commission.

The City Attorney will be present at the Council meeting for any procedural or legal questions on this transition and all necessary code changes are reflected in the accompanying ordinance(s).

DOCUMENTS ATTACHED

✓ Ordinance

ORDINANCE NO. O-19-020

**AN ORDINANCE ELIMINATING
THE STORMWATER MANAGEMENT COMMISSION
AS PROVIDED FOR IN CHAPTER 3, ARTICLES 1 AND 4
OF THE CITY OF WOOD DALE MUNICIPAL CODE**

WHEREAS, the City of Wood Dale (hereinafter referred to as the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, the City possesses the authority, pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*, to adopt ordinances pertaining to the public health, safety and welfare; and

WHEREAS, the City Council of the City (hereinafter referred to as the “City Council”) is the corporate authority for the City and is authorized by law to exercise all powers and to control the affairs of the City; and

WHEREAS, the City Council possesses full power and authority to approve and pass all necessary ordinances, resolutions, rules and regulations necessary for carrying into effect the objects for which the City was formed, in accordance with the Illinois Municipal Code; and

WHEREAS, pursuant to its authority under the Illinois Municipal Code, 65 ILCS 5/1-2-1, 11-12-12, 11-30-2, 11-30-8, and 11-31-2 and other applicable authority, the City has adopted the *WOOD DALE STORMWATER AND FLOOD PLAIN MANAGEMENT ORDINANCE*, (“Wood Dale Ordinance”), Chapter 17, Article VIII of the *Municipal Code of the City of Wood Dale*, for the purpose of regulating flood plain management and governing the location, width, course, and release rate of all storm water runoff within the City; and

WHEREAS, in furtherance of this authorization, the City has created the Stormwater Management Commission, which is empowered to make recommendations to the City Council regarding alleviation of the stormwater drainage and sanitary sewer problems within the corporate limits of the City, and to serve as the City’s Watershed Committee for the purpose of grant applications; and

WHEREAS, since the creation of the Stormwater Management Commission, the focus of the Commission’s work, has on occasion exceeded its mission statement, which is to focus on potential losses due to periodic flooding, disruption of commerce and governmental services, extraordinary public expenditures for flood protection and relief and impairment of the tax base and to preserve and enhance the quality of surface waters, conserve economic and natural values and to provide for the wise utilization of water and related land resources; and

WHEREAS, while the City and Staff credit the work undertaken by the Stormwater Management Commission, the duties of the Stormwater Management Commission can be better discharged by the City Manager and City Engineer working closely with the Community Development Department Staff and the Community Development Commission, with their respective expertise, whose duties relative to stormwater and drainage are set forth in Chapter 17; and

WHEREAS, the Public Works Committee will include on its Agendas, an item specific to Stormwater Management, under which the Stormwater issues can be discussed, reports given and updates provided; and

WHEREAS, Staff proposes a text amendment to Chapter 3, Article I, eliminating the requirement of appointment of a Stormwater Management Commission, and eliminating Chapter 3, Article IV which sets forth the power and duties, and meeting schedule of the Stormwater Management Commission; and

WHEREAS, the elimination of the Stormwater Management Commission, with the duties of the Commission being assigned to the appropriate Staff Members, will not jeopardize the City's status with DuPage County as a Full-Waiver Community; and

WHEREAS, the City Council of the City of Wood Dale has reviewed the eliminating the Stormwater Management Commission and has determined that having the duties and responsibilities of the Stormwater Management Commission to be discharged by the appropriate Staff Members, with the requisite expertise, is in the best interests of the citizens of the City of Wood Dale.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That the text of Chapter 3, Article I be amended to state as follows:

Sec. 3.106. Appointment Of Members To Boards And Commissions.

...

B. Members of the following boards and commissions shall be appointed, and the Chairperson designated annually, by the Mayor, subject to confirmation by the City Council:

1. Board of Fire and Police Commissioners.
2. Building Code Board of Appeals.

3. Community Development Commission.
4. ~~Stormwater Management Commission~~ [RESERVED]
5. Streetscape and Economic Enhancement Committee.
6. Wood Dale for a Greener Tomorrow Committee.

SECTION THREE: That the text of Chapter 3, Article IV be eliminated in its entirety.

SECTION FOUR: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

Published in pamphlet form June 20, 2019



REQUEST FOR COUNCIL ACTION

Referred to Council: June 20, 2019
Subject: Property Acquisition/Sale
Staff Contact: Jeff Mermuys - City Manager
Department: City Manager's Office

TITLE: A Resolution Authorizing the City of Wood Dale, DuPage County, Illinois, to Sell Municipally Owned Real Estate Commonly Known as 145 Elmwood

RECOMMENDATION:

Pass Resolution

BACKGROUND:

This has been a longstanding item that had previously been authorized to acquire this property for condemnation. The acquisition is at no cost due to certain type of legal acquisition that has been ongoing for about one year now. This is to acquire then sell to developer to build a single family home.

ANALYSIS:

N/A

DOCUMENTS ATTACHED

- ✓ Resolution
- ✓ Memo from Attorney

RESOLUTION NO. R-19-34

A RESOLUTION AUTHORIZING THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, TO SELL MUNICIPALLY OWNED REAL ESTATE COMMONLY KNOWN AS 145 ELMWOOD

WHEREAS, the City of Wood Dale (hereinafter the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*; and

WHEREAS, the City Council of the City (hereinafter referred to as the “City Council”) is the corporate authority for the City and is authorized by law to exercise all powers and to control the affairs of the City; and

WHEREAS, the City Council possesses full power and authority to approve and pass all necessary ordinances, resolutions, rules and regulations necessary for carrying into effect the objects for which the City was formed, in accordance with the Illinois Municipal Code; and

WHEREAS, the City is the owner of certain real property located in the City of Wood Dale, Illinois (hereinafter referred to as the “Real Property”) and legally described in Exhibit “A”, attached hereto and incorporated herein by reference; and

WHEREAS, said Real Property is an abandoned and unsafe single family residence and is commonly identified as 145 Elmwood Avenue, which measures 50 x 150 feet in size and is Zoned R-1 in the City’s Single Family Residence District; and

WHEREAS, the City Council of the City has determined that it is no longer necessary, appropriate, or in the best interest in the City that it retain title to the Real Property; and

WHEREAS, pursuant to the Illinois Municipal Code, 65 ILCS 5/11-76-4.1, the corporate authorities have the power to authorize the sale of surplus public real estate, and to direct the sale of such Real Property to be conducted by the City Manager, assisted by such Staff as he deems necessary ; and

WHEREAS, the City Council has determined that it is in the best interest of the City to dispose of said surplus real property in order to have the unsafe structure on the property demolished and an improved single family home constructed thereon; and

WHEREAS, the City is in receipt of a written Certified Appraisal for the Real Property; and

WHEREAS, said Appraisal serves as the indication of the value of the Real Property; and

WHEREAS, the City Council has determined that the following terms of sale for the Real Property are appropriate:

- a. the minimum Sale Price for the Real Property will be \$_____;
- and
- b. that price which is deemed by the City Manager to be the highest fair cash value the City can expect to receive upon evaluation of current market conditions; and
- c. the use of the Real Property will be restricted to residential use, as defined in the Single Family Residential District in the Code of Ordinances of the City; and
- d. the Purchaser shall be responsible for demolishing the unsafe structure within thirty (30) days of the Closing on the Real Property, after securing the requisite Permits and other authorization for said demolition; and
- e. the Purchaser shall be responsible for the cost of the Appraisal for the parcel of Real Property and all closing costs associated with the sale of the Parcel; and
- f. the Purchaser shall improve, or cause it to be improved, the Real Property with a Single Family Home in accordance with the Code of Ordinances of the City, commencing construction on the Project within forty-five (45) days following the demolition of the structure.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, AS FOLLOWS:

SECTION 1. The recitals set above are incorporated herein and made a part hereof.

SECTION 2. That the Real Property designated herein is hereby declared “surplus”.

SECTION 3. That the City Manager, assisted by such Staff as may in his opinion be necessary, be authorized and directed to sell the Real Property on terms are set forth herein, which are found acceptable by the corporate authorities.

SECTION 4. That upon receipt of an Offer to Purchase the Real Property on terms acceptable to the corporate authorities of the City, the City Manager shall forward said offer to the City Council for its approval.

SECTION 5. That this Resolution shall be published in a newspaper published in the City or County of DuPage immediately following its passage, as required by law.

SECTION 6. That all ordinances and resolutions, or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION 7. That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PASSED this 20th day of June, 2019.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this 20th day of June, 2019.

SIGNED: _____
Annunziato Pulice, Mayor

ATTEST: _____
Shirley J. Siebert, City Clerk

EXHIBIT "A"
Legal Description
145 Elmwood Avenue
Wood Dale, IL 60191
PIN 03-15-125-001

LOT 70 IN JOHN W. THOMPSON AND COMPANY'S ADDITION TO WOOD DALE, BEING A SUBDIVISION OF LOTS 1, 3, AND 4 IN THE PLAT OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF BY M.L. DUNLOP RECORDED JUNE 5, 1849; ALSO SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SAID NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF WOOD DALE RECORDED AUGUST 5, 1927 AS DOCUMENT 240765, IN DUPAGE COUNTY, ILLINOIS



BOND, DICKSON & CONWAY

400 S. Knoll Street, Unit C, Wheaton, Illinois 60187 P 630.681.1000 F 630.681.1020

April 22, 2019

VIA EMAIL TRANSMISSION

Mr. Jeffrey Mermuys
City Manager
City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191

Re: *City of Wood Dale v. Heirs at Law and/or
Legatees of Thomas Heffron, Deceased et al.*
145 Elmwood Avenue
Case No.: 2018 CH 1253
Our File No.: 02-676

Dear City Manager Mermuys:

Kindly consider this correspondence a status update on the 145 Elmwood Avenue Property. The local Builder, who reached out to the City about this Property remains interested in purchasing the house and demolishing it. By having the Builder demolish the house, the City saves the cost of demolition.

The City cannot transfer the Property until we are the Property Owner of Record. A Default Judgment was already entered against all Lien Holders. That Judgment becomes a Final Judgment, by law, after thirty (30) days. The thirty (30) day period expires on May 13, 2019. The matter is being motioned up for May 13, 2019, for the Court to grant the City a Judicial Deed for the Property to the City. In anticipation of the City securing Title to the Property, I have ordered the Appraisal and Survey of the Property, which is required by law. Once we receive the Deed, the Title I ordered on the Property will be ready immediately, which also a legal requirement to the City disposing of the Property.

The City Council, pursuant to the Illinois Municipal Code, will have to authorize the sale of the Property as surplus public real estate. I am providing you with a draft Resolution to that effect for inclusion on the May 16, 2019, City Council Meeting Agenda.

Jeffrey Mermuys

April 22, 2019

Page 2

Should you have any questions regarding this matter, please feel free to contact me.

Very truly yours,

BOND, DICKSON & CONWAY

Patrick K. Bond

Patrick K. Bond



REQUEST FOR COUNCIL ACTION

Referred to Council: June 13, 2019
Subject: List of Bills
Staff Contact: Brad Wilson, Finance Director
Department: Finance

TITLE: List of Bills – 06/13/19

RECOMMENDATION:

The Finance Department recommends that the City Council approve bills for the 06/13/19 City Council meeting in the amount of \$651,432.30.

BACKGROUND:

<u>Fund</u>	<u>Amount</u>
General Fund	\$ 224,524.22
Road & Bridge Fund	\$ 426.01
Motor Fuel Tax Fund	\$ 7,300.95
Tourism Fund	\$ 2,990.00
Narcotics Fund	\$ -
TIF District #1	\$ -
Capital Projects Fund	\$ 122,305.06
Land Acquisition Fund	\$ 1,985.00
CERF	\$ -
Commuter Parking Lot Fund	\$ 332.63
Sanitation Fund	\$ -
Water & Sewer Capital Projects	\$ 27,280.00
Water & Sewer Fund	\$ 264,288.43
Special Service Area Fund	\$ -
Grants Fund	\$ -
Total of all Funds	\$ 651,432.30

Total Number of Checks: 63

Purchases are made in accordance with the City's purchasing policies and procedures manual.

Items of interest:

Aqua-Aerobic Systems (\$21,600.20) – Filters for final effluent process at the NWWTP

Chad Crouch (\$2,815.00) – Reimbursement for fees associated with tapping on to public infrastructure.

H&H (\$9,104.46) – Installation of new bollard lights at City Hall; we were not charged for them to come back and lower the bases on the ones by the entrance

Vehicle Purchases:

There were no vehicle purchases on this list of bills

Committee date:

Council date:

DOCUMENTS ATTACHED

✓ List of Bills

Accounts Payable

Computer Check Proof List

User: bwilson
 Printed: 06/13/2019 - 10:37 AM



CITY OF WOOD DALE

404 NORTH WOOD DALE ROAD
 WOOD DALE, IL 60191-1596

TELEPHONE (630) 766-4900

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor:101325 22629	A Freedom Flag Co. 3 US Flags and 3 State of IL Flags Check Total:	394.95 394.95	06/20/2019	Check Sequence: 1 001-487-44011	ACH Enabled: No
Vendor:102350 16197	A Lamp Concrete Contractors, I Squaw Creek Improvements Check Total:	101,719.20 101,719.20	06/20/2019	Check Sequence: 2 041-000-46034	ACH Enabled: No
Vendor:115100 W1225163 W1225163 W1226781 W1226781	Al Warren Oil Co Inc 846.1 Gals of Unleaded Gas 1451.1 Gals of Diesel 844.7 Gals of Unleaded Gas 611 Gals of Diesel Check Total:	2,096.05 3,514.85 2,168.18 1,419.17 9,198.25	06/20/2019 06/20/2019 06/20/2019 06/20/2019	Check Sequence: 3 001-000-13001 001-000-13001 001-000-13001 001-000-13001	ACH Enabled: No
Vendor:120850 19-0170	Allscape Inc. Landscape Maintenance Check Total:	1,050.00 1,050.00	06/20/2019	Check Sequence: 4 001-488-42106	ACH Enabled: No
Vendor:999027 051019	Jeffrey Andrews Essay Scholarship Check Total:	700.00 700.00	06/20/2019	Check Sequence: 5 009-000-49040	ACH Enabled: No
Vendor:902351 1020062	Aqua-Aerobic Systems, Inc 10 Cloth Socks and 10 Gaskets Check Total:	2,948.70 2,948.70	06/20/2019	Check Sequence: 6 066-420-44015	ACH Enabled: No
Vendor:143600 2082060358	Aramark City Mat Service- May 2019	809.70	06/20/2019	Check Sequence: 7 001-499-42011	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	809.70			
Vendor:154800 147515 147643	Azavar Audit Solutions Nicor Audit- Contingency payment Comcast Audit- Contingency payment Check Total:	56.92 292.55 349.47	06/20/2019 06/20/2019	Check Sequence: 8 041-000-32280 001-499-42001	ACH Enabled: No
Vendor:670500 38707	The Blue Line PD Officer Recruitment Listing Check Total:	645.00 645.00	06/20/2019	Check Sequence: 9 001-477-49044	ACH Enabled: No
Vendor:177375 19-5-1110	Bower Group, LLC Asbestos Inspection- 364-372 E IP Rd Check Total:	1,985.00 1,985.00	06/20/2019	Check Sequence: 10 045-000-46040	ACH Enabled: No
Vendor:177545 150507	Brandon Industries, Inc. PW Street maintenance equipment Check Total:	743.00 743.00	06/20/2019	Check Sequence: 11 041-000-46036	ACH Enabled: No
Vendor:999025 051019	Kyle Cacioppo Essay Scholarship Check Total:	700.00 700.00	06/20/2019	Check Sequence: 12 009-000-49040	ACH Enabled: No
Vendor:184750 052919	Ed Cage ISS Planning Conference per diem Check Total:	96.25 96.25	06/20/2019	Check Sequence: 13 001-422-49004	ACH Enabled: No
Vendor:200100 2019-4	Marilyn Chiappetta Stormwater Mngmt Com., 05/15/19 Check Total:	180.00 180.00	06/20/2019	Check Sequence: 14 001-499-49166	ACH Enabled: No
Vendor:208600 149890 150337 150718 150719 150720 150969	Christopher Burke Engineering Royal Oaks Lift Station Replacement Royal Oaks Lift Station Replacement 107 Montclare Lane 545 Arlene Dr 139 Montclare Lane Royal Oaks Lift Station Replacement	10,317.49 11,543.00 206.84 611.67 81.00 2,604.51	06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019	Check Sequence: 15 065-000-46045 065-000-46045 001-000-22001 001-000-22001 001-000-22001 065-000-46045	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	25,364.51			
Vendor:211600 053119	Joe Cirincione Plumbing Plan Reviews/Inspections- May19 Check Total:	1,710.00 1,710.00	06/20/2019	Check Sequence: 16 001-422-42034	ACH Enabled: No
Vendor:213600 001005717	Clarke Environmental Mosquito Mosquito Management Service Check Total:	9,460.00 9,460.00	06/20/2019	Check Sequence: 17 001-488-42047	ACH Enabled: No
Vendor:223600 1091045118 1248091108 1891117124 1935098099 1977013032 2003164030 2397133276 2720145042 2811168048 3531026055 4578064010 5551084019 5850725106 5850730063 5850739020 6018658025 6102069032	Commonwealth Edison 948 Edgewood 372 Irving Park Rd 970 Lively 387 Preserve 152 Janis Street Lights Clock Tower 121 E Irving Park Lights L/S Street Lights 269 Irving 411 Irving Street Lights 370 Irving Park Rd 376 Irving Park Rd SS Irving 144 Commercial 372 Wood Dale Check Total:	5.77 27.41 38.39 229.77 63.01 190.00 206.89 1,160.43 432.10 9.28 42.10 3,617.83 24.90 18.34 332.63 128.64 970.50 7,497.99	06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019	Check Sequence: 18 008-000-44051 008-000-44051 008-000-44051 066-420-44051 066-412-44051 008-000-44051 008-000-44051 008-000-44051 008-000-44051 008-000-44051 008-000-44051 008-000-44051 008-000-44051 008-000-44051 061-000-44051 066-412-44051 008-000-44051	ACH Enabled: No
Vendor:225650 0206255 0206256	Concentric Integration IT Support Services-PD Time and Material Support Services-WW Check Total:	175.00 140.00 315.00	06/20/2019 06/20/2019	Check Sequence: 19 001-499-42030 066-412-42021	ACH Enabled: No
Vendor:225400 1513513 1513513 1527755 1527755	Conduent State & Local Solutio Camera Fixed Monthly- Jan 2019 Pay by Web Fee- Jan 2019 Pay by Web- May 2019 Camera Fixed Monthly- May 2019	13,990.00 231.25 737.50 13,990.00	06/20/2019 06/20/2019 06/20/2019 06/20/2019	Check Sequence: 20 001-466-42093 001-000-39140 001-000-39140 001-466-42093	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	28,948.75			
Vendor:226725 15018228301 15018246601	Constellation New Energy Street Lights 401 Crestwood Check Total:	377.27 179.74 557.01	06/20/2019 06/20/2019	Check Sequence: 21 008-000-44051 008-000-44051	ACH Enabled: No
Vendor:226850 5869	Construction & Geotechnical Ma Squaw Creek Improvements Check Total:	1,567.00 1,567.00	06/20/2019	Check Sequence: 22 041-000-46034	ACH Enabled: No
Vendor:903850 1	Chad Crouch City Services incentive - 180 Oakwood Check Total:	2,815.00 2,815.00	06/20/2019	Check Sequence: 23 065-000-46046	ACH Enabled: No
Vendor:238450 407	Dahm Enterprises 735 Cubic Yards of sludge removed Check Total:	13,989.00 13,989.00	06/20/2019	Check Sequence: 24 066-420-42054	ACH Enabled: No
Vendor:252350 0001019110-IN	Discovery Benefits, Inc COBRA and FSA Monthly- May 2019 Check Total:	141.83 141.83	06/20/2019	Check Sequence: 25 001-499-42034	ACH Enabled: No
Vendor:271600 01-2300-00	DuPage Water Commission Water Purchase 05/19 Check Total:	163,209.83 163,209.83	06/20/2019	Check Sequence: 26 066-412-44053	ACH Enabled: No
Vendor:272450 274486819051 274486819051	Dynegy Energy Services Wastewater Dept Electric Services Water Dept Electric Services Check Total:	17,855.98 4,053.30 21,909.28	06/20/2019 06/20/2019	Check Sequence: 27 066-420-44051 066-412-44051	ACH Enabled: No
Vendor:275850 1982 1983 22163	EGM, Inc. HVAC Maintenance- 720 Central Ave HVAC Maintenance- 269 W IP Park Plugged drain repair-269 W IP Rd Check Total:	397.00 997.00 359.00 1,753.00	06/20/2019 06/20/2019 06/20/2019	Check Sequence: 28 001-487-42019 066-420-42011 066-420-42011	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor:305100 84947	Forest Awards & Engraving Acrylic star engraved-PD Check Total:	30.00 30.00	06/20/2019	Check Sequence: 29 001-466-49099	ACH Enabled: No
Vendor:315100 012729500	Galls Uniform Allowance Check Total:	58.00 58.00	06/20/2019	Check Sequence: 30 001-466-44021	ACH Enabled: No
Vendor:903845 061119	Jan Gawor Honorary vehicle stickers refund Check Total:	15.00 15.00	06/20/2019	Check Sequence: 31 001-000-35030	ACH Enabled: No
Vendor:341200 32903	H&H Electric Co Bollard Light Installation Check Total:	9,104.46 9,104.46	06/20/2019	Check Sequence: 32 041-000-46037	ACH Enabled: No
Vendor:334600 052019 062019	Hahn and Associates Ltd Wood Dale Social Services- May 2019 Wood Dale Social Services- June 2019 Check Total:	1,185.00 1,185.00 2,370.00	06/20/2019 06/20/2019	Check Sequence: 33 001-466-42037 001-466-42037	ACH Enabled: No
Vendor:337600 4503476 4507975	Hawkins Inc WW Chemical Supplies WW Chemical Supplies Check Total:	701.22 699.76 1,400.98	06/20/2019 06/20/2019	Check Sequence: 34 066-420-44063 066-420-44063	ACH Enabled: No
Vendor:345100 6174707052619	Hinckley Springs Water Co Lab Water Delivery Check Total:	25.14 25.14	06/20/2019	Check Sequence: 35 066-420-44061	ACH Enabled: No
Vendor:618250 126545	HR Green Professional Services, 3/19-4/19 Check Total:	5,380.00 5,380.00	06/20/2019	Check Sequence: 36 041-000-46063	ACH Enabled: No
Vendor:385600 061219 0612191 0612192	IPBC - Intergovernmental Perso Monthly Insurance Premium- July 2019 Monthly Insurance Premium- July 2019 Monthly Insurance Premium- July 2019	139,272.54 12,874.27 13,936.53	06/20/2019 06/20/2019 06/20/2019	Check Sequence: 37 001-499-42061 066-412-40111 066-420-40111	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	166,083.34			
Vendor:409850 30279 32775 32776	Just Safety, Ltd Resupply Medical Kit-Admin Medical Kit Resupply- 144 W Comm Medical Kit Resupply- 269 W IP Rd Check Total:	44.60 33.55 45.10 123.25	06/20/2019 06/20/2019 06/20/2019	Check Sequence: 38 001-499-49043 066-412-44022 066-420-44022	ACH Enabled: No
Vendor:415100 8164	Kathleen W Bono Csr Ltd 895 N Wood Dale Road Adjudication Check Total:	1,397.10 1,397.10	06/20/2019	Check Sequence: 39 001-444-42062	ACH Enabled: No
Vendor:431000 19-16484	LAI, Ltd 105 40lb boxes of Odormix Check Total:	21,705.75 21,705.75	06/20/2019	Check Sequence: 40 066-420-44015	ACH Enabled: No
Vendor:444100 107046020190531	LexisNexis Risk Solutions Person Searches- May 2019 Check Total:	22.75 22.75	06/20/2019	Check Sequence: 41 001-466-44039	ACH Enabled: No
Vendor:460000 9750 9751 9753	Marquardt & Belmonte PC City Prosecutions- May 2019 Admin Hearings- May 2019 DUI Prosecutions- May 2019 Check Total:	1,118.50 260.00 2,643.05 4,021.55	06/20/2019 06/20/2019 06/20/2019	Check Sequence: 42 001-444-42064 001-466-42034 001-444-42064	ACH Enabled: No
Vendor:999026 051019	Hanna Matuszewski Essay Scholarship Check Total:	700.00 700.00	06/20/2019	Check Sequence: 43 009-000-49040	ACH Enabled: No
Vendor:472500 052019 0520191 821762	Jeff Mermuys ICSC Recon Conference ICSC Recon Conference ICSC Recon Conference Check Total:	34.62 21.68 53.44 109.74	06/20/2019 06/20/2019 06/20/2019	Check Sequence: 44 001-411-49005 001-411-49005 001-411-49005	ACH Enabled: No
Vendor:492225 052919	Renee Mosier Return of Towing Admin Fee Check Total:	600.00	06/20/2019	Check Sequence: 45 001-000-36080	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	600.00			
Vendor:509500	Nicor Gas			Check Sequence: 46	ACH Enabled: No
21347800001	269 Irving-A	1,396.58	06/20/2019	066-420-44052	
28882900005	Royal Oaks	282.76	06/20/2019	002-000-44052	
55400900001	412 Park	90.86	06/20/2019	066-412-44052	
59430900007	180 Brookhurst	11.85	06/20/2019	066-420-44052	
61032393516	890 Lively	29.53	06/20/2019	066-412-44052	
6863454192	144 Commercial	165.32	06/20/2019	066-412-44052	
69653763057	256 Mittel	29.53	06/20/2019	066-420-44052	
77616386478	331 Edgewood	39.81	06/20/2019	066-412-44052	
99560406466	429 Knollwood	29.53	06/20/2019	066-412-44052	
	Check Total:	2,075.77			
Vendor:191100	Pace Suburban Bus			Check Sequence: 47	ACH Enabled: No
547101	Pace bus services, May 2019	100.00	06/20/2019	009-000-42038	
	Check Total:	100.00			
Vendor:307600	Petty Cash - Police Dept			Check Sequence: 48	ACH Enabled: No
060719-01	Training and Education	18.36	06/20/2019	001-466-42089	
060719-02	Detective Expenses	48.00	06/20/2019	001-466-44039	
060719-03	Prisoner Food	5.74	06/20/2019	001-466-44043	
060719-04	Conferences/Meetings	3.98	06/20/2019	001-466-49004	
	Check Total:	76.08			
Vendor:577500	Ray O'Herron Co Inc			Check Sequence: 49	ACH Enabled: No
1929499-IN	Uniform Allowance	79.99	06/20/2019	001-466-44021	
1930072-IN	Uniform Allowance	115.29	06/20/2019	001-466-44021	
1931240-IN	Uniform Allowance	204.99	06/20/2019	001-466-44021	
1931241-IN	Uniform Allowance	164.95	06/20/2019	001-466-44021	
	Check Total:	565.22			
Vendor:903795	Carolyn Rudolph			Check Sequence: 50	ACH Enabled: No
052019	Rear yard drainage reimbursement	300.00	06/20/2019	041-000-46056	
	Check Total:	300.00			
Vendor:608250	Sams Club Direct			Check Sequence: 51	ACH Enabled: No
0402513946541	Council Snacks	81.86	06/20/2019	001-411-49099	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	81.86			
Vendor:901028 060319	Secretary of State, Driver Ser 1 Drivers License Suspension Check Total:	10.00 10.00	06/20/2019	Check Sequence: 52 001-466-49099	ACH Enabled: No
Vendor:655000 165752 165786 166310 166353	Suburban Laboratories Inc Wastewater sample water testing Wastewater sample water testing Wastewater samples Wastewater samples Check Total:	1,992.00 115.00 275.00 195.00 2,577.00	06/20/2019 06/20/2019 06/20/2019 06/20/2019	Check Sequence: 53 066-420-42033 066-420-42033 066-420-42033 066-420-42033	ACH Enabled: No
Vendor:657300 3024 3032	Superior Ground Service, Inc Maintenance Package- June 2019 Brush Collection Program - May 2019 Check Total:	6,668.00 5,850.00 12,518.00	06/20/2019 06/20/2019	Check Sequence: 54 001-488-42046 001-488-42046	ACH Enabled: No
Vendor:664500 86842	Targin Sign Systems, Inc 4 Grand Marshal Signs Check Total:	190.00 190.00	06/20/2019	Check Sequence: 55 009-000-49036	ACH Enabled: No
Vendor:682500 23482 23509 23537	Third Millennium Assoc Inc Utility Bill Service- May 2019 Vehicle Stickers Mailings 2019 Green Pay Server Fee- May 2019 Check Total:	1,775.12 5,984.09 637.35 8,396.56	06/20/2019 06/20/2019 06/20/2019	Check Sequence: 56 066-412-42032 001-433-42005 066-412-42032	ACH Enabled: No
Vendor:437100 042319 052819 052919 0529191 0529192 060319	Toscas Law Group Building Code/Ordinance Violations,4/23 Railroad Crossing Violations- 05/26/19 Railroad Crossing Violations- 05/28/19 Tow/Seizure Violations- 05/28/19 Building Code/Ordinance Violations-05/28 Railroad Crossings Violations- 05/31/19 Check Total:	775.00 175.00 375.00 650.00 600.00 175.00 2,750.00	06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019 06/20/2019	Check Sequence: 57 001-422-42034 001-466-42034 001-466-42034 001-466-42034 001-422-42034 001-466-42034	ACH Enabled: No
Vendor:696500 100932	Traffic Control & Protection 4 Mary Jane Lane Street Signs	143.25	06/20/2019	Check Sequence: 58 002-000-42040	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	143.25			
Vendor:697501 427957	TransUnion Risk Person Searches - May 2019 Check Total:	198.90 198.90	06/20/2019	Check Sequence: 59 001-466-44039	ACH Enabled: No
Vendor:703700 045266252	Tyler Technologies ERP Implementation Check Total:	3,434.48 3,434.48	06/20/2019	Check Sequence: 60 041-000-46056	ACH Enabled: No
Vendor:721000 9830765538	Verizon Wireless Monthly M2M Charges- May 2019 Check Total:	346.40 346.40	06/20/2019	Check Sequence: 61 066-420-42001	ACH Enabled: No
Vendor:728550 6024	Vortex Technologies, Inc South Plant Excess Flow Meter Project Check Total:	3,164.00 3,164.00	06/20/2019	Check Sequence: 62 066-420-42015	ACH Enabled: No
Vendor:739500 1	Roaring '57s C/ol.papadog West Suburban Shrine Club Memorial Day Parade Honorarium Check Total:	600.00 600.00	06/20/2019	Check Sequence: 63 009-000-49036	ACH Enabled: No
	Total for Check Run:	651,432.30			
	Total Number of Checks:	63			

EXECUTIVE SESSION

June 20, 2019 --- *Tape Recording is the Law!*

Revised

Pursuant to Illinois Open Meetings Act, 5ILCS120/2-1 *et seq.* to discuss:

1. Executive Session Official Minutes (Pursuant to 5ILCS120/2(c)(21))
- 2. Land Acquisition (Pursuant to 5ILCS120/2(c)(5))**
- 3. Land Disposition (Pursuant to 5ILCS120/2(c)(6))**
4. Pending Litigation (Pursuant to 5ILCS120/2(c)(11))
5. Probable Litigation (Pursuant to 5ILCS120/2(c)(11))
6. Collective Bargaining (Pursuant to 5ILCS120/2(c)(2))
7. Personnel (Pursuant to 5ILCS120/2(c)(1))