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FRED BUCHOLZ, RECORDER  
DUPAGE COUNTY ILLINOIS  
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DOCUMENT # R2019-077137

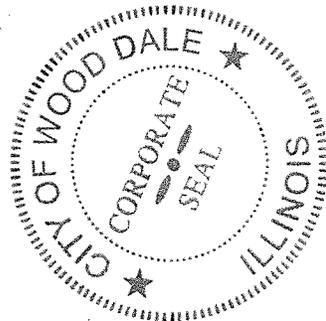
STATE OF ILLINOIS        )  
  ) SS  
COUNTY OF DU PAGE     )

I, Shirley J. Siebert, City Clerk of Wood Dale, Illinois DO HEREBY CERTIFY that as such City Clerk and keeper of the records, that the foregoing is a true and correct copy of Resolution **#R-19-28 A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT FOR PROPERTY COMMONLY KNOWN AS THE WASHINGTON STREET REDEVELOPMENT PROPERTY 640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS**

Passed to the City of Wood Dale, DuPage County, Illinois, IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed the seal of the City of Wood Dale, this 20th day of June, 2019.

  
Shirley J. Siebert, City Clerk

SEAL



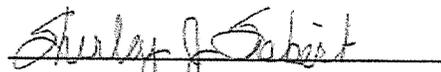
Submitted/Prepared By:  
(Bond, Dickson & Conway)  
Mary E. Dickson  
400 S. Knoll Street, Unit C  
Wheaton, IL 60187

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STATE OF ILLINOIS        )  
  ) SS  
COUNTY OF DU PAGE     )

I, Shirley J. Siebert, City Clerk of Wood Dale, Illinois DO HEREBY CERTIFY that as such City Clerk and keeper of the records, that the foregoing is a true and correct copy of Resolution **#R-19-28 A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT FOR PROPERTY COMMONLY KNOWN AS THE WASHINGTON STREET REDEVELOPMENT PROPERTY 640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS**

Passed to the City of Wood Dale, DuPage County, Illinois, IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed the seal of the City of Wood Dale, this 20th day of June, 2019.

  
Shirley J. Siebert, City Clerk

SEAL



**RESOLUTION NO. R-19-28**

**A RESOLUTION AUTHORIZING THE EXECUTION  
OF AN ANNEXATION AGREEMENT FOR PROPERTY  
COMMONLY KNOWN AS  
THE WASHINGTON STREET REDEVELOPMENT PROPERTY  
640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS 00191**

**WHEREAS, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C. ("CH REALTY")** is the owner of a certain property, bearing the common address (upon annexation) of 640 N. Central Avenue, Wood Dale, Illinois, and described as follows:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

**WHEREAS**, it is in the best interests of the City of Wood Dale, County of DuPage, State of Illinois, that a certain Annexation Agreement pertaining to the annexation and use of the Subject Property, be entered into; and

**WHEREAS**, CH REALTY is ready, willing and able to enter into that Annexation Agreement and to perform the obligations as required thereunder; and

**WHEREAS**, upon annexation, the Subject Property will be zoned R-1 Estate Residential District; and

**WHEREAS**, pursuant to the Annexation Agreement, CH REALTY seeks to consolidate the Subject Property into one zoning lot with the vacation of Washington Street; to rezone the Subject Property to Business Park Sub-area of the Thorndale Corridor Corporation Overlay District (applying Block H development standards) with underlying I-1 Light Industrial zoning, and to secure a Special Use Permit for a Planned Unit Development to allow for the establishment of a single light industrial building; and

**WHEREAS**, the statutory procedures provided for in the Illinois Municipal Code, 65 ILCS 5/11-15.1-1, for the execution of the Annexation Agreement have been fully complied with, including, but not limited to the notice of, and public hearing concerning, the entry into the Annexation Agreement; and

**WHEREAS**, the Corporate Authorities have considered the terms and provisions of the proposed Annexation Agreement, and deem it advisable to execute.

**NOW, THEREFORE, BE IT ORDAINED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS:**

**SECTION ONE:** The recitals set forth above are incorporated herein and made a part hereof.

**SECTION TWO:** That the Mayor and the City Clerk be and the same are hereby authorized and directed to execute the Annexation Agreement heretofore incorporated herein as Exhibit A, to govern the zoning, use and development of the Subject Property, by and on behalf of the City of Wood Dale.

**SECTION THREE:** That the City Clerk of the City of Wood Dale be and is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published, and that she is further directed to file a copy of this Ordinance and Annexation Agreement attached thereto with the DuPage County Clerk and with the DuPage County Recorder.

**SECTION FOUR:** The Mayor, City Manager, staff, and/or the City Attorney shall take all the steps necessary to carry out the terms of the Annexation Agreement.

**SECTION FIVE:** All ordinances and resolutions or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

**SECTION SIX:** This Resolution shall be in full force and effect from and after its adoption, approval, and publication in pamphlet form as provided by law.

PASSED this 20th day of June, 2019

AYES: 7

NAYS: 0

ABSENT: 2

APPROVED this 20th day of June, 2019

SIGNED: Annunziato Pulice  
Annunziato Pulice, Mayor

ATTEST: Shirley J. Siebert  
Shirley J. Siebert City Clerk

Published in pamphlet form: June 20, 2019

EXHIBIT A

ANNEXATION AGREEMENT

**CITY OF WOOD DALE, ILLINOIS**  
**ANNEXATION AGREEMENT**

**CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C.**

**THIS ANNEXATION AGREEMENT** (“Agreement”) is made and entered into this 20th day of June, 2019, by and between the **CITY OF WOOD DALE**, an Illinois Municipal Corporation, DuPage County, Illinois (“City”) and **CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C.**, A Delaware Limited Liability Company (“Owner”) (referred to herein collectively with the City as the “Parties”).

**RECITALS**

**WHEREAS**, Owner is the owner of record of various parcels collectively legally described in Exhibit A currently comprising approximately 9.663 acres, attached hereto and by this reference, incorporated herein (“Subject Property”);

**WHEREAS**, the Subject Property is presently situated within the unincorporated area of DuPage County; and

**WHEREAS**, the Subject Property is not within the corporate limits of any municipality and is contiguous to the corporate limits of the City; and

**WHEREAS**, pursuant to 65 ILCS 5/11-15.1-1 et seq., as amended, the Parties have the authority to enter into this Agreement and desire to do so; and

**WHEREAS**, the Subject Property is presently comprised of twenty (20) lots of record improved for residential use or unimproved and vacant; and

**WHEREAS**, the Owner intends to, through a Final Plat of Subdivision and street vacation as described herein, consolidate the lots into one zoning lot and lot of record, which shall then be rezoned to the Business Park sub-area of the Thorndale Corridor Corporate Overlay District (with application of the Business Park Block H development standards to the Subject Property) with underlying I-1 Light Industrial zoning to allow, through the special use Planned Unit Development approval process, for the establishment of a light industrial building constructed of precast concrete, glass and steel totaling 159,170 square feet (the “Project”); and

**WHEREAS**, the Owner is desirous of annexing the Subject Property to the City pursuant to the terms and conditions hereinafter set forth; and

**WHEREAS**, the annexation of the Subject Property shall extend the corporate limits of the City to the far side of any adjacent highway not heretofore annexed to any other municipality; and

**WHEREAS**, it is the desire of the City and Owner that the use and any further development of the Subject Property as an industrial building proceed subject to this Agreement

and all other ordinances and codes of the City, except as the same may be modified as described herein as part of a Planned Unit Development (a Special Use within the Business Park Sub-area of the Thorndale Corridor Corporate Overlay District with underlying I-1 light industrial zoning) applied to the Subject Property or otherwise; and

**WHEREAS**, the Owner has filed with the City Clerk of the City a petition for annexation signed by the Owner of Record of the Subject Property and all electors that resided within the Property at the time said petition was filed; and

**WHEREAS**, the Subject Property is depicted on the plat attached hereto and incorporated herein by reference as Exhibit B ("Plat of Annexation"); and

**WHEREAS**, pursuant to the provisions of 65 ILCS 5/11-15.1-1 *et seq.* and 65 ILCS 5/7-1-1 *et seq.*, a proposed form of annexation agreement in substance and in form substantially the same as this Agreement was submitted to the City;

**WHEREAS**, all public hearings, as required by law, have been held by the Community Development Commission of the City, and by the Mayor and City Council of the City (the "Corporate Authorities"), upon the matters covered by this Agreement; and

**WHEREAS**, notices of the proposed annexation have been duly and timely given to all governmental entities and any other parties as required by law; and

**WHEREAS**, the Corporate Authorities of the City, after due and careful consideration, have concluded that the annexation, proposed zoning and continued use of the Subject Property, upon the terms and conditions hereinafter set forth, will be compatible with the planning objectives of the City (including specifically its Comprehensive Plan) and that the annexation of the Subject Property will extend the corporate limits and jurisdiction of the City; will permit orderly growth, planning and development of the City; will increase the tax base of the City; will promote the general welfare of the City; and will enable the City to control the further development of the area and serve the best interests of the City; and

**WHEREAS**, the Owner, in furtherance of the use of the Subject Property, seeks assurances from the City of certain terms and conditions and the continuation thereof for a definite period of time; and

**WHEREAS**, by a favorable vote of at least two-thirds (2/3) of the Corporate Authorities of the City then holding office, a Resolution has heretofore been adopted authorizing the execution of this Agreement.

**NOW, THEREFORE**, in consideration of the foregoing Recitals and in further consideration of the mutual covenants, conditions and agreements herein contained, the Parties hereto agree as follows:

## GENERAL PROVISIONS

### **Section 1: Incorporation of Recitals**

The Parties hereby confirm the truth and validity of the representations and recitations set forth in the foregoing Recitals. The Parties further acknowledge that the same are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this Section 1.

### **Section 2. Applicable Law**

This Agreement is made and entered into by the Parties pursuant to and in accordance with the provisions of 65 ILCS 5/11-15.1-1, *et seq.*, as amended. All terms and conditions of this Agreement and all acts of the City and Owner pursuant to this Agreement are entered into and performed pursuant to all applicable laws and statutes of the State of Illinois.

### **Section 3. Mutual Assistance**

The Parties shall do all things necessary or appropriate to carry out the terms and provisions of this Agreement and to aid and assist each other in furthering the objectives of this Agreement and the intent of the Parties as reflected by the terms of this Agreement, including, without limitation, the giving of such notices, the holding of such public hearings and the enactment by the City of such resolutions and ordinances, the execution of such permits, applications and agreements and the taking of such other actions as may be necessary to enable the Parties' compliance with the terms and provisions of this Agreement and as may be necessary to give effect to the objectives of this Agreement and the intentions of the Parties as reflected by the terms of this Agreement.

## ANNEXATION

### **Section 4. Annexation**

Subject to the provisions of 65 ILCS 5/7-1-8, as amended, the Parties respectively agree to do all things necessary or appropriate to cause the Subject Property to be duly and validly annexed to the City as soon as practicable after the execution of this Agreement, including but not limited to the City's passage and approval of an Ordinance providing for the annexation of the Subject Property. Attached hereto and incorporated herein as Exhibit C is the form of Ordinance providing for the annexation of the Subject Property.

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the City's lawful authority to annex the Subject Property or challenge the method or procedures by or through which the Parties purported to cause the Subject Property to be annexed to the City, the Parties agree that they shall fully cooperate, as provided in Section 3 hereof, to defend such cause of action.

Should a court of competent jurisdiction finally determine that annexation of the Subject Property was defective because of the failure of the Parties to follow a procedural requirement constituting a valid precondition to proper annexation of the Subject Property, the Parties, including the successors and assigns of Owner, agree to promptly cause the Subject Property to be re-annexed to the City in a manner which satisfies all procedural requirements.

The Annexation Ordinance for the Subject Property shall be filed with the DuPage County Clerk and recorded at Owner's expense with the DuPage County Recorder's Office, along with the Plat of Annexation in compliance with Illinois law. The City shall send all notices required by Illinois law to be sent in connection with the enactment of the Annexation Ordinance.

### ZONING/DEVELOPMENT

#### **Section 5. Zoning and related municipal actions**

A. After the passage and approval of the Ordinance annexing the Subject Property ("Annexation Approval"), the Corporate Authorities of the City shall adopt the following ordinances classifying the Subject Property under the provisions of the UDO or otherwise take actions under the UDO or Municipal Code as follows:

1. Immediately after the Annexation Approval, adopting a Resolution approving the Final Plat of Subdivision (the "Subdivision Approval") to (a) consolidate the existing twenty (20) lots into one (1) lot of record; (b) dedicate to the City of Wood Dale not more than seven feet of the eastern property line of the Subject Property for incorporation into dedicated North Central Avenue; and (c) grant to the City various agreed-upon easements. Attached hereto and incorporated herein as Exhibit D is the form of Ordinance providing for approval of the Final Plat of Subdivision of the Subject Property.

2. Immediately after the Annexation Approval, the Corporate Authorities of the City shall adopt an Ordinance providing for the vacation of Washington Street, in the form attached hereto and incorporated herein by reference as Exhibit E, and by such, transferring title to the Washington Street right-of-way to the Owner (the "Washington Street Vacation Approval").

3. Immediately after the Washington Street Vacation Approval, adopting an Ordinance approving a Map Amendment reclassifying the Subject Property from R-1 Estate Residential under the City's UDO to the Business Park Sub-area in the Thorndale Corporate Corridor Overlay District applying the Block H development standards to the Subject Property with underlying I-1 Light Industrial Zoning, in the form of Ordinance attached hereto and incorporated herein as Exhibit F (the "District Rezoning"); and

4. Immediately after approving the District Rezoning, adopting an Ordinance approving a special use permit for the Subject Property as a Planned Unit Development ("PUD"), which Ordinance approving the PUD for the Project shall be in the form that is attached hereto and made a part hereof by reference as Exhibit G. The PUD Ordinance shall specifically state that any use now or hereafter allowed as a permitted use under the Thorndale

Corporate Corridor Overlay District Business Park Sub-area shall be permitted on the Subject Property without necessity of further hearings or zoning relief and, in addition, shall incorporate the following specific deviations from the UDO:

(i). A deviation from Section 17.906 to allow 144 off-street parking spaces to serve the Project instead of the otherwise applicable 240-space off-street parking minimum requirement.

(ii). A deviation from Section 17.607(C)(6)(i)(2) to allow for the location of the northern service drive of the Project notwithstanding the location of any other access drives on the eastern side of Central Avenue.

(iii). A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Central Avenue and 44 feet in width at the roadway line.

(iv). Deviations from Section 17.902(A)(8) to eliminate any requirement for a surface parking zone along the Project's east side and, as well, strict compliance with any "build to line" requirements.

(v). Deviations from Sections 17.502(A)(j)(3) and 17.907(C)(7)(a) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure requirements due to the screening provided by the Project design.

5. Concurrently with approval of the PUD, issuing Major Site Plan approval of the Project within the meaning of Section 17.402 of the UDO.

B. If (i) the Corporate Authorities do not adopt the Subdivision Approval, the Washington Street Vacation Approval, the District Rezoning (including the Map Amendment) and the PUD Ordinance immediately upon annexation of the Subject Property or (ii) the City breaches, in any material respect, or fails to perform any material obligation in a timely manner, any of the City's undertakings or agreements contained in this Agreement, then in either circumstance the Corporate Authorities at the next regularly scheduled meeting that is at least thirty (30) days after the Owner has filed a proper petition pursuant to 65 ILCS 5/7-3-4, shall disconnect the Subject Property from Wood Dale. In such event and thereafter during the term of this Agreement, Wood Dale agrees that it shall only annex the Subject Property upon the filing by the Owner of a new petition for annexation pursuant to 65 ILCS 5/7-1-8 and that it shall not annex the Subject Property pursuant to any other provisions of the Illinois Municipal Code.

## **Section 6. Development**

Subject to final approval by the City Council and/or Corporate Authorities of the various approvals described in Section 5 and the timely issuance by the City of necessary permits, construction on the Project is expected to commence in July 2019 with demolition of the existing structures on the Subject Property. Vertical construction of the Project is expected to take

approximately seven (7) months with substantial completion projected in January 2020 (subject to any adjustments in such expected completion date necessary in light of permit issuance dates and/or any unforeseen circumstances).

Owner and the City agree, in addition, on the following development parameters or understandings in connection with Owner's undertaking of the Project:

(a) Recordation of the Final Plat of Subdivision must occur not later than sixty (60) days following the date of approval of this Annexation Agreement, but need not occur prior to the issuance of a site grading permit for the Project.

(b) During the term (as hereinafter defined), the City will not approve with respect to the Subject Property without Owner's consent a Map Amendment or amendment to the PUD.

(c) Notwithstanding anything to the contrary in the Municipal Code, Project operations, including exterior delivery, loading, trash removal and compaction operations, may occur 24 hours per day. Construction hours shall be governed by Section 12.604 (D) of the Municipal Code.

(d) As part of any text amendment to the provisions of the Thorndale Corridor Corporate Overlay District (Article IX of the UDO) considered by the City subsequent to the date of this Agreement, such text amendment shall include provisions to apply the Block H development standards of the Business Park Sub-area of the District to the Subject Property in such a manner so as not to conflict with the PUD and Major Site Plan approved for the Project and for the elimination of section 17.905 from the UDO.

(e) Notwithstanding anything to the contrary in the UDO, the PUD shall remain in effect in the event of a casualty loss. Further, the special use permit and PUD shall remain in effect notwithstanding any vacancies within the Project so long as the Project improvements remain on the Subject Property. Finally, the PUD will remain in effect notwithstanding any project commencement or completion delays so long as construction commencement pursuant to duly issued permits occurs within 24 months of the Annexation Approval and a certificate of occupancy for the Project is issued within 42 months from Annexation Approval, with such time periods extended for each day that a delay in construction commencement or Project completion is attributable to circumstances beyond the control of the Owner.

(f) The Subject Property and Project at the expiration or termination of this Agreement shall be considered permitted uses or lawfully-existing special uses pursuant to the PUD specifically and UDO more generally, and notwithstanding anything to the contrary in the UDO, no such uses, buildings or structures existing at the date of expiration or termination of this Agreement shall be subject to City-imposed amortization or termination provisions, whether through the UDO or otherwise. This subsection shall specifically survive the expiration or termination of this Agreement and the City specifically acknowledges that the Owner will be relying in good faith on the City's agreement with the terms and conditions of this subsection, and the City shall be estopped from any attempts to hinder or prevent the enforceability of this subsection.

## SEWER AND WATER

### **Section 7. Sewer and Water**

From and after the execution of this Agreement, and provided that Owner is in full compliance with its obligations under this Agreement, Owner shall have the right, upon payment of all applicable connection, inspection, permit and other related charges and fees, to connect the Subject Property to the City's sewer and water systems available on Central Avenue. Owner shall bear all customary costs and expenses relating to such connections.

## APPLICABLE MUNICIPAL STANDARDS

### **Section 8. Codes and Ordinances.**

During the term of this Agreement, the City agrees that except as otherwise provided in this Agreement or the PUD Ordinance, all provisions of the Code and all other applicable City Codes, ordinances, rules, regulations and standards generally in force, from time to time, within the City ("Applicable Codes") shall apply to the Subject Property, except to the extent that the same are superseded by more restrictive standards imposed by other regulatory authorities having jurisdiction and, further, except as the same may be specifically modified by the terms of this Agreement. In the event of any conflict between standards in the Applicable Codes and/or in the standards imposed by other regulatory authorities having jurisdiction, the most restrictive provision shall apply. If any Applicable Code is hereinafter adopted, amended or interpreted so as to be less restrictive upon Owner, its successors or assigns with respect to the development of the Project or to the Subject Property than might be the case under the terms of this Agreement, then, at Owner's option, such less restrictive amendment or interpretation shall control.

## SCHOOL, PARK AND FIRE PROTECTION DISTRICT CONTRIBUTIONS/DONATIONS

### **Section 9. Contributions, Donations**

The Parties agree that the Project shall not be subject to any school, park, fire protection or any other contributions or donations.

## MUNICIPAL FEES

### **Section 10. Municipal Fees**

Owner agrees it shall pay to the City all fees assessed for annexation and development of the Subject Property to the City. Such fees shall include the City's attorneys incurred in the drafting and review of the Agreement. All fees assessed are included in the City's Master Fee Schedule, available at <http://www.wooddale.com/government/master-fee-schedule>.

## MISCELLANEOUS PROVISIONS

### **Section 11. Notices**

All notices hereunder shall be in writing and must be served either personally or by registered or certified mail, postage prepaid to:

The City at:                   City of Wood Dale  
404 N. Wood Dale Road  
Wood Dale, IL 60191  
Attn: City Manager

With a copy to:               Bond, Dickson & Conway  
City Attorneys  
400 S. Knoll Street, Unit C  
Wheaton, IL 60187  
Attn: Patrick K. Bond  
e-mail: [patrickbond@bond-dickson.com](mailto:patrickbond@bond-dickson.com)

The Owner at:                CH Realty VIII/I Chicago Washington St. L.L.C.  
3819 Maple Avenue  
Dallas, Texas 75219  
e-mail: [mcolter@crowholdings.com](mailto:mcolter@crowholdings.com)

With a copy to:               Winstead PC  
500 Winstead Buliding  
2728 N. Harwood Street  
Dallas, Texas 75201  
e-mail: [gzimmerman@winstead.com](mailto:gzimmerman@winstead.com)

or to any other person or place which any Party hereto, by its prior written notice, shall designate for notice to it from the other Parties hereto.

### **Section 12. Binding Effect, Term And Amendment**

Except as otherwise herein provided, this Agreement shall be binding upon and inure to the benefit of the Parties hereto, successor Owner of record of the Subject Property, its assigns, lessees and upon any successor for fifteen years (15) years from the date set forth in the first paragraph of this Agreement.

It is hereby understood and agreed that this Agreement is a covenant running with the land and is binding thereon. All persons who take title to any part of the Subject Property shall comply with the provisions of this Agreement. This Agreement may be amended from time to time with the consent of the Parties hereto, pursuant to statute in such case made and published.

**Section 13. Severability**

This Agreement is entered into pursuant to the provisions of 65 ILCS 5/11-15.1-1 *et seq.*, as amended. In the event any part or portion of this Agreement, or any provision, clause, wording or designation contained within this Agreement is held to be invalid by any court of competent jurisdiction, such part, portion, provision, clause, wording or designation shall be deemed to be excised from this Agreement and the invalidity thereof shall not affect the remaining portions hereof.

**Section 14. Enforceability**

This Agreement shall be enforceable in any court of competent jurisdiction by any of the Parties hereto by any appropriate action at law or in equity, including, without limitation, the right of any Party hereto to seek specific performance of the terms hereof.

**Section 15. Survival Or Representations**

Each of the Parties hereto, for themselves, their successors, assigns, heirs, devisees and personal representatives, agrees that the warranties and recitals set forth in the preambles hereto are material to this Agreement, and the Parties hereby confirm and admit their truth and validity and hereby incorporate such representations, warranties and recitals into this Agreement, and the same shall continue during the term of this Agreement. The provisions of this Agreement shall survive the annexation and zoning of the Subject Property by the City, and shall not be merged or expunged by such annexation and zoning.

**Section 16. Gender**

Unless the provisions of this Agreement otherwise require, words imparting the masculine gender shall include the feminine gender; words imparting the singular number shall include the plural; and words imparting the plural shall include the singular.

**Section 17. Captions And Paragraph Headings**

The captions and paragraph headings incorporated herein are for reference only and are not part of this Agreement.

**Section 18. Changes In Regulations**

It is understood and agreed, except as otherwise provided herein, that the various requirements of the Applicable Codes, including all fees and charges provided for therein, shall not be frozen during the term of this Agreement and may, from time to time, be amended, and as amended, shall apply to the Subject Property.

**Section 19. Counterparts**

This Agreement may be executed in any number of counterparts, each of which shall be an original, but such counterparts shall together constitute but one and the same instrument.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date first above written.

**CITY OF WOOD DALE,**  
an Illinois municipal corporation

By: Annunziato Pulice  
Mayor

ATTEST:  
Shirley J. Sobiet  
City Clerk

**CH REALTY VIII/ CHICAGO**  
**WASHINGTON ST., L.L.C.**, a Delaware limited liability company  
By: Fund VIII Managers, L.L.C., a Texas limited liability company  
its manager

By: Matthew E. Colter

Name: Matthew E. Colter  
Title: Vice President

ATTEST:

\_\_\_\_\_  
Corporate Secretary

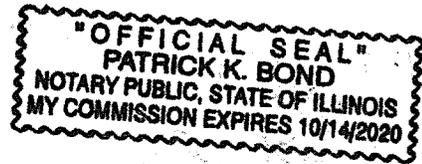


STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DU PAGE )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Annuziato Pulice, Mayor of the City of Wood Dale, and Shirley Seibert, City Clerk of said City, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Mayor and City Clerk, respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 20th day of June, 2019.

Patrick K. Bond  
Notary Public

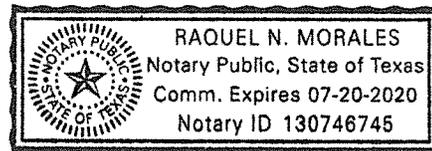


Texas  
STATE OF ~~ILLINOIS~~ )  
 ) SS  
COUNTY OF Dallas )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Matthew E. Colter, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 26 day of August, 2019.

Raquel N. Morales  
Notary Public

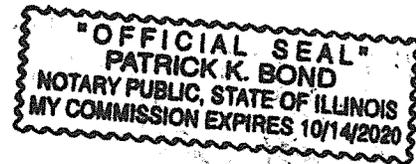


STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DU PAGE )

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Patrick K. Bond  
Notary Public

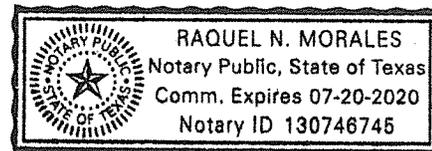


Texas  
~~STATE OF ILLINOIS~~ )  
 ) SS  
COUNTY OF Dallas )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Matthew E. Colter, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 26 day of August, 2019.

Raquel N. Morales  
Notary Public



## LIST OF EXHIBITS

Exhibit A - Legal Description

Exhibit B – Plat of Annexation

Exhibit C - Annexation Ordinance

Exhibit D - Resolution Approving Final Plat of Subdivision

Exhibit E – Ordinance Vacating Washington Street

Exhibit F – Resolution Approving Rezoning

Exhibit G – Ordinance Approving Planned Unit Development

**EXHIBIT A**  
**LEGAL DESCRIPTION**

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

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tabbles

# EXHIBIT

B

## PLAT OF ANNEXATION

TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 AND 20, AND ALL OF WASHINGTON STREET LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF CENTRAL AVENUE, ALL IN WOODDALE HIGHLAND GARDEN LOTS, BEING A SUBDIVISION OF LOTS 10 AND 11 IN ADDISON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NO. 9, BEING A PART OF THE NORTH 1/2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID WOOD DALE HIGHLAND GARDEN LOTS, RECORDED JUNE 17, 1946 AS DOCUMENT 500132, IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 9.663 ACRES, MORE OR LESS.

## Exhibit C



GRAPHICAL SCALE (FEET)  
0 10 20 30  
1" = 40'

### LEGEND OF LINES

- SUBDIVISION BOUNDARY
- ADJACENT BOUNDARY
- UNDERLYING LOT LINE
- RIGHT-OF-WAY
- CENTER OF RIGHT-OF-WAY
- EXISTING CORPORATE LIMITS

180.00' MEASURED DIMENSION  
(180.00' RECORD DIMENSION)

BEARINGS AND DISTANCES SHOWN HEREON REFERENCE THE MEASUREMENTS MADE BY THE SURVEYOR IN THE FIELD. ALL MEASUREMENTS ARE IN FEET (2011 ADJUSTMENT) UNLESS OTHERWISE NOTED. ALL DISTANCES ARE CALCULATED FROM THE POINT OF BEGINNING AND ARE NOT NECESSARILY MEASURED. DISTANCES SHOWN BY THE COMBINATION FACTOR OF 0.999999 ARE AS BROWN ON PLAT ARE APPROX.

NOTE: PARCEL IDENTIFICATION NUMBERS SHOWN ON THIS PLAT ARE AS OF 10/20/2018

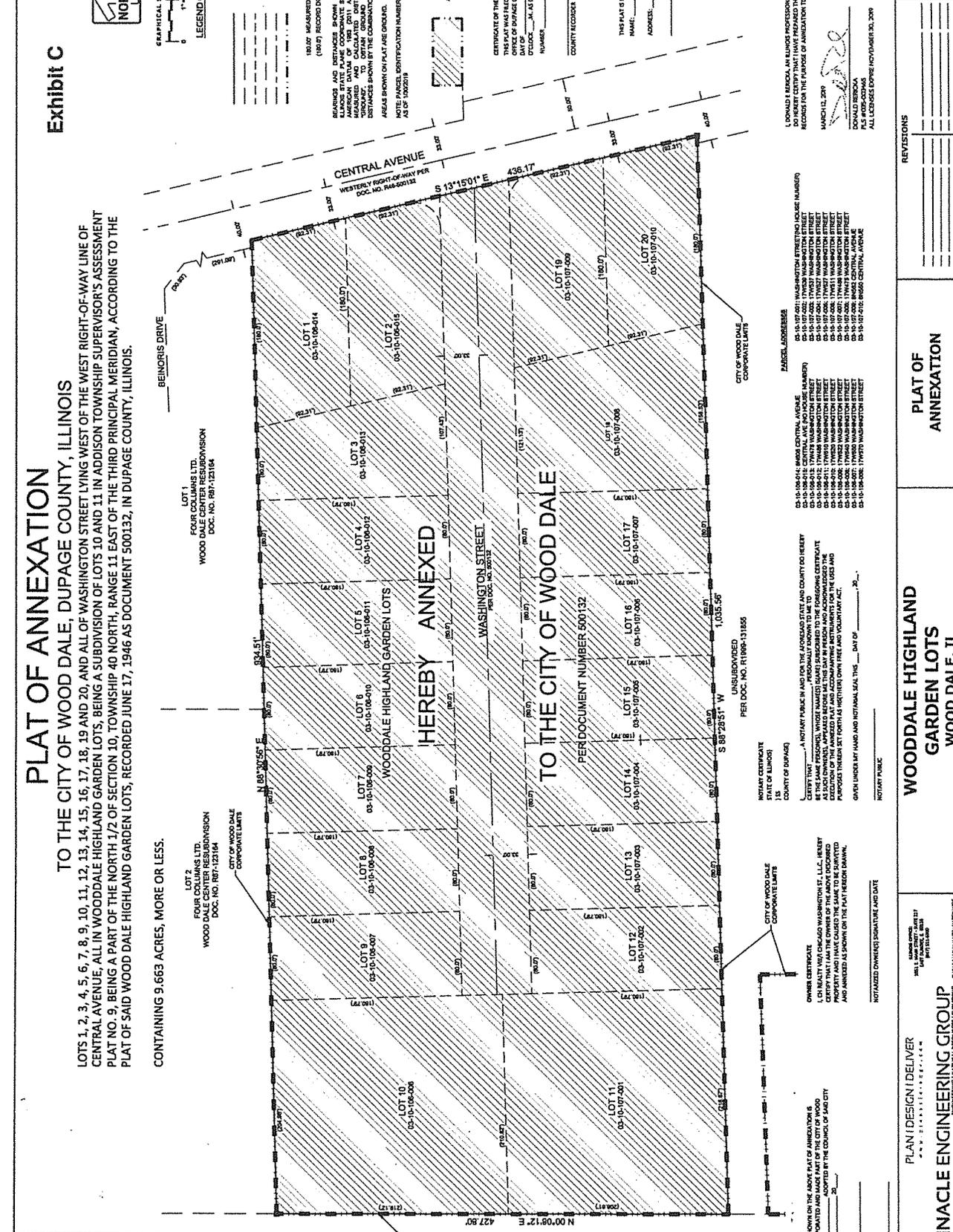
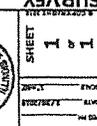
AREA TO BE ANNEXED

CERTIFICATE OF THE COUNTY RECORDS  
OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE RECORDS  
DATE OF RECORDING: \_\_\_\_\_, A.D. AT  
NUMBER: \_\_\_\_\_

COUNTY RECORDS

THIS PLAT IS BEING SUBMITTED BY:  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

DONALD J. BERKOLA, AN ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 344,  
DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM EXISTING PLATS AND  
RECORDS FOR THE PURPOSE OF ANNEXATION TO THE CITY OF WOOD DALE, ILLINOIS.  
MARCH 12, 2019  
DONALD BERKOLA  
ALL RECORDS BEFORE NOVEMBER 30, 2019



REVISIONS	SHEET
	1
	2
	3
	4

PLAT OF ANNEXATION

WOODDALE HIGHLAND GARDEN LOTS WOOD DALE, IL

PLAN DESIGN DELIVER

PINNACLE ENGINEERING GROUP

1111 W. JACKSON ST. SUITE 217  
P.O. BOX 1000  
P.O. BOX 1000  
P.O. BOX 1000  
P.O. BOX 1000

- PARCEL ADDRESS
- 03-10-107-001: 17403 WASHINGTON STREET (NO HOUSE NUMBER)
  - 03-10-107-002: 17403 WASHINGTON STREET
  - 03-10-107-003: 17403 WASHINGTON STREET
  - 03-10-107-004: 17403 WASHINGTON STREET
  - 03-10-107-005: 17403 WASHINGTON STREET
  - 03-10-107-006: 17403 WASHINGTON STREET
  - 03-10-107-007: 17403 WASHINGTON STREET
  - 03-10-107-008: 17403 WASHINGTON STREET
  - 03-10-107-009: 17403 WASHINGTON STREET
  - 03-10-107-010: 17403 WASHINGTON STREET

UNSUBDIVIDED  
PER DOC. NO. R1894-11855  
S 89°28'51" W 1,035.56'  
S 89°28'51" W 1,035.56'

CITY OF WOOD DALE CORPORATE LIMITS

CITY OF WOOD DALE CORPORATE LIMITS

CITY OF WOOD DALE CORPORATE LIMITS

**ORDINANCE NO. O-19-14**

**AN ORDINANCE ANNEXING PROPERTY COMMONLY KNOWN AS THE  
WASHINGTON STREET REDEVELOPMENT PROPERTY,  
640 N. CENTRAL AVENUE TO THE CITY OF WOOD DALE, ILLINOIS**

**WHEREAS, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C. ("Owner")** is the owner of record of the property which bears the common address (upon annexation) of 640 N. Central Avenue, Wood Dale, IL, identified and described as follows:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

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Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

**WHEREAS**, the Owner of the Subject Property has filed with the City Clerk a Petition Under Oath, a copy of which is attached hereto and incorporated herein by reference as Exhibit A, requesting that the Subject Property described herein be annexed to the City of Wood Dale; and

**WHEREAS**, there are no electors residing on the Subject Property as of the date hereof; and

**WHEREAS**, the Subject Property is not within the corporate limits of any municipality, and is contiguous to the corporate limits of the City of Wood Dale; and

**WHEREAS**, the statutes of the State of Illinois provide that upon the filing of such Petition, the Corporate Authorities of the City of Wood Dale ("Corporate Authorities") may pass an ordinance annexing said territory to the City; and

**WHEREAS**, for purposes of said Annexation, Owner and the Corporate Authorities (sometimes collectively referred to as the "Parties") have entered into a certain Annexation Agreement to govern the annexation of the Subject Property; and

**WHEREAS**, pursuant to the terms of the Annexation Agreement, the Corporate Authorities must now adopt an Ordinance authorizing the annexation of the Subject Property to the City of Wood Dale.

**NOW, THEREFORE, BE IT ORDAINED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS** as follows:

**SECTION ONE:** That the recitals set forth herein are incorporated herein by reference.

**SECTION TWO:** That subject to the terms of the Annexation Agreement executed by the Parties, the Subject Property is hereby Annexed to the City of Wood Dale, DuPage County, Illinois, together with all adjacent streets and highways contiguous to said property (if not already within the corporate limits of the City of Wood Dale), so that the new boundaries of the territory annexed shall extend to the far side of the adjacent streets and highways not within the corporate limits of any other municipality.

**SECTION THREE:** That the official map of the City of Wood Dale be amended to reflect the extension of corporate limits of the City of Wood Dale to include the Subject Property described herein and annexed hereby.

**SECTION FOUR:** That the City Clerk of the City of Wood Dale is directed hereto to file in the Offices of the Recorder and County Clerk of DuPage County, Illinois, a certified copy of this Ordinance, together with an accurate map of the territory annexed, as shown in the Plat of Annexation attached hereto as Exhibit B.

**SECTION FIVE:** That the City Clerk of the City of Wood Dale is directed hereto to provide written notification of the annexation of this Subject Property via certified mail to the DuPage County Clerk, Elections Division, 421 N. County Farm Road, Wheaton, Illinois 60187 and to the U.S. Post Office, 27 N. Wood Dale Road, Wood Dale, IL 60191.

**SECTION SIX:** That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published.

**SECTION SEVEN:** That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

**SECTION EIGHT:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

AYES: 7

NAYES: 0

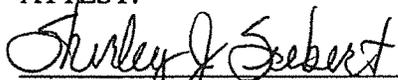
ABSENT: 2

PASSED this 20<sup>th</sup> day of June, 2019

APPROVED this 20<sup>th</sup> day of June, 2019

  
Annunziato Pulice, Mayor

ATTEST:

  
Shirley J. Seibert, City Clerk

Published in pamphlet form June 20, 2019

EXHIBIT A  
PETITION FOR ANNEXATION

**PETITION FOR ANNEXATION  
TO THE CITY OF WOOD DALE  
PURSUANT TO THE PROVISIONS  
OF 65 ILCS 5/7-1-8**

This Petition for Annexation, dated this 19 day of March, 2019, is made by **CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C.**, a Delaware limited liability company (hereinafter referred to as the "OWNER") to the City of Wood Dale, an Illinois municipal corporation (hereinafter referred to as the "CITY").

**WITNESSETH:**

**WHEREAS**, the OWNER is the sole owner of certain real property located in unincorporated DuPage County, Illinois, which is legally described on Exhibit "A" attached hereto and made part hereof (hereinafter referred to as the "PROPERTY"); and,

**WHEREAS**, the PROPERTY is not presently situated within the corporate limits of any municipality; and,

**WHEREAS**, the PROPERTY is contiguous to the corporate limits of the CITY; and,

**WHEREAS**, there are six (6) elector(s) residing upon the PROPERTY, at least fifty- one percent (51%) of whom have executed this Petition for Annexation, with the name(s) of said elector(s) being set forth on Exhibit "B" attached hereto and made part hereof and all of whom reside on the Property pursuant to occupancy licenses expiring not later than April 28, 2019; and,

**WHEREAS**, the OWNER desires to annex the PROPERTY into the CITY; and,

**WHEREAS**, the OWNER is submitting this Petition contingent upon the CITY approval of a mutually agreeable annexation agreement and annexation of the PROPERTY into the CITY shall be subject to the terms and conditions of the Annexation Agreement.

NOW, THEREFORE, the OWNER hereby specifically petitions and requests that the CITY take all necessary and appropriate actions required to annex the PROPERTY into the CITY including, without limitation, holding all required public hearings and providing notification to all required individuals and governmental entities, and that the annexation of the PROPERTY be subject to the terms and conditions of a mutually acceptable Annexation Agreement.

**OWNER:**

**CH REALTY VIII/ CHICAGO  
WASHINGTON ST., L.L.C., a Delaware limited  
liability company**

By: Fund VIII Managers, L.L.C., a Texas limited  
liability company, its manager

By: Ben C Doherty  
Name: Ben C. Doherty  
Title: Vice President

RECEIVED by me this \_\_\_ day of March, 2019.

\_\_\_\_\_  
Shirley Siebert, City Clerk

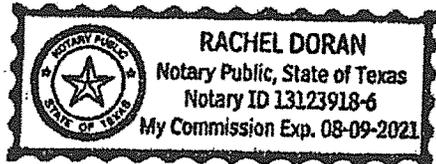
STATE OF Texas ) SS  
                                  ) )  
COUNTY OF Dallas ) SS

This instrument was acknowledged before me on March 19, 2019, by Ben Doherty, a vice president of Fund VIII Managers, L.L.C., a Texas limited liability company, the manager of CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C., a Delaware limited liability company, as the act and deed of such entity.

Rachel Doran  
\_\_\_\_\_  
Name:  
Notary Public in and for  
The State of TEXAS

(Seal of Notary)

My commission expires: 08/09/2021



**See Attached Signature Pages for Electors**

**(Thomas Johnson, Yvonne Reyes Johnson, Alfredo Rodriguez,  
Ruth Rodriguez, Emilio Ochoa and Octavia Ochoa)**

Registered Voters - Electors

61550 Central Ave ; Wood Dale, IL\*

Printed Name: THOMAS J. JOHNSON Signature: *Thomas J. Johnson*

Printed Name: YVONNIE REES-JOHNSON Signature: *Yvonne Rees-Johnson*

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_

Date: February 28, 2019

\* To be completed only by registered voters living at this address. Leave extra lines blank.

Registered Voters - Electors

17511 Washington St., Wood Dale, IL\*

Printed Name: Alfredo Rodriguez Signature: Alfredo Rodriguez

Printed Name: Ruth Rodriguez Signature: Ruth Rodriguez

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_

Date: February 28, 2019

\* To be completed only by registered voters living at this address. Leave extra lines blank.

**Registered Voters – Electors**

**17W486 Washington, Wood Dale, IL\***

Printed Name: Octavia Ochoa

Signature:  As Attorney in fact for Octavia Ochoa

Printed Name: Emilio Ochoa

Signature:  As Attorney in Fact for Emilio Ochoa

Printed Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: February 28, 2019

\* To be completed only by registered voters living at this address. Leave extra lines blank.

**Wendy Freyer**

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**From:** sptlaw <sptlaw@sbcglobal.net>  
**Sent:** Thursday, February 28, 2019 9:16 AM  
**To:** Wendy Freyer  
**Cc:** Kevin Mohoney; Chris Law  
**Subject:** Re: RDC Assemblage Ochoa House Voter status  
**Attachments:** Ochoa O&E 17W486 elector sign page.pdf

**Importance:** High

Wendy,

I was able to confirm that Octavia and Emillo Ochoa are the only registered voters at 17W486 Washington, Wood Dale. Upon consultation with my clients it is believed that the 3 other potential voters were their adult children who have moved out. Buyer's representation is that the info you have below is no longer accurate and that Octavia and Emillo are they only current registered voters residing at 17W486 Washington, Wood Dale.

Attached is the Electors Statement signed by me as attorney in fact. A copy has also been sent directly to my clients

Santo P. Terenzio  
Attorney at Law P.C.  
19 Don Carlos Drive  
Hanover Park, IL 60133  
Office: 630 233 0621  
Fax: 630 672 7177

email: [santo@terenziolaw.com](mailto:santo@terenziolaw.com) or [sptlaw@sbcglobal.net](mailto:sptlaw@sbcglobal.net)

THE INFORMATION TRANSMITTED BY THIS E-MAIL MAY BE CONSIDERED ATTORNEY PRIVILEGED AND CONFIDENTIAL AND IS INTENDED ONLY FOR USE OF THE INDIVIDUAL OR ENTITY TO WHOM IT IS ADDRESSED. IF YOU ARE NOT THE INTENDED RECIPIENT, OR AN AGENT OF THE INTENDED RECIPIENT, YOU SHOULD BE AWARE THAT ANY DISSEMINATION DISTRIBUTION OR COPYING OF THIS COMMUNICATION IS STRICTLY PROHIBITED. IF YOU RECEIVE THIS COMMUNICATION IN ERROR, PLEASE NOTIFY THE SENDER IMMEDIATELY AND DELETE ALL COPIES OF THIS TRANSMISSION. ANY TAX ADVICE CONTAINED HEREIN WAS NOT INTENDED OR WRITTEN BY THE AUTHOR TO BE USED, AND IT CANNOT BE USED BY ANY RECIPIENT, FOR THE PURPOSE OF AVOIDING ANY TAX PENALTIES THAT MAY BE IMPOSED ON ANY PERSON. NOTHING IN THIS EMAIL IS TO BE CONSIDERED LEGAL ADVICE OR CREATE AN ATTORNEY CLIENT RELATIONSHIP UNLESS THE ATTORNEY HAS BEEN RETAINED BY THE RECIPIENT AS EVIDENCED BY AN EXPLICIT AGREEMENT.

On Feb 27, 2019, at 1:46 PM, Wendy Freyer <[wfreyer@dfllaw.com](mailto:wfreyer@dfllaw.com)> wrote:

Hi Santo:

I just discovered that the DuPage County Board of Electors' records indicate that both Emilio Ochoa and Octavia Ochoa are registered voters at this address. In addition, the records show there are three other registered voters living at that address. For privacy reasons they do not disclose those names, but they did confirm that it is not Roberto Ochoa.

Exhibit A

The Property

Address	PIN
6N652 Central	03-10-107-009
6N550 Central	03-10-107-010
17W475 Washington	03-10-107-008
17W489 Washington	03-10-107-007
17W527 Washington	03-10-107-005 and 03-10-107-004
17W539 Washington	03-10-107-002
17W550 Washington	03-10-106-007
17W522 Washington	03-10-106-009
17W520 Washington	03-10-106-010
6N606 Central	03-10-106-015
17W476 Washington	03-10-106-013
17W540 Washington	03-10-106-008
17W510 Washington	03-10-106-011
17W511 Washington	03-10-107-006
17W537 Washington	03-10-107-003
Lot 11 Washington	03-10-107-001
17W570 Washington	03-10-106-006
17W486 Washington	03-10-106-012
6N606 Central	03-10-106-014

Lots 1 through 20 inclusive in Wooddale Highland Garden Lots, Being a Subdivision in the North Half of Section 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded June 17, 1946 as Document 500132, in DuPage County, Illinois.

**Exhibit B**

**Electors**

<b>Address</b>	<b>Electors residing at address</b>
6N550 Central	Thomas Johnson and Yvonne Reyes Johnson
17W511 Washington	Alfredo Rodriguez and Ruth Rodriguez
17W486 Washington	Emilio Ochoa and Octavia Ochoa

EXHIBIT B  
PLAT OF ANNEXATION



**RESOLUTION NO. R-19-29**

**A RESOLUTION APPROVING THE FINAL PLAT OF SUBDIVISION  
TO CONSOLIDATE LOTS FOR PROPERTY COMMONLY KNOWN AS  
WASHINGTON STREET REDEVELOPMENT  
640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS**

**WHEREAS**, the City of Wood Dale (the "City") is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

**WHEREAS**, CH Realty VIII/I Chicago Washington St., L.L.C. ("Petitioner") is the Petitioner in Case No. 2019-CDC-01; and is the owner of the property commonly identified (upon annexation) as 640 N. Central, Wood Dale (collectively the "Property"); and

**WHEREAS**, the Petitioner has requested approval of a Final Plat of Subdivision to consolidate lots into one zoning lot for the improvement of the Property being described as:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range

11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

**WHEREAS**, the application for said lot consolidation was made under Case No. 2019-CDC-01 and was discussed by the Community Development Commission on May 20, 2019, at which time the Community Development Commission recommended approval of the requested lot consolidation; and

**WHEREAS**, the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale reviewed the findings made by the Community Development Commission, and concurred with its recommendation for approval, and referred this matter to the Corporate Authorities for consideration; and

**WHEREAS**, the Corporate Authorities of the City of Wood Dale received the recommendation of the Planning, Zoning and Building Committee and of the Community Development Commission, and reviewed the findings made relative to the application, and upon its consideration, determined to approve the Final Plat of Subdivision.

**NOW, THEREFORE, BE IT RESOLVED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS** as follows:

**SECTION ONE:** The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

**SECTION TWO:** That the Final Plat of Subdivision for the Washington Street Redevelopment, located at 640 N. Central, Wood Dale, Illinois, is hereby approved, as part of the approval of the Special Use Permit for a Planned Unit Development, for the Washington Street Redevelopment and conditions set forth relative thereto.

**SECTION THREE:** That the Mayor, City Clerk, City Treasurer and Community Development Commission Chairman are authorized and directed to sign the Final Plat of Subdivision (attached as Exhibit A) by and on behalf of the City.

**SECTION FOUR:** That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Resolution are, to the extent of such conflict, expressly repealed.

**SECTION FIVE:** That this Resolution shall be in full force and effect from and after its adoption in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: 7

NAYS: 0

ABSENT: 2

APPROVED this 20th day of June, 2019

SIGNED: Annunziato Pulice  
Annunziato Pulice, Mayor

ATTEST: Shirley J. Siebert  
Shirley J. Siebert, City Clerk

EXHIBIT A  
FINAL PLAT OF SUBDIVISION



**ORDINANCE NO. O-19-17**

**AN ORDINANCE VACATING WASHINGTON STREET  
(South of Beinoris Drive between N. Central Avenue and N. Wood Dale Road).**

**WHEREAS**, the City of Wood Dale (the "City") is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

**WHEREAS**, on June 20, 2019, the Corporate Authorities of the City authorized the annexation of certain property ("Property") to the City described as follows:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 14 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

**WHEREAS**, in annexing the Property, the City also annexed a right of way commonly identified as Washington Street, south of Beinoris Drive between N. Central Avenue and N. Wood Dale Road, which provides ingress/egress to the properties identified herein; and

**WHEREAS**, Section 11-91-1 of the Illinois Municipal Code, 65 ILCS 5/11-91-1, provides that the Corporate Authorities of a municipality may by ordinance vacate any street or alley, or part thereof, within their jurisdiction after determining that the public interest will be subserved by said vacation; and

**WHEREAS**, Section 11-91-2 of the Illinois Municipal Code, 65 ILCS 5/11-91-2, provides that upon the vacation of a street, or any part thereof, by virtue of any ordinance of any municipality, title to the land included therein will vest in the then owners of the land abutting thereon; and

**WHEREAS**, CH Realty VIII/I Chicago Washington St., L.L.C. ("CH Realty"), is the owner of the Property, all of which abuts Washington Street to be vacated; and

**WHEREAS**, CH Realty has petitioned the City to vacate said Street as part of its redevelopment of the Property, and to rezone the Property, upon annexation from R-1 Estate Residential to the Business Park Sub-area of the Thorndale Corridor Corporate Overlay District (with application of the Business Park Block H development standards) with underlying I-1 Light Industrial zoning to permit construction of a single industrial building, construction of which incorporates the land upon which the Street lies; and

**WHEREAS**, said vacation will not materially impair access to any property owner; and

**WHEREAS**, the City Council finds that the Street is of no further use to the City; and

**WHEREAS**, the City Council finds that the public interest will be subserved by vacating said Street, particularly when such vacation will serve to allow a major redevelopment of the Property encompassing the Street and considering the relief to the public from further burden and responsibility of maintaining the Street herein vacated; and

**WHEREAS**, the City Council finds that the City and its residents will benefit from the redevelopment of the property encompassing the Street, which development will bring in property tax revenue and employment, and that this benefit is just and adequate compensation for the benefit which will accrue to CH Realty by reason of the vacation of the Street.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS** as follows:

**SECTION ONE:** That the recitals set forth herein are incorporated herein by reference.

**SECTION TWO:** That this Ordinance is hereby passed by the affirmative vote, the "ayes" and "nays" being called, of three-fourths of all the aldermen then holding office (6 of 8) of the City of Wood Dale, at a duly called meeting of the City Council.

**SECTION THREE:** That by this vote, the City Council hereby vacates Washington Street, subject to the terms set forth in this Ordinance as its abuts the Property described herein.

**SECTION FOUR:** Upon vacation of the above described Street, title to the property on which the Street is located shall vest in CH Realty VIII/I Chicago Washington St., L.L.C. While the land abutting the Street has been approved for consolidation into one lot of record, the current permanent index numbers, and addresses of the land abutting the Street described above is currently as follows:

6N652 Central	03-10-107-009
6N550 Central	03-10-107-010
17W475 Washington	03-10-107-008
17W489 Washington	03-10-107-007
17W527 Washington	03-10-107-005 and 03-10-107-004
17W539 Washington	03-10-107-002
17W550 Washington	03-10-106-007
17W522 Washington	03-10-106-009
17W520 Washington	03-10-106-010
6N606 Central	03-10-106-015
17W476 Washington	03-10-106-013
17W540 Washington	03-10-106-008
17W510 Washington	03-10-106-011
17W511 Washington	03-10-107-006
17W537 Washington	03-10-107-003

Lot 11 Washington	03-10-107-001
17W570 Washington	03-10-106-006
17W486 Washington	03-10-106-012
6N606 Central	03-10-106-014

**SECTION FIVE:** That the vacation of Washington Street as depicted on the Final Plat of Subdivision, approved by the Corporate Authorities of the City as Resolution No. R-19-~~21~~<sup>21</sup>, is approved and said Final Plat shall serve to memorialize the vacation of Washington Street as authorized herein.

**SECTION SIX:** That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published, and also to file in the Office of the Recorder of DuPage County, Illinois a certified copy of this Ordinance.

**SECTION SEVEN:** That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

**SECTION EIGHT:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: 7

NAYS: 0

ABSENT: 2

APPROVED this 20th day of June, 2019

SIGNED: Annunziato Pulice  
Annunziato Pulice, Mayor

ATTEST: Shirley J. Siebert  
Shirley J. Siebert, City Clerk

Published in pamphlet form June 20, 2019

**ORDINANCE NO. O-19-15**

**AN ORDINANCE REZONING LAND FROM R-1 ESTATE RESIDENTIAL  
TO BUSINESS PARK SUB-AREA IN THE THORNDALE CORRIDOR CORPORATE  
OVERLAY DISTRICT (640 N. CENTRAL AVENUE)**

**WHEREAS**, the City of Wood Dale (the "City") is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

**WHEREAS**, CH REALTY VIII/I CHICAGO WASHINGTON ST., L.L.C., by and through an agent ("Applicant"), has filed an application for rezoning of property upon annexation, said property being described as:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10,

township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

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Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

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Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

**WHEREAS**, notice of public hearing on the proposed rezoning of the Subject Property under Case Number 2019-CDC-01 was published in the Daily Herald in the time required by law, and all

other notice required by law was made, as required by the ordinances of the City and the Statutes of the State of Illinois; and

**WHEREAS**, on May 20, 2019, the Community Development Commission held a public hearing on the proposed rezoning, and application for a Special Use Permit for a Planned Unit Development; and

**WHEREAS**, the Community Development Commission considered the facts and testimony for Case Number 2019-CDC-01 and determined that the rezoning of the Subject Property from R-1 Estate Residential to Business Park Sub-Area in the Thorndale Corridor Corporate Overlay District (applying Block H development standards) with underlying I-1 Light Industrial zoning as requested by the Applicant, upon annexation to the City, meets the standards of approval for rezoning, and in making its determination, the Community Development Commission adopted the findings of fact provided by staff within the staff memorandum dated May 20, 2019, attached hereto and incorporated by reference as Exhibit A as the findings of the Community Development Commission, and recommended to the City Council approval of Case No. 2019-CDC-01.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS**, as follows:

**SECTION ONE:** The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

**SECTION TWO:** The Subject Property, as described herein is hereby zoned from R-1 Estate Residential District to Business Park Sub-Area in the Thorndale Corridor Corporate District Overlay District (applying the Block H development standards) with underlying I-1 Light Industrial Zoning.

**SECTION THREE:** That the recommendations and findings of fact of the Community Development Commission previously incorporated as Exhibit A, be and the same hereby are adopted as the findings of fact of the City Council.

**SECTION FOUR:** That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

**SECTION FIVE:** That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

**SECTION SIX:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: 7

NAYS: 0

ABSENT: 2

APPROVED this 20th day of June, 2019

SIGNED: Annunziato Pulice  
Annunziato Pulice, Mayor

ATTEST: Shirley J. Siebert  
Shirley J. Siebert, City Clerk

Published in pamphlet form June 20, 2019

EXHIBIT A

STAFF MEMORANDUM DATED MAY 20, 2019

**CITY OF WOOD DALE**  
Community Development



MEMO

DATE: May 20, 2019  
TO: Community Development Commission  
FROM: Ed Cage, AICP, Community Development Director  
SUBJECT: Case No. 2019-CDC-01, Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review for the redevelopment of Washington Street Properties (640 N. Central Avenue)

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**REQUEST**

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An application has been submitted requesting a Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to annex and redevelop the Washington Street Properties (640 N. Central Ave – Formerly 6N606 Central Ave).

**PROPERTY INFORMATION**

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Address: 640 N. Central Avenue (Formerly 6N606 Central Avenue)  
PINs: 03-10-106-014, 006, 007, 008, 009, 010, 011, 012, 013, 015  
03-10-107-001, 002, 003, 004, 005, 006, 007, 008, 009, 010  
Property Size: 9.59 Acres (417,881 square feet)  
Existing Land Use: Residential  
Future Land Use: Industrial Business Park  
Existing Zoning: R-3 Single-Family Residential District (DuPage County)

Surrounding Land Use & Zoning

North: I-1, Industrial  
South: I-1, Industrial  
East: I-1, Industrial  
West: R-4, Medium Density Single Family

## ANALYSIS

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### Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Engineering Improvement Plans (Exhibit A)
- Landscaping Plans (Exhibit B)
- Photometric Plan
- Plat of Annexation (Exhibit C)
- Plat of Subdivision (Exhibit D)
- ALTA/NSPS Land Title Survey (Exhibit E)
- Stormwater Management Report
- Building Floor Plan & Elevations (Exhibit F)
- Project Narrative (Exhibit G)
- Traffic Study
- Fire-Truck and Semi-Trailer Turning Exhibits
- Circulation Diagram
- Kane DuPage SWCD Land Use Opinion

### Project Description

The subject property is 9.59-acres and consists of 20 residential lots and the Washington Street right-of-way. The property is located on the West side of Central Avenue and the subject property is located within unincorporated DuPage County. The 15 vacant residences will be demolished to make way for one new 159,170 square foot Light Industrial Building. The subject property will be annexed and rezoned from unincorporated DuPage County residential to the City of Wood Dale I-1, Light industrial zoning. The subject property will also be brought within the Business Park sub-area of the Thorndale Corridor Overlay.



### **Compliance with the Comprehensive Plan**

The subject property is designated as Industrial/Business Park in the Future Land Use Map of the Comprehensive Plan.

The subject property is proposed to redevelop to a new Industrial building and is consistent with the land uses surrounding the subject property. The subject property is currently in unincorporated DuPage County. One of the goals of the City Council is to annex on a voluntary basis any available properties that abut the City. Per the plan, "The City is expected to continue building on its current strengths with the business park and manufacturing and distribution industries." This is clearly achieved with the annexation and redevelopment of the subject property into an Industrial type use.

As such, the proposed development would support the following Goals and Objectives (with a brief description of how they are being met):

- **Goal 1: Connect Wood Dale Citizens to:**
  - *Objective 2: Increase walking and biking amenities.*
    - Construction of pedestrian sidewalk to connect existing properties along Central Avenue.
  - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale.*
    - The project will attract a broad range of high-quality corporate tenants and the jobs that accompany them.
- **Goal 2: Build Community Capacity:**
  - *Objective 1: Seek opportunities for economic development.*
    - The Special Use and PUD process will support the redevelopment and annexation of the Subject Property which is currently unincorporated and provides limited value to the City in its current state.
  - *Objective 2: Expand job opportunities in the community.*
    - The project will further strengthen the City's industrial base and will be attractive to a range of business and associated jobs.
  - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational facilities.*
    - *The project will add value to the City through the creation of new tax revenues and local jobs.*
- **Goal 3: Embrace Small-Town Charm:**
  - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas.*
    - With the use of attractive building design and extensive landscaping, the project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.
- **Goal 4: Keep Wood Dale Diverse:**
  - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life.*
    - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary

industrial uses that can be located in the City and complement existing industries.”

- **Goal 5: Protect Land Values:**
  - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents.*
    - The Project is consistent with the City’s stated strategy to “Balance land use decisions to maintain strong tax base and minimize property tax burden on residents.”

### **Compliance with the Unified Development Ordinance (UDO)**

The subject property, when annexed, will be brought within the Business Park sub-area of the Thorndale Corridor (TCC) Overlay District with I-1, Light Industrial underlying zoning. The subject property is not located within a floodplain but wetlands are present adjacent to the proposed development. The property, as proposed, will be annexed and is proposed to be re-subdivided into one lot.

#### *Subdivision*

The subject property will be subdivided into one lot – for the proposed building. The proposed one lot will exceed the minimum lot area of two acres. As part of the subdivision, the petitioner is dedicating additional right-of-way (ROW) along the west side of Central Avenue.

Street trees are required according to Sec. 17.703.D.2.d of the Municipal Code.

#### *Allowable Uses*

The proposed user is unknown at this time but will be a warehouse and distribution type user. Warehouse and distribution, as the principal use, is a permitted use in the Business Park sub-area of the Thorndale Corridor Corporate (TCC) District.

A PUD is allowed as a Special Use in the I-1, Light Industrial, Zoning District per the Table of Permitted Uses in Sec. 17.503.P of the Municipal Code. As such, the standards for Special Use, PUD and Major Site Plan Review have been evaluated and are provided for consideration later within this report.

#### *Lot Development Standards*

Being proposed in the Business Park sub-area of the TCC, the Block H Development Framework applies. The following table summarizes the regulations and how the redevelopment meets code requirements. See Exhibits A for detailed plans. Note that regulations ***bold*** indicate where deviations are being requested.

Regulation Type	Required/Allowed	Proposed
a. Building Height	50-feet max.	41-feet.
b. Build to Line	All Principal Buildings must Abut Line	20-feet & Varies due to lot angle
c. Parking Setback	100-feet min.	100-feet.
d. Landscape Buffer		
Central Avenue	20-feet min.	20-feet.

### *Parking and Traffic*

The proposed development will be served by 144 off-street parking spaces. The Thorndale Corridor Overlay Business Park requires 240 off-street parking spaces. Therefore, this requires a deviation. It is important to note that reviewing the regular Unified Development Code, this typically would require 111 off-street parking spaces for such a use. The petitioner has submitted evidence that 144 off-street parking spaces will be sufficient for such an Industrial use. Staff believes that 240 off-street parking spaces is very restrictive and that no logistics/warehouse type use would need that amount of off-street parking.

Access to the redeveloped site is via two driveways, which also provide emergency access on all four sides of the proposed building. The southern driveway is essentially for automobiles and provides access to the off-street parking spaces. The northern driveway, which requires a deviation for its proposed width, would provide access mainly for semi-truck access to the loading dock doors.

Pedestrian traffic can easily traverse the site with a proposed sidewalk along Central Avenue.

It has been recommended and the applicant has illustrated that an additional seven-feet of right-of-way be dedicated to the Central Avenue right-of-way. This would make the Central Avenue right-of-way consistent throughout then Business Park.

A Traffic Impact Study (TIS) was conducted to evaluate the potential impact on adjacent roadways. The summarized findings from that report include the following:

- The proposed development will generate a low volume of traffic during the peak hours and will have a low traffic impact on the surrounding roadway network.
- The results of the capacity analysis indicate that the proposed development traffic will not have a significant impact on the area roadways.
- Providing access to the proposed warehouse/distribution development off Central Avenue at two locations will be adequate in accommodating the traffic to be generated by the proposed development.
- The existence of a two-way left-turn lane on Central Avenue will ensure that the inbound left turns at both access drives will be adequately accommodated.

*Landscaping*

The petitioner has submitted a high-quality landscape plan that includes a 20-foot greenway buffer along Central Avenue. The submitted plan meets or exceeds the code requirements.

*Lighting*

A photometric plan has been submitted by the applicant. There are a few minor comments that will be addressed prior to final approval, but overall the plans are in compliance with the UDO requirements. The site is illuminated by mainly wall-packs on the proposed building with a couple of light poles that are utilized within the proposed western parking lot.

*Stormwater Management*

The proposed plan calls for two stormwater facilities, one to the north of the proposed building which is located under the truck dock and maneuvering area, and the other being a more traditional pond which is to the west of the proposed building and parking lot. The City Consultant Engineers have reviewed the stormwater plans and calculations and have approved them.

*Public Utilities*

The development will be served by a looped water main and has been approved by the City Consultant Engineer subject to some minor review comments.

*Public Safety*

The Wood Dale Fire Protection District has reviewed the proposed plans and have no further comments, at this time.

*PUD and Subdivision Process*

The petitioner is requesting a combined concept, preliminary and final development plan/plat to facilitate construction commencement immediately upon approval. The requested Special Use, PUD, Final Plat of Subdivision and Major Site Plan Review is consistent with the UDO.

*PUD Requested Deviations*

There are a number of requested deviations requested through the PUD process and these are as follows:

1. Required Parking Spaces Number: 144 instead of 240, per the reasoning aforementioned within this report.
2. Service Drive Off-Set: Does not line-up with opposite access drive, due to site constraints.
3. Service & Auto Curb Cut Width: Driveway width for both driveways have been proposed to be widened, which is consistent with other such approved requests.
4. Elimination of Surface Parking Zone: The proposed building has been shifted to the east to accommodate both the wetland and wetland buffer to the west of the proposed building.

5. Elimination of Build-to-Line Requirement: The angled nature of the site makes compliance with this requirement problematic.
6. Elimination of Trash Enclosure: A trash compactor is proposed to be used, this will be screened by both the proposed building and extensive landscaping on the site.

Deviations are often requested and required with a larger PUD development such as this requested one. The use of the PUD application requires some public benefit to be required by the City. In this case, there is a public sidewalk along Central Avenue planned, a 20-foot greenway buffer, high-quality building architecture, underground stormwater detention that allows for a significant wetland buffer and overall the annexation of 9.59-acres.

### **Neighborhood Comment**

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO.

### **Findings of Fact**

The Community Development Commission may recommend approval of a Special Use, Planned Unit Development and Major Site Plan Review if evidence is presented to establish that the application meets the standards. The standards are as follows (*staff comments italicized*):

### Special Use Standards

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

*The proposed special use will allow the redevelopment of the subject property, which will in turn allow a new Industrial building to be constructed. This building will create new jobs for the City. Therefore, the proposed special use meets the standards set forthwith.*

2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

*The proposed special use will allow for the redevelopment of the subject property to allow a new industrial building at this location. The proposed new building will be consistent with the surrounding properties, which are also industrial in use and also in zoning. Therefore, the proposed special use meets the standards set forthwith.*

3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

*The proposed redevelopment project will allow adjacent property owners to operate in accordance with existing zoning regulations and will promote future investment in*

*the area and ultimately enhance area property values. Therefore, the proposed special use meets the standards set forthwith.*

4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

*The proposed redevelopment project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of new materials and architectural design along with extensive landscaping should promote investment in the adjacent properties. Therefore, the proposed special use meets the standards set forthwith.*

5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

*The proposed redevelopment project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties. Therefore, the proposed special use meets the standards set forthwith.*

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

*The subject property has ready access to existing City utilities which run along Central Avenue. The proposed utility connections have been submitted on the applicant's engineering plans.*

7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets;

*Parking for the project is appropriate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped 20-foot greenway buffer will be established along Central Avenue. The proposed access points to the property have been designed to minimize traffic hazards and where possible have been aligned with existing access points on the east side of Central Avenue.*

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

*The standards for PUDs are evaluated below, per Section 17.405 of the UDO. This standard is met.*

General Standards and Criteria for Planned Unit Developments (PUD)

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

*The subject property is designated as Industrial/Business Park in the future land use map and the project is consistent with the type of redevelopment occurring within the Industrial zoned area within the City. The proposed development is planned to be a high-image addition to the City's industrial inventory and will not injure or damage the use, value and enjoyment of the adjacent properties or discourage the development of surrounding properties. Therefore, the proposed PUD meets the standards set forthwith.*

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

*The preliminary project schedule targets and approval this summer with demolition of the existing structures, occurring soon thereafter. Vertical construction of the proposed building is anticipated to take approximately seven months with substantial completion projected in January 2020. Therefore, the proposed PUD meets the standards set forthwith.*

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

*The entire property is owned by a single-entity and therefore it meets the standard. Therefore, the proposed PUD meets the standards set forthwith.*

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

*Given that the proposed single building and consolidation of multiple lots into one, Covenants Conditions and Restriction's (CCR's) will not be required of this project. All proposed public utility easements will be included on the Final Plat of Subdivision and be reviewed and approved by the City. Therefore, the proposed PUD meets the standards set forthwith.*

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities *beyond design capacity.*

*The subject property has available and ready access to existing utilities that run along Central Avenue. The utility requirements of the proposed project shall not reduce the capacity for existing developments nor overload City facilities beyond capacity. Therefore, the proposed PUD meets the standards set forthwith.*

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.

*The proposed project is compatible with surrounding land uses within the City and will incorporate substantial site landscaping, inclusive of a 20-foot greenway buffer that will be established along Central Avenue. Furthermore, the proposed project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. Therefore, the proposed PUD meets the standards set forthwith.*

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

*The proposed project is compatible with the surrounding area and will be a quality addition to the City's Industrial base. The use of an attractive building design, extensive landscaping and the additions of sidewalks will enhance the surrounding area and encourage pedestrian mobility. Therefore, the proposed PUD meets the standards set forthwith.*

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

*The proposed project is a high quality industrial building that conforms with the general design standards of the district and is consistent with the type of proposed redevelopment occurring within the industrial zoned areas of the City. Therefore, the proposed PUD meets the standards set forthwith.*

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

*The proposed project conforms with the City's designation as an Industrial/Business Park on the future land use map of the Comprehensive Plan. Therefore, the proposed PUD meets the standards set forthwith.*

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

*The proposed project is a high quality industrial building that conforms with the general design standards of the district it is proposed to be located within. It is not inconsistent with the public general welfare and does not conflict with this standard. Therefore, the proposed PUD meets the standards set forthwith.*

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.

*The proposed project features extensive site landscaping and also includes a 20-foot greenway buffer that is planned along and abutting Central Avenue. Therefore, the proposed PUD meets the standards set forthwith.*

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

*Based upon the Traffic Impact Study (TIS) the two proposed access points from Central Avenue will be sufficient for accommodating the traffic that is planned to be generated by the proposed project. Furthermore, the TIS concludes that the proposed project will generate a low volume of traffic during the peak hours and will not have a significant impact on the area roadways. Therefore, the proposed PUD meets the standards set forthwith.*

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

*There are no dwelling units proposed in the PUD. Off-street parking spaces are located conveniently adjacent to the proposed building and will meet the landscaping*

*screening requirements of the code. Therefore, the proposed PUD meets the standards set forthwith.*

14. A pedestrian circulation network is provided.

*The proposed project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. In addition, a pedestrian walkway will be provided on-site to connect the auto parking to future office areas. Therefore, the proposed PUD meets the standards set forthwith.*

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

*All utilities to be provided as outlined in the utility plan shall be in accordance with the requirements and regulations of the City. Therefore, the proposed PUD meets the standards set forthwith.*

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

*The proposed project will support the following objectives as outlined in Section B:*

- *Objective 3: functional and beneficial use of open space by providing better connectivity to existing properties along Central Avenue and by providing a 20-foot landscaped buffer along the primary street frontage.*
- *Objective 4: preservation of natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border.*
- *Objective 5: provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by creating and maintaining a 20-foot landscape buffer along Central Avenue, enhanced pedestrian connectivity within and around the site and high-quality building design.*
- *Objective 6: rational and economic development in relation to public services by establishing a proposed project that conforms with future land use plans, creates a value-added annexation opportunity that has limited impact on the required public services.*

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

*The proposed project provides for improved and enhanced buffering for the critical wetland located on the western border of the subject property. Therefore, the proposed PUD meets the standards set forthwith.*

Standards For Site Plan Review:

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan.

*The proposed project conforms to the future land use plan and is consistent with each goal and many of the objectives within the Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.*

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17.

*The proposed project has been designed to increase pedestrian mobility both on-site and along Central Avenue. Furthermore, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrians and vehicle traffic. Therefore, the proposed Site Plan meets the standards set forthwith.*

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements.

*The proposed project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements. Therefore, the proposed Site Plan meets the standards set forthwith.*

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code.

*Detailed engineering plans have been submitted for review by the City Consultant Engineer. The Fire District and Public Works Department has also been asked to review the associated plans and provide comments. Therefore, the proposed Site Plan meets the standards set forthwith.*

5. That the proposed use(s) is/are permitted in the district in which the property is located.

*The proposed project and use is consistent with the subject property's designation as Industrial/Business Park in the future land use map of the City's Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.*

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles.

*The proposed project is planned to be a high quality and high image industrial with office facility that is compatible with adjacent land uses and employs sound planning and zoning principles. Therefore, the proposed Site Plan meets the standards set forthwith.*

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

*The planned project provides for an efficient separation of automobile and truck traffic. Per the TIS, the proposed access points along Central Avenue will be sufficient to serve the planned project with a low traffic impact on the surrounding roadway network. Further, the construction of an on-site walkways and a pedestrian sidewalk along Central Avenue shall provide for the safe movement of pedestrian traffic. Therefore, the proposed Site Plan meets the standards set forthwith.*

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

*No outdoor storage is planned as part of the planned project. Therefore, the proposed Site Plan meets the standards set forthwith.*

#### Standards for Final Plat:

The Community Development Commission shall recommend approval and the City Council shall approve a Final Plat unless it makes written findings specifying the manner in which *(staff comments in italicized)*:

1. The design and layout of the subdivision does not conform to the provisions of the UDO.

*The proposed subdivision includes an additional seven foot of right-of-way dedication, and all required improvements with an additional pedestrian sidewalk along Central Avenue. The design and layout of the proposed subdivision does conform to the provisions of the Unified Development Ordinance (UDO). Therefore, the proposed Site Plan meets the standards set forthwith.*

2. The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.

*The applicant has made adequate provisions to install improvements required by both the CDC and/or City Council under the authority of the UDO. Therefore, the proposed Site Plan meets the standards set forthwith.*

3. The Final Plat fails to comply with an approved Preliminary Plat.

*This standard does not apply because the applicant is applying for a combined Concept, Preliminary and Final Plat concurrently. Therefore, the proposed Site Plan meets the standards set forthwith.*

4. The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.

*The Final Plat of Subdivision conforms with the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, all applicable City Ordinances and planning policies of the City. Therefore, the proposed Site Plan meets the standards set forthwith.*

## **RECOMMENDATION**

---

The Community Development Department finds that the request for a Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to redevelop 640 N. Central Avenue is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

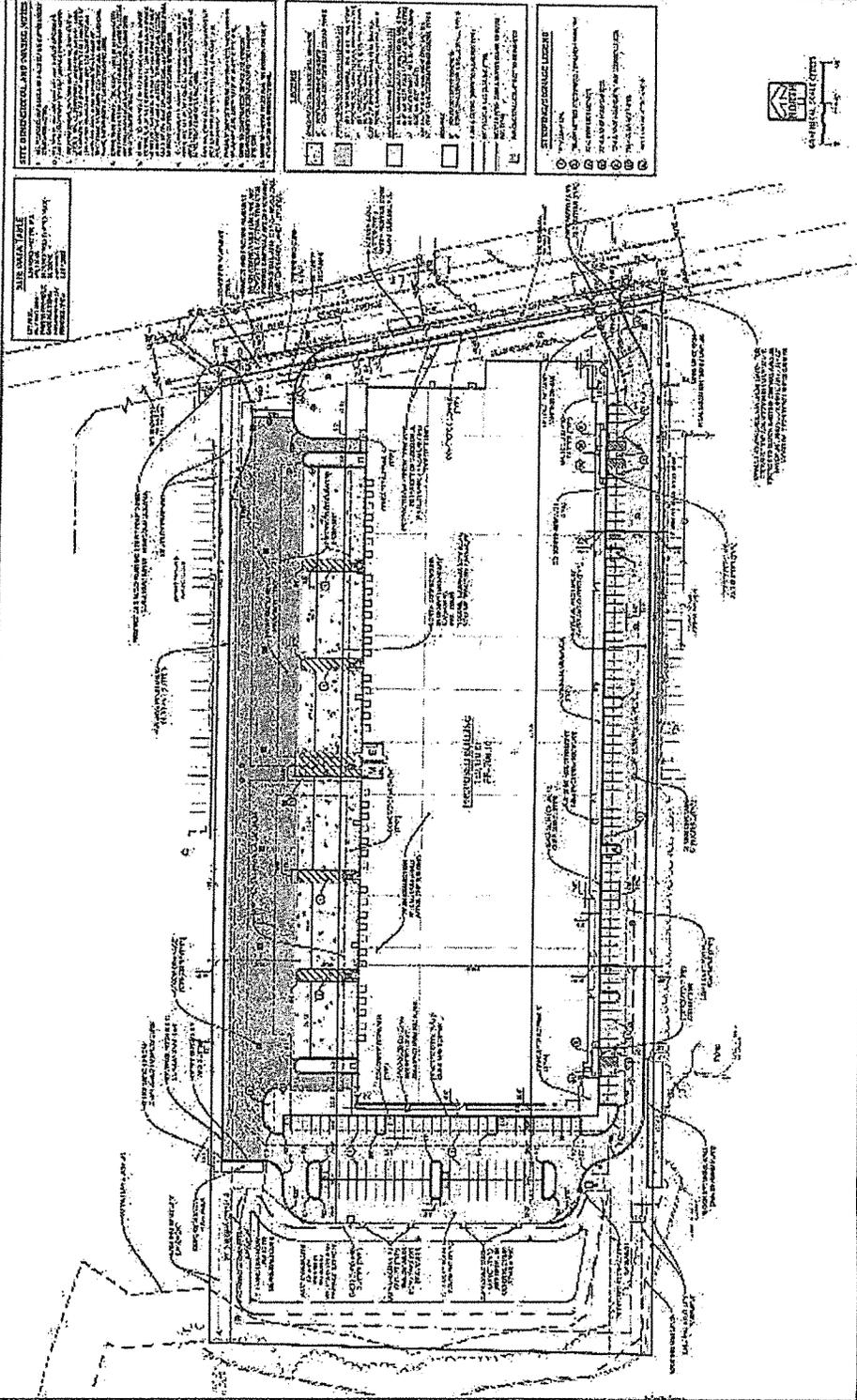
Based on the submitted petition and the testimony presented, the proposed Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review meets the standards of approval and is consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo as the findings of the Community Development Commission, and recommend to the City Council approval of Case No. 2019-CDC-01 subject to the following conditions:

1. The Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
2. Prior to the issuance of a Certificate of Occupancy: the concrete sidewalk along the western side of Central Avenue shall be installed and inspected by the City of Wood Dale.









**SITE DATA TABLE**

DATE	11/11/11
PROJECT	WOOD DALE INDUSTRIAL REDEVELOPMENT
CLIENT	WOOD DALE INDUSTRIAL REDEVELOPMENT
SCALE	AS SHOWN
DRAWN BY	...
CHECKED BY	...
DATE	11/11/11

**SITE DIMENSIONAL AND PAVING NOTES**

1. ALL DIMENSIONS ARE AS SHOWN UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY OR PAVED AREA UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY OR PAVED AREA UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY OR PAVED AREA UNLESS OTHERWISE NOTED.
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9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY OR PAVED AREA UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY OR PAVED AREA UNLESS OTHERWISE NOTED.

**LEGEND**

[Symbol]	EXISTING DRIVEWAY
[Symbol]	NEW DRIVEWAY
[Symbol]	EXISTING PAVED AREA
[Symbol]	NEW PAVED AREA
[Symbol]	EXISTING BUILDING
[Symbol]	NEW BUILDING
[Symbol]	EXISTING LOT
[Symbol]	NEW LOT
[Symbol]	EXISTING CURB
[Symbol]	NEW CURB
[Symbol]	EXISTING UTILITY
[Symbol]	NEW UTILITY
[Symbol]	EXISTING FENCE
[Symbol]	NEW FENCE
[Symbol]	EXISTING TREE
[Symbol]	NEW TREE
[Symbol]	EXISTING LANDSCAPE
[Symbol]	NEW LANDSCAPE

**SITE SURVEY DATA LOG**

DATE	11/11/11
PROJECT	WOOD DALE INDUSTRIAL REDEVELOPMENT
CLIENT	WOOD DALE INDUSTRIAL REDEVELOPMENT
SCALE	AS SHOWN
DRAWN BY	...
CHECKED BY	...
DATE	11/11/11

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**REVISIONS**

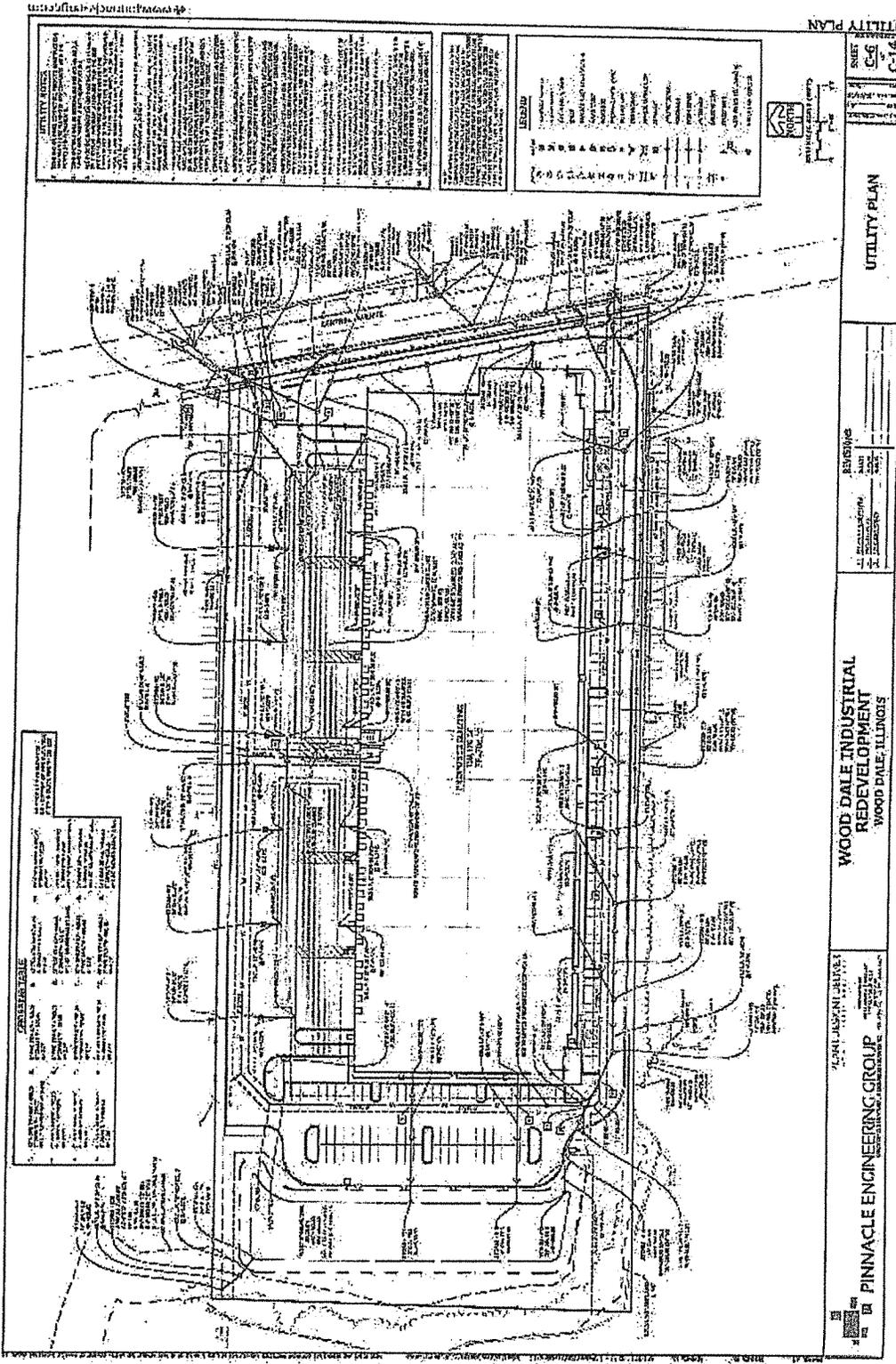
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/11/11
2	ISSUED FOR PERMIT	11/11/11
3	ISSUED FOR PERMIT	11/11/11

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**Pinnacle Engineering Group**  
1111 W. WASHINGTON ST. SUITE 200  
WOOD DALE, IL 60191  
TEL: 815.480.1111  
WWW.PINNACLEENG.COM

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS





UTILITY PLAN

SHEET C-6 OF C-16

UTILITY PLAN

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/15/03
2	ISSUED FOR CONSTRUCTION	11/10/03

WOOD DALE INDUSTRIAL REDEVELOPMENT  
WOOD DALE, ILLINOIS

PINNACLE ENGINEERING GROUP  
1001 JEFFERSON DRIVE  
WOOD DALE, ILLINOIS 60191  
TEL: 630-581-1100  
WWW.PINNACLE-ENG.COM

**LEGEND**

1. WATER MAINS (12" DIA. 150 PSI)

2. SEWER MAINS (12" DIA. 4" SLOPE)

3. GAS MAINS (12" DIA. 100 PSI)

4. ELECTRIC MAINS (4" DIA. 15KV)

5. TELECOMMUNICATIONS MAINS (4" DIA. 15KV)

6. WATER SERVICE LINES (8" DIA. 150 PSI)

7. SEWER SERVICE LINES (8" DIA. 4" SLOPE)

8. GAS SERVICE LINES (8" DIA. 100 PSI)

9. ELECTRIC SERVICE LINES (4" DIA. 15KV)

10. TELECOMMUNICATIONS SERVICE LINES (4" DIA. 15KV)

11. EXISTING UTILITIES (AS SHOWN ON PREVIOUS SHEETS)

12. PROPOSED UTILITIES (AS SHOWN ON THIS SHEET)

13. UTILITIES TO BE REMOVED (DASHED LINES)

14. UTILITIES TO BE RELOCATED (DOTTED LINES)

15. UTILITIES TO BE DELETED (DASHED AND DOTTED LINES)

16. UTILITIES TO BE INSTALLED (SOLID LINES)

17. UTILITIES TO BE MAINTAINED (DASHED LINES)

18. UTILITIES TO BE REPAIRED (DOTTED LINES)

19. UTILITIES TO BE REPLACED (DASHED AND DOTTED LINES)

20. UTILITIES TO BE UPGRADED (SOLID LINES)

21. UTILITIES TO BE DOWNGRADED (DASHED LINES)

22. UTILITIES TO BE ABANDONED (DOTTED LINES)

23. UTILITIES TO BE PRESERVED (SOLID LINES)

24. UTILITIES TO BE PROTECTED (DASHED LINES)

25. UTILITIES TO BE RESTORED (DOTTED LINES)

26. UTILITIES TO BE REINSTALLED (SOLID LINES)

27. UTILITIES TO BE RECONSTRUCTED (DASHED LINES)

28. UTILITIES TO BE REFINISHED (DOTTED LINES)

29. UTILITIES TO BE REPAINTED (SOLID LINES)

30. UTILITIES TO BE RESEALING (DASHED LINES)

31. UTILITIES TO BE REGRADING (DOTTED LINES)

32. UTILITIES TO BE REVEGETATING (SOLID LINES)

33. UTILITIES TO BE RECONCRETE (DASHED LINES)

34. UTILITIES TO BE REASPHALT (DOTTED LINES)

35. UTILITIES TO BE REPAVING (SOLID LINES)

36. UTILITIES TO BE RECURBING (DASHED LINES)

37. UTILITIES TO BE REGRASSING (DOTTED LINES)

38. UTILITIES TO BE RESEEDING (SOLID LINES)

39. UTILITIES TO BE REPLANTING (DASHED LINES)

40. UTILITIES TO BE REPRUNING (DOTTED LINES)

41. UTILITIES TO BE REPRUNING (SOLID LINES)

42. UTILITIES TO BE REPRUNING (DASHED LINES)

43. UTILITIES TO BE REPRUNING (DOTTED LINES)

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50. UTILITIES TO BE REPRUNING (SOLID LINES)

**GENERAL NOTES**

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

2. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC), THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72), AND THE NATIONAL GAS CODE (NGC).

3. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE BOOKS (ICB).

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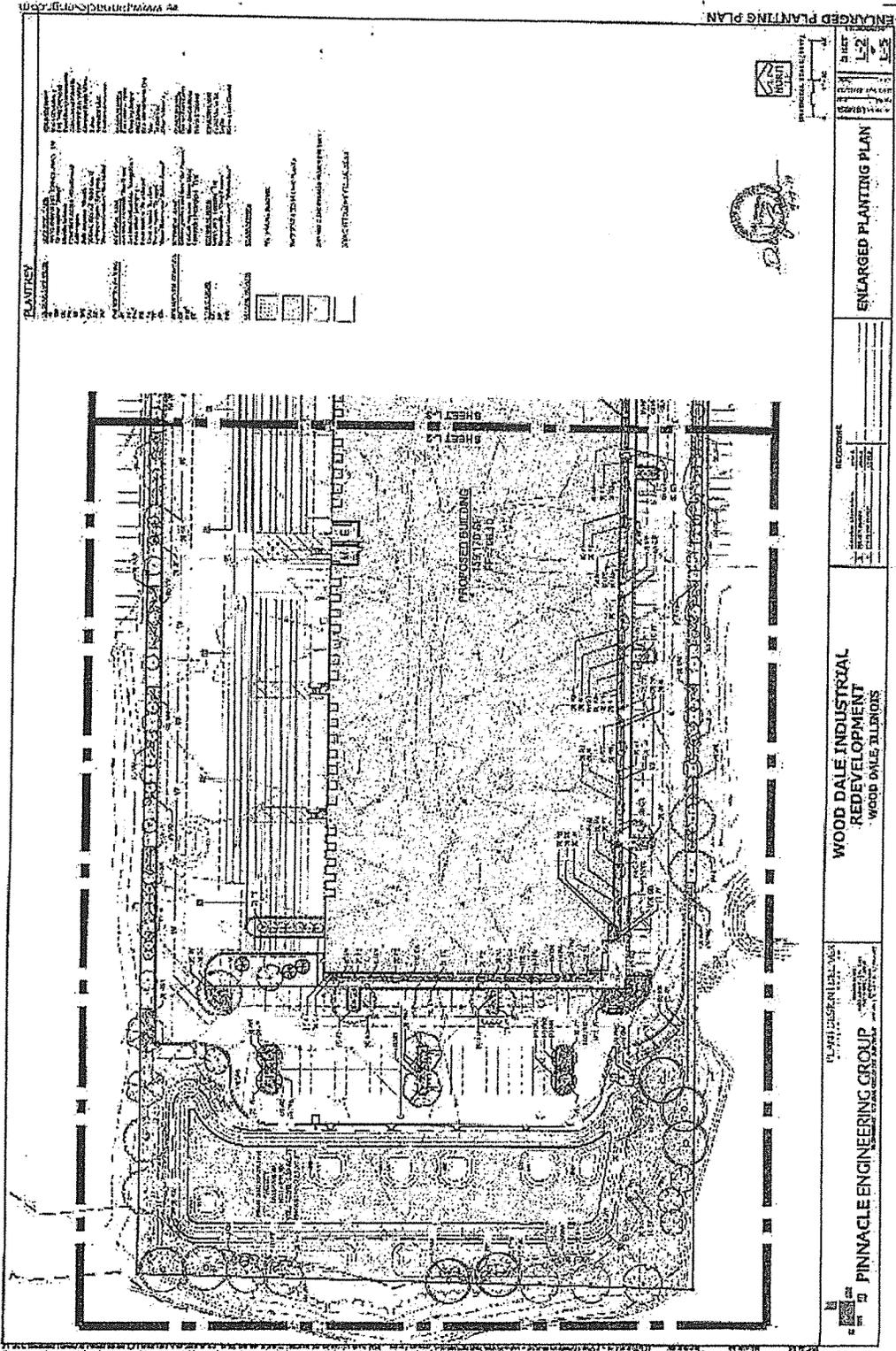
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**PLANTING**

1. ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

2. ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

3. ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

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19. ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

20. ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

Sheet	12
Scale	1" = 10'
Date	10/1/00
Drawn by	J. J. ...
Checked by	J. J. ...
Approved by	J. J. ...

**ENLARGED PLANTING PLAN**

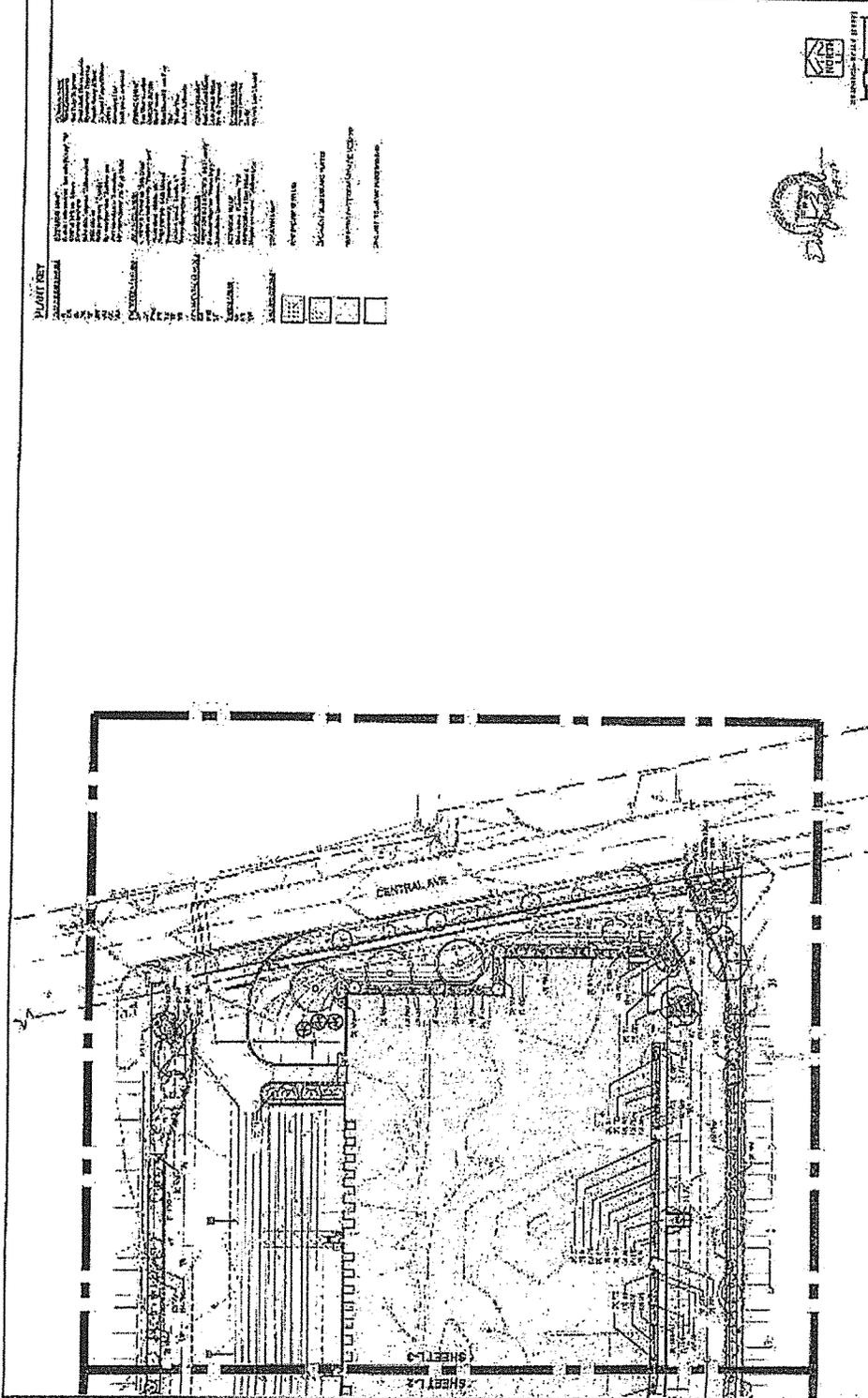
REVISIONS	
NO.	DATE
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2	10/1/00
3	10/1/00
4	10/1/00
5	10/1/00
6	10/1/00
7	10/1/00
8	10/1/00
9	10/1/00
10	10/1/00

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**PINNACLE ENGINEERING GROUP**  
11111 ...  
P.O. BOX ...  
WOOD DALE, ILLINOIS 60191

ENLARGED PLANTING PLAN

WWW.PINNACLE-ENG.COM



**PLANT KEY**

	Tree
	Shrub
	Ground Cover
	Lawn
	Path
	Wall
	Fence
	Utility
	Erosion Control
	Storm Drain
	Light Fixture
	Sign
	Bench
	Fire Hydrant
	Manhole
	Valve
	Meter
	Transformer
	Pole
	Street Light
	Traffic Sign
	Fire Alarm
	Fire Extinguisher
	Fire Hose Reel
	Fire Alarm Pull Station
	Fire Alarm Control Panel
	Fire Alarm Notification Appliance
	Fire Alarm Control Unit
	Fire Alarm Control Panel with Remote Annunciator
	Fire Alarm Control Panel with Remote Annunciator and Printer
	Fire Alarm Control Panel with Remote Annunciator and Printer and Modem
	Fire Alarm Control Panel with Remote Annunciator and Printer and Modem and Network
	Fire Alarm Control Panel with Remote Annunciator and Printer and Modem and Network and Voice
	Fire Alarm Control Panel with Remote Annunciator and Printer and Modem and Network and Voice and Data
	Fire Alarm Control Panel with Remote Annunciator and Printer and Modem and Network and Voice and Data and Security
	Fire Alarm Control Panel with Remote Annunciator and Printer and Modem and Network and Voice and Data and Security and Integration

DATE	1/15/10
SCALE	1" = 10'
PROJECT NO.	10-001
DRAWN BY	J. J. J.
CHECKED BY	J. J. J.
APPROVED BY	J. J. J.

**ENLARGED PLANTING PLAN**

PROJECT NO.	10-001
DATE	1/15/10
SCALE	1" = 10'
DRAWN BY	J. J. J.
CHECKED BY	J. J. J.
APPROVED BY	J. J. J.

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**PINNACLE ENGINEERING GROUP**  
P.L.L.C.  
1000 W. WOOD DALE AVENUE  
WOOD DALE, ILLINOIS 60191  
TEL: 630.584.1100  
WWW.PINNACLE-ENGINEERING.COM

SHEET 1-3









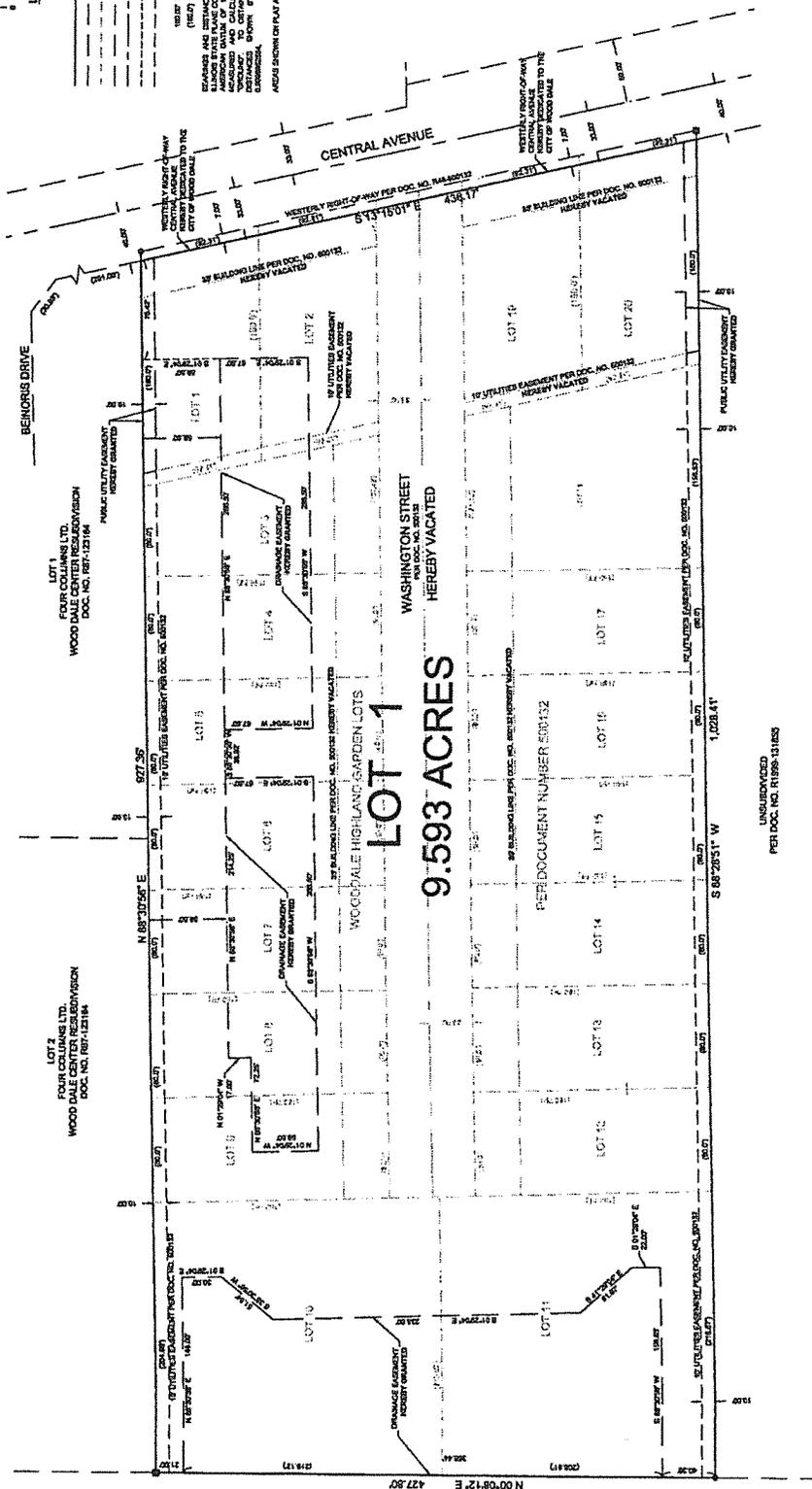
**FINAL PLAT OF SUBDIVISION**  
**WASHINGTON STREET ADDITION TO WOOD DALE**  
 BEING A SUBDIVISION OF THAT PART OF THE NORTH HALF OF SECTION 10-40-11, DUPAGE COUNTY, ILLINOIS.

**Exhibit D**



GRAPHICAL SCALE (FEET)  
 1" = 40'  
 0' 20' 40' 60' 80'

- LEGEND OF LINES**
- SUBDIVISION BOUNDARY
  - ADJACENT BOUNDARY
  - UNDEVELOPED LOT LINE
  - CENTER OF ROAD OR HIGHWAY
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - (RE) CONVEYANCE
  - (RE) RESERVATION
- BEARINGS AND DISTANCES SHOWN HEREON REFER TO THE BLUES GRIP PLUMB COGNITIVE SYSTEM, LAST USED, NORTH AND SOUTH BEARINGS AND DISTANCES ARE MEASURED AND CALCULATED DISTANCES ARE NOT BEARINGED. BEARINGS AND DISTANCES SHOWN ON THIS SURVEY ARE THE RESULT OF THE COMBINATION FACTOR AND ADJUSTMENTS OF PLAT ARE REQUIRED.



**LOT 1**  
**9.593 ACRES**

<b>PINNACLE ENGINEERING GROUP</b> <small>INCORPORATED IN ILLINOIS</small>	<b>WASHINGTON STREET ADDITION TO WOOD DALE</b> <b>WOOD DALE, ILLINOIS</b>	<b>FINAL PLAT OF SUBDIVISION</b>	<b>REVISIONS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION						
NO.	DATE	DESCRIPTION										
PLAN / DESIGN / DELIVER PINNACLE ENGINEERING GROUP <small>INCORPORATED IN ILLINOIS</small>		SHEET 1 OF 2 SURVEY										

UNSUBDIVIDED  
 PER DOC. NO. R1899-13185

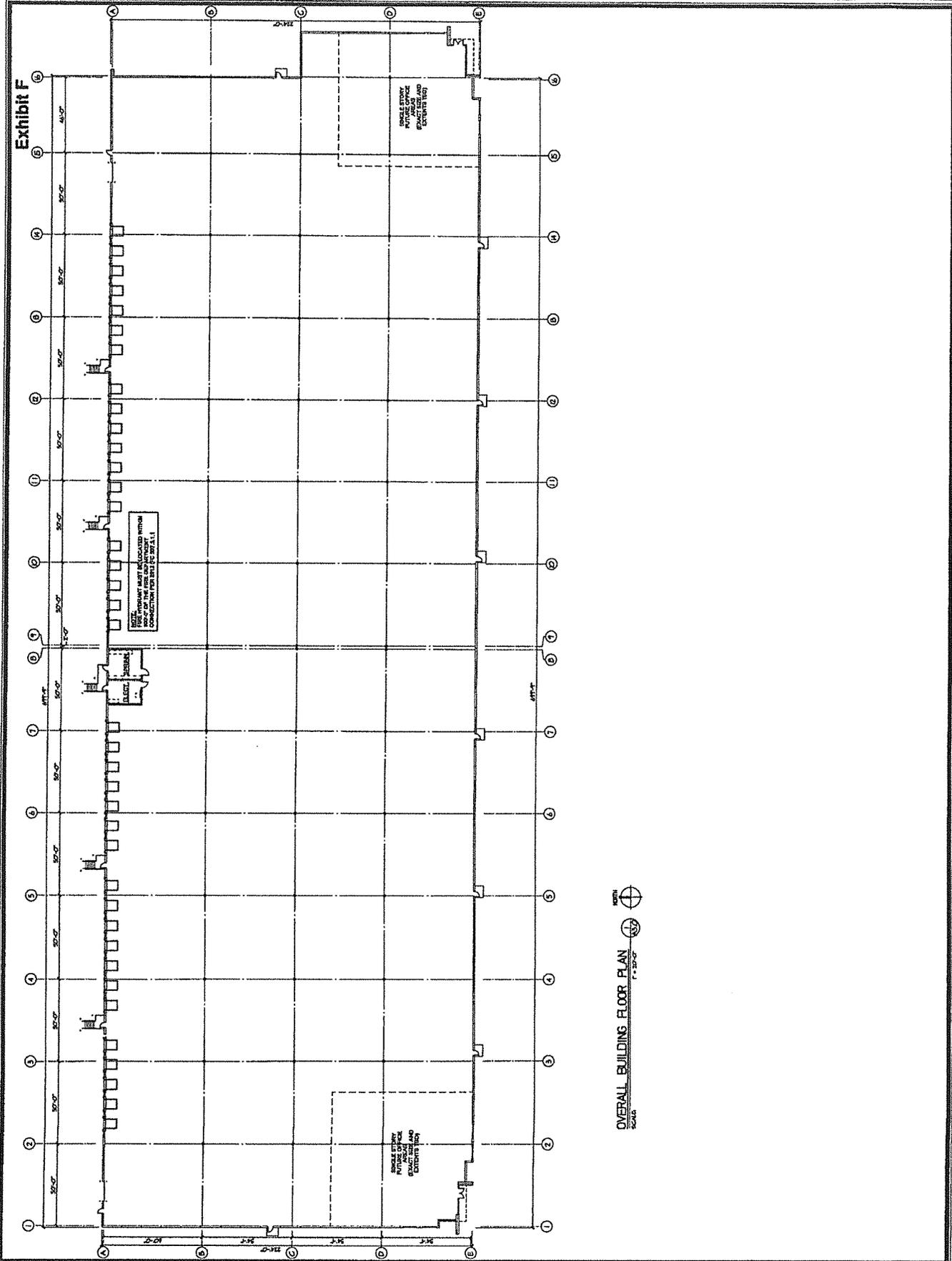








Exhibit F



NOTE:  
 THIS DRAWING MUST BE LOCKED WITHIN  
 A LOCKED DRAWING FOR ALL  
 CONNECTIONS WITH SHEET A-3.1.1

SINGLE ENTRY  
 POINTS OF ENTRY  
 AND EXIT POINTS

SINGLE ENTRY  
 POINTS OF ENTRY  
 AND EXIT POINTS

OVERALL BUILDING FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



TRANSWESTERN  
 DEVELOPMENT COMPANY

HARRIS ARCHITECTS INC.  
 ARCHITECTS  
 1000 WOODDALE AVENUE, SUITE 100  
 WOOD DALE, ILLINOIS 60090

TRANSWESTERN  
 NEW OFFICE WAREHOUSE FACILITY FOR  
 WOOD DALE, ILLINOIS  
 CENTRAL AVENUE

DATE: 1-24-11  
 DRAWN BY: J. J. J.  
 CHECKED BY: J. J. J.  
 DESIGNED FOR: ASHLEIGH

PROJECT NO.:  
 DRAWN BY:  
 CHECKED BY:  
 DESIGNED FOR:

SHEET NO.:  
 A-3.0  
 TOTAL SHEETS: 10

## Exhibit G

200 West Madison Street  
Suite 1200  
Chicago, IL 60606  
Phone: 312.881.7000  
transwesterndevelopment.com



April 19, 2019

Ms. Kelley Chrissie  
Assistant Community Development Director  
City of Wood Dale  
404 N. Wood Dale Road  
Wood Dale, IL 60191

Re: Redevelopment of Washington Street and Central Avenue

Dear Ms. Chrissie:

CH Realty VIII/I Chicago Washington St., L.L.C. ("Owner") has acquired the twenty (20) parcels located at Washington Street and Central Avenue, which is commonly known as Lots 1-20 of the Wood Dale Highland Garden Lots in Unincorporated DuPage County ("Property"). In its capacity as development manager for the Owner, Ridge Development Company, L.L.C. (a subsidiary of Transwestern Development Company) is proposing the voluntary annexation, rezone and subdivision of the 9.6-acre Property for a transformative light industrial redevelopment ("Project") in the City of Wood Dale ("City"). The Project will create positive economic impacts for the City and will generate new funds that will directly support funding for local schools, fire safety, roads, parks and other critical services that allow the City to attract and retain residents. Moreover, the creation of local employment opportunities through a successful Project will further strengthen the City's ability to support additional commercial and retail amenities for the community.

Located at the intersection of Washington Street and Central Avenue, the Project is consistent with the City's future land use plan and will serve as a natural addition to the local industrial base. With a focus on attractive building design, modern amenities and extensive landscaping, the Project will further strengthen the City's reputation as a premier location for high-image industrial users. Further, the Project will attract a broad range of high-quality corporate tenants, along with the jobs and tax revenues that accompany them.

We're confident that the Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan, including creating opportunities for economic development, expanding job opportunities in the community and pursuing annexation of sites that add value to the City. We look forward to an opportunity to discuss this Project and the many benefits it will provide to the City.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Mohoney', written over a horizontal line.

Kevin Mohoney  
Vice President  
Transwestern Development Company

**Project Overview**

The Property is located within the City's primary industrial business park south of Illinois 390 and is surrounded by industrial buildings to the north, east and south. To the west of the Property is a known wetland which is owned by the City of Wood Dale Park District. The Property is currently improved with fifteen (15) residential homes which were primarily constructed before 1980. Due to the unincorporated nature of the parcels, water and sewer is provided individually to the homes by private well and septic systems. The Property also includes five (5) unimproved vacant land parcels. In total, the twenty (20) parcels comprise approximately 9.6-acres (inclusive of Washington Street). In its current state, the Property provides limited benefits to the City and as such has been a longtime target for annexation.

As further outlined in the detailed plans accompanying this submittal, the annexed Property can accommodate the construction of a state-of-the-art light industrial building totaling 159,170 square feet. The Project, to be constructed of precast concrete, glass and steel, is consistent with the City's future land use plan and will serve as a natural addition to the area's high-image industrial base.

Existing site constraints including poor soil conditions and required wetland buffering prevent the opportunity to develop the western boundary of the site. As a result, the building has been oriented to the eastern boundary of the site while maintaining the required 20-foot greenway buffer and 7-foot ROW dedication along Central Avenue. The following requested deviations are necessary to provide a building that meets modern design standards while maximizing potential economic benefits to the City:

- 1) *Number of Required Parking Spaces:* parking for the Project, currently designed at 1 space per 1,098 SF, is adequate for a typical distribution tenant. The requested reduction in spaces will allow the Project to maintain a low traffic impact on the surrounding roadway network as outlined in the enclosed traffic study;
- 2) *Service Drive Off-Set:* with respect to driveway alignment, auto access has been aligned with Tempco's northerly access drive. Site constraints do not allow for alignment of the proposed service drive, however as outlined in the enclosed traffic study the proposed access point shall provide minimal potential conflicts;
- 3) *Service and Auto Drive Curb-Cut Width:* driveway width for both service and auto drives has been widened to accommodate the safe and efficient flow of traffic;
- 4) *Elimination of Surface Parking Zone:* the building has been oriented to avoid unsuitable soils while also preserving the natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border. Further, the proposed layout highlights the building's architecturally significant features along Central Avenue while efficiently dispersing auto parking around the building to accommodate multiple future tenants.
- 5) *Elimination of Build-To Line Requirements:* the angled nature of the Property line prevents the ability to fully comply with the build-to line requirements. The building has been designed to meet as much of the requirement as possible, while maintaining a building that meets modern design standards.
- 6) *Elimination of Required Trash Enclosure:* in lieu of a dedicated enclosed refuse collection area, it is typical for tenants to utilize a trash compactor at an existing dock door. Given the orientation of the building and the use of extensive landscaping, it is expected that these future areas would be adequately screened from both the ROW and adjacent properties.

The preliminary Project schedule targets City approval in June with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately seven (7) months with substantial completion projected in January 2020.

As detailed in the enclosed application, the Owner is requesting the following:

- Annexation into the City of Wood Dale pursuant to an annexation agreement
- Rezoning to Business Park sub-area of the Thorndale Corridor Corporate Overlay with I-1, Light Industrial, underlying zoning
- Vacation of Washington Street
- Final Plat of Subdivision to consolidate lots
- Special Use to allow a Planned Unit Development (PUD)
- PUD - Final Development Plan with deviations

#### Comprehensive Plan

The Property is designated as Industrial/Business Park in the future land use map of the City's comprehensive plan which was adopted on August 2, 2018. The Project would support the following Goals and Objectives as outlined in the comprehensive plan:

- **GOAL 1: Connect Wood Dale Citizens to...**
  - *Objective 2: Increase walking and biking amenities*
    - Construction of pedestrian sidewalk to connect existing properties along Central Avenue.
  - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale*
    - The Project will attract a broad range of high-quality corporate tenants and the jobs that accompany them.
- **GOAL 2: Build Community Capacity**
  - *Objective 1: Seek opportunities for economic development*
    - The special use and PUD process will support the redevelopment and annexation of the Property which is currently unincorporated and provides limited value to the City in its current state.
  - *Objective 2: Expand job opportunities in the community*
    - The Project will further strengthen the City's industrial base and will be attractive to a range of businesses and associated jobs.
  - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational function.*
    - The Project will add value to the City through the creation of new tax revenues and local jobs.
- **GOAL 3: Embrace Small-Town Charm**
  - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas*
    - With the use of attractive building design and extensive landscaping, the Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.
- **GOAL 4: Keep Wood Dale Diverse**
  - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life*
    - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary industrial uses that can be located in the city and complement existing industries."
- **GOAL 5: Protect Land Values**
  - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents*
    - The Project is consistent with the City's stated strategy to "Balance land use decisions to maintain strong tax base and minimize property tax burden on residents."

Special Use Standards

1. **The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;**

The Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction, will add value to the City through the establishment of new tax revenues and will encourage the creation of jobs for residents.

2. **The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;**

The Project will further strengthen the City's industrial base by greatly enhancing an underutilized site that is not currently within the City's jurisdiction. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties. Additionally, as outlined in the enclosed traffic study, the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

3. **The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;**

The Project will allow adjacent property owners to continue to operate in accordance with existing zoning regulations and will serve to promote future investment in the area and ultimately enhance area property valuations.

4. **The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;**

The Project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties.

5. **The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;**

The Project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties.

6. **Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;**

The Property has ready access to existing City utilities which run along Central Avenue. The proposed utility connections as outlined in the enclosed utility plan shall be reviewed and approved by the City.

7. **Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and**

Parking for the Project is adequate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped 20-foot greenway buffer has been established along Central Avenue. The proposed access points to the Property have been designed to minimize traffic hazards and where possible have been aligned with existing access points on the east side of Central Avenue.

**PUD Standards**

1. **The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.**

The Property is designated as Industrial/Business Park in the future land use map and the Project is consistent with the type of redevelopment occurring within the industrial zoned areas within the City. The Project will be a high-image addition to the City's industrial base and will not injure or damage the use, value and enjoyment of adjacent properties or discourage the development of surrounding properties.

2. **The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.**

The preliminary Project schedule targets City approval in June with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately seven (7) months with substantial completion projected in January 2020.

3. **The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.**

The Property is owned by CH Realty VIII/I Chicago Washington St., L.L.C.

4. **The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.**

Given the proposed single building and consolidation of multiple lots into one, it is applicant's understanding that Covenants, Conditions and Restrictions (CCRs) will not be necessary. Any proposed public utility easements would be identified on the enclosed Final Plat to be approved by the City.

5. **Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.**

The Property has ready access to existing utilities which run along Central Avenue. The utility requirements of the Project shall not reduce capacity for existing developments nor overload local facilities beyond capacity.

6. **The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.**

The Project is compatible with surrounding land uses and will incorporate substantial site landscaping, including a 20-foot greenway buffer that is to be established along Central Avenue. Further, the Project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue.

7. **The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.**

The Project is compatible with the surrounding area and will be a high-image addition to the City's industrial base. The use of attractive building design, extensive landscaping and the addition of sidewalks should enhance the surrounding area and encourage pedestrian mobility.

8. **The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is consistent with the type of redevelopment occurring within the industrial zoned areas within the City.

9. **The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.**

The Project conforms to the City's designation as Industrial/Business Park in the future land use map of the comprehensive plan.

10. **Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is not inconsistent with the public general welfare. The deviations requested are warranted to create a building that will attract high-image tenants and jobs while maximizing economic development within the City.

11. **Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.**

As outlined in the enclosed landscaping plan, the Project features extensive site landscaping and includes a 20-foot greenway buffer that is to be established along Central Avenue.

12. **All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.**

Based on the enclosed Traffic Impact Study (TIS), the two (2) proposed access points off Central Avenue will be adequate in accommodating the traffic to be generated by the Project. Further, the TIS concludes that the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

- 13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.**

There are no dwelling units within the PUD.

- 14. A pedestrian circulation network is provided.**

The Project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. In addition, a pedestrian walkway will be provided on-site to connect the auto parking to future office areas.

- 15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.**

All utilities to be provided for the Project as outlined in the enclosed utility plan shall be in accordance with the requirements and regulations of the City.

- 16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.**

The Project will support the following objectives as outlined in subsection B:

- *Objective 3:* functional and beneficial use of open space by providing better connectivity to existing properties along Central Avenue and by providing a 20-foot landscaped buffer along the primary street frontage.
- *Objective 4:* preservation of natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border.
- *Objective 5:* provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by maintaining and creating a 20-foot landscaped buffer along Central Avenue, enhanced pedestrian connectivity within and around the site and high-quality building design.
- *Objective 6:* rational and economic development in relation to public services by establishing a Project that conforms with future land use plans, creates a value-add annexation opportunity and has limited impact on public services required.

- 17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.**

As previously noted, the Project provides for improved and enhanced buffering for the critical wetland located on the western border of the Property.

**Standards for Major Site Plan Review**

**1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;**

The Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan.

**2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17;**

The Project has been designed to increase pedestrian mobility both on-site and along Central Avenue. Further, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrian and vehicle traffic.

**3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;**

The Project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements.

**4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code;**

Detailed engineering plans are enclosed for review and comment by City staff.

**5. That the proposed use(s) is/are permitted in the district in which the property is located;**

The Project is consistent with the Property's designation as Industrial/Business Park in the future land use map of the City's comprehensive plan.

**6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;**

The Project will be a high-image industrial building that is compatible with adjacent land uses and employs sound planning principles.

**7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well; and**

The Project provides for efficient separation of auto and truck traffic. Per the TIS, the proposed access points along Central will be adequate to serve the Project with a low traffic impact on the surrounding roadway network. Further, the construction of on-site walkways and a pedestrian sidewalk along Central Avenue shall provide for the safe movement of pedestrian traffic.

**8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.**

No outdoor storage is planned as part of the Project.

**Standards for Final Plat**

1. **The design and layout of the subdivision does not conform to the provisions of the UDO.**

The proposed subdivision includes the requested 7-foot ROW dedication and all required improvements, including a pedestrian sidewalk along Central Avenue. The design and layout of the subdivision does conform to the provisions of the UDO.

2. **The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.**

The applicant has made adequate provisions to install improvements required by the CDC or City Council under authority of the UDO.

3. **The Final Plat fails to comply with an approved Preliminary Plat.**

Not applicable as the applicant is applying for a combined Concept, Preliminary and Final Plat approval process.

4. **The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.**

The Final Plat of Subdivision conforms to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, applicable City ordinances and planning policies of the City.

**ORDINANCE NO. O-19-16**

**AN ORDINANCE APPROVING A SPECIAL USE  
FOR A PLANNED UNIT DEVELOPMENT FOR  
THE WASHINGTON STREET REDEVELOPMENT PROPERTY  
640 N. CENTRAL AVENUE, WOOD DALE, ILLINOIS**

**WHEREAS**, the City of Wood Dale (the "City") is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

**WHEREAS**, CH REALTY VIII/ CHICAGO WASHINGTON ST., L.L.C. ("Petitioner"), has petitioned the City for approval of a Special Use, Planned Unit Development, for the improvement of the Property, commonly identified (after annexation ) as 640 N. Central Avenue, Wood Dale, being described as:

Lot 1 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946, as document 500132 in DuPage County, Illinois.

Lot 2 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 3 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 4 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 5 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 6 in Wood Dale Highland Garden Lots, being a subdivision in the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 7 in Wood Dale Highland Gardens Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North 1/2 of section 10, township 34 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highlands garden lots recorded June 17, 1976 as document 500132, in DuPage County, Illinois.

Lot 8 in Wood Dale Highland Gardens Lots in the northwest 1/4 of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat recorded June 7, 1946 as document 500132, in DuPage County, Illinois.

Lot 9 in Wood Dale Highland Garden lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9 being a part of section 10, Township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document No. 500132 in DuPage County, Illinois.

Lot 10 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian according to the plat thereof recorded June 17, 1946, as document number 500132, in DuPage County, Illinois.

Lot 11 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessment plat No. 9, being a part of the North half of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale highland garden lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Lot 12 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 13 in Wood Dale Highland Garden Lots, being a subdivision in the north 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lots 14 and 15 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of said wood dale highland garden Lots, recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 16 in Wood Dale Highland Garden subdivision, subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9 in the northwest quarter of section 10, township 40 North, Range 11, East of the third principal meridian, in DuPage County, Illinois.

Lot 17 in Wood Dale Highland Garden Lots, being a subdivision in the North 1/2 of Section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat thereof recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 18 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document number 500132 in DuPage County, Illinois.

Lot 19 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisor's assessments plat No.9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946 as document 500132, in DuPage County, Illinois.

Lot 20 in Wood Dale Highland Garden Lots, being a subdivision of lots 10 and 11 in Addison township supervisors assessment plat No. 9, being a part of the North 1/2 of section 10, township 40 North, Range 11, East of the third principal meridian, according to the plat of Wood Dale Highland Garden Lots recorded June 17, 1946, as document 500132, in DuPage County, Illinois.

Consisting of PINs: 03-10-107-009; 03-10-107-010; 03-10-107-008; 03-10-107-007; 03-10-107-005 and -004; 03-10-107-002; 03-10-106-007; 03-10-106-009; 03-10-106-010; 03-10-106-015; 03-10-106-013; 03-10-106-008; 03-10-106-011; 03-10-107-006; 03-10-107-003; 03-10-107-001; 03-10-106-006; 03-10-106-012; and 03-10-106-014)

("Subject Property"); and

**WHEREAS**, a Special Use Permit to allow a Planned Unit Development is authorized under sections 17.403, 17.405, and 17.503 of the Unified Development Ordinance (“UDO”) in the Thorndale Corridor Corporate Overlay District; and

**WHEREAS**, on May 20, 2019, the Community Development Commission held a public hearing on the proposed Special Use Permit for a Planned Unit Development, following the necessary publication of a legal notice pursuant thereto, as required by law; and

**WHEREAS**, the Community Development Commission considered the facts and testimony for Case Number 2019-CDC-01 and determined that the proposed Final Development Plan meets the standards of approval for a Special Use Permit for a Planned Unit Development and that the Final Development Plan is consistent with the UDO and the City’s Comprehensive Plan, with the following approved deviations (as identified on the Final Development Plan) from the UDO:

(1) A deviation from Section 17.906 to allow 144 off-street parking spaces to serve the Project instead of the otherwise applicable 240-space off-street parking minimum requirement,

(2) A deviation from Section 17.607(C)(6)(i)(2) to allow for the location of the northern service drive of the Project notwithstanding the location of any other access drives on the eastern side of Central Avenue,

(3) A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Central Avenue and 44 feet in width at the roadway line,

(4) Deviations from Section 17.902(A)(8) to eliminate any requirement for a surface parking zone along the Project’s east side and, as well, strict compliance with any "build to line" requirements, and

(5) Deviations from Sections 17.502(A)(j)(3) and 17.907(C)(7)(a) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure requirements due to the screening provided by the Project design; and

**WHEREAS**, in making its determination, the Community Development Commission adopted the findings of fact provided by staff within the staff memorandum dated May 20, 2019, attached hereto and incorporated by reference as Exhibit A as the findings of the Community Development Commission and recommended to the City Council approval of Case No. 2019-CDC-01 with the following conditions:

1. The Special Use Permit for a Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City Code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application, and

2. Prior to the issuance of a Certificate of Occupancy: the concrete sidewalk along the western side of Central Avenue shall be installed and inspected by the City of Wood Dale; and

**WHEREAS**, the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale reviewed the findings made by the Community Development Commission, and concurred with its recommendation for approval with conditions as stated therein, and voted to refer this matter to the City Council for consideration; and

**WHEREAS**, the City Council of the City of Wood Dale has received the recommendation of the Planning, Zoning and Building Committee and of the Community Development Commission, and has reviewed the findings made relative to the application, and upon its consideration, determined to approve the request for a Special Use Permit for a Planned Unit Development in the Business Park Sub-area of the Thorndale Corridor Corporate Overlay District (with application of the Business Park Block H development standards to the Subject Property), with underlying I-1 Light Industrial zoning.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS**, as follows:

**SECTION ONE:** The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

**SECTION TWO:** The Property is hereby granted a Special Use Permit for a Planned Unit Development, pursuant to the Final Development Plan dated May 10, 2019, which identifies the following deviations to the UDO:

(1) A deviation from Section 17.906 to allow 144 off-street parking spaces to serve the Project instead of the otherwise applicable 240-space off-street parking minimum requirement,

(2) A deviation from Section 17.607(C)(6)(i)(2) to allow for the location of the northern service drive of the Project notwithstanding the location of any other access drives on the eastern side of Central Avenue,

(3) A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Central Avenue and 44 feet in width at the roadway line,

(4) Deviations from Section 17.902(A)(8) to eliminate any requirement for a surface parking zone along the Project's east side and, as well, strict compliance with any "build to line" requirements, and

(5) Deviations from Sections 17.502(A)(j)(3) and 17.907(C)(7)(a) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure

requirements due to the screening provided by the Project design; and

Which approval is subject to the following conditions:

1. The Special Use Permit for a Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City Code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application, and

2. Prior to the issuance of a Certificate of Occupancy: the concrete sidewalk along the western side of Central Avenue shall be installed and inspected by the City of Wood Dale.

**SECTION THREE:** Any use now or hereafter allowed as a permitted use under the Thorndale Corporate Corridor Overlay District Business Park Sub-area shall be permitted on the Subject Property without necessity of further hearings or zoning relief.

**SECTION FOUR:** That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

**SECTION FIVE:** That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

**SECTION SIX:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 20th day of June, 2019

AYES: 7

NAYS: 0

ABSENT: 2

APPROVED this 20th day of June, 2019

SIGNED: Annunziato Pulice  
Annunziato Pulice, Mayor

ATTEST: Shirley J. Siebert  
Shirley J. Siebert, City Clerk

Published in pamphlet form June 20, 2019

EXHIBIT A

STAFF MEMORANDUM DATED MAY 20, 2019

**CITY OF WOOD DALE**  
Community Development



MEMO

DATE: May 20, 2019  
TO: Community Development Commission  
FROM: Ed Cage, AICP, Community Development Director  
SUBJECT: Case No. 2019-CDC-01, Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review for the redevelopment of Washington Street Properties (640 N. Central Avenue)

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**REQUEST**

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An application has been submitted requesting a Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to annex and redevelop the Washington Street Properties (640 N. Central Ave – Formerly 6N606 Central Ave).

**PROPERTY INFORMATION**

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Address: 640 N. Central Avenue (Formerly 6N606 Central Avenue)  
PINs: 03-10-106-014, 006, 007, 008, 009, 010, 011, 012, 013, 015  
03-10-107-001, 002, 003, 004, 005, 006, 007, 008, 009, 010  
Property Size: 9.59 Acres (417,881 square feet)  
Existing Land Use: Residential  
Future Land Use: Industrial Business Park  
Existing Zoning: R-3 Single-Family Residential District (DuPage County)

**Surrounding Land Use & Zoning**

North: I-1, Industrial  
South: I-1, Industrial  
East: I-1, Industrial  
West: R-4, Medium Density Single Family

## ANALYSIS

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### Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Engineering Improvement Plans (Exhibit A)
- Landscaping Plans (Exhibit B)
- Photometric Plan
- Plat of Annexation (Exhibit C)
- Plat of Subdivision (Exhibit D)
- ALTA/NSPS Land Title Survey (Exhibit E)
- Stormwater Management Report
- Building Floor Plan & Elevations (Exhibit F)
- Project Narrative (Exhibit G)
- Traffic Study
- Fire-Truck and Semi-Trailer Turning Exhibits
- Circulation Diagram
- Kane DuPage SWCD Land Use Opinion

### Project Description

The subject property is 9.59-acres and consists of 20 residential lots and the Washington Street right-of-way. The property is located on the West side of Central Avenue and the subject property is located within unincorporated DuPage County. The 15 vacant residences will be demolished to make way for one new 159,170 square foot Light Industrial Building. The subject property will be annexed and rezoned from unincorporated DuPage County residential to the City of Wood Dale I-1, Light industrial zoning. The subject property will also be brought within the Business Park sub-area of the Thorndale Corridor Overlay.



### **Compliance with the Comprehensive Plan**

The subject property is designated as Industrial/Business Park in the Future Land Use Map of the Comprehensive Plan.

The subject property is proposed to redevelop to a new Industrial building and is consistent with the land uses surrounding the subject property. The subject property is currently in unincorporated DuPage County. One of the goals of the City Council is to annex on a voluntary basis any available properties that abut the City. Per the plan, "The City is expected to continue building on its current strengths with the business park and manufacturing and distribution industries." This is clearly achieved with the annexation and redevelopment of the subject property into an Industrial type use.

As such, the proposed development would support the following Goals and Objectives (with a brief description of how they are being met):

- **Goal 1:** Connect Wood Dale Citizens to:
  - *Objective 2: Increase walking and biking amenities.*
    - Construction of pedestrian sidewalk to connect existing properties along Central Avenue.
  - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale.*
    - The project will attract a broad range of high-quality corporate tenants and the jobs that accompany them.
- **Goal 2:** Build Community Capacity:
  - *Objective 1: Seek opportunities for economic development.*
    - The Special Use and PUD process will support the redevelopment and annexation of the Subject Property which is currently unincorporated and provides limited value to the City in its current state.
  - *Objective 2: Expand job opportunities in the community.*
    - The project will further strengthen the City's industrial base and will be attractive to a range of business and associated jobs.
  - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational facilities.*
    - *The project will add value to the City through the creation of new tax revenues and local jobs.*
- **Goal 3:** Embrace Small-Town Charm:
  - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas.*
    - With the use of attractive building design and extensive landscaping, the project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.
- **Goal 4:** Keep Wood Dale Diverse:
  - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life.*
    - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary

industrial uses that can be located in the City and complement existing industries.”

- **Goal 5: Protect Land Values:**
  - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents.*
    - The Project is consistent with the City’s stated strategy to “Balance land use decisions to maintain strong tax base and minimize property tax burden on residents.”

#### **Compliance with the Unified Development Ordinance (UDO)**

The subject property, when annexed, will be brought within the Business Park sub-area of the Thorndale Corridor (TCC) Overlay District with I-1, Light Industrial underlying zoning. The subject property is not located within a floodplain but wetlands are present adjacent to the proposed development. The property, as proposed, will be annexed and is proposed to be re-subdivided into one lot.

#### *Subdivision*

The subject property will be subdivided into one lot – for the proposed building. The proposed one lot will exceed the minimum lot area of two acres. As part of the subdivision, the petitioner is dedicating additional right-of-way (ROW) along the west side of Central Avenue.

Street trees are required according to Sec. 17.703.D.2.d of the Municipal Code.

#### *Allowable Uses*

The proposed user is unknown at this time but will be a warehouse and distribution type user. Warehouse and distribution, as the principal use, is a permitted use in the Business Park sub-area of the Thorndale Corridor Corporate (TCC) District.

A PUD is allowed as a Special Use in the I-1, Light Industrial, Zoning District per the Table of Permitted Uses in Sec. 17.503.P of the Municipal Code. As such, the standards for Special Use, PUD and Major Site Plan Review have been evaluated and are provided for consideration later within this report.

#### *Lot Development Standards*

Being proposed in the Business Park sub-area of the TCC, the Block H Development Framework applies. The following table summarizes the regulations and how the redevelopment meets code requirements. See Exhibits A for detailed plans. Note that regulations **bold** indicate where deviations are being requested.

Regulation Type	Required/Allowed	Proposed
a. Building Height	50-feet max.	41-feet.
b. Build to Line	All Principal Buildings must Abut Line	20-feet & Varies due to lot angle
c. Parking Setback	100-feet min.	100-feet.
d. Landscape Buffer		
Central Avenue	20-feet min.	20-feet.

### *Parking and Traffic*

The proposed development will be served by 144 off-street parking spaces. The Thorndale Corridor Overlay Business Park requires 240 off-street parking spaces. Therefore, this requires a deviation. It is important to note that reviewing the regular Unified Development Code, this typically would require 111 off-street parking spaces for such a use. The petitioner has submitted evidence that 144 off-street parking spaces will be sufficient for such an Industrial use. Staff believes that 240 off-street parking spaces is very restrictive and that no logistics/warehouse type use would need that amount of off-street parking.

Access to the redeveloped site is via two driveways, which also provide emergency access on all four sides of the proposed building. The southern driveway is essentially for automobiles and provides access to the off-street parking spaces. The northern driveway, which requires a deviation for its proposed width, would provide access mainly for semi-truck access to the loading dock doors.

Pedestrian traffic can easily traverse the site with a proposed sidewalk along Central Avenue.

It has been recommended and the applicant has illustrated that an additional seven-feet of right-of-way be dedicated to the Central Avenue right-of-way. This would make the Central Avenue right-of-way consistent throughout then Business Park.

A Traffic Impact Study (TIS) was conducted to evaluate the potential impact on adjacent roadways. The summarized findings from that report include the following:

- The proposed development will generate a low volume of traffic during the peak hours and will have a low traffic impact on the surrounding roadway network.
- The results of the capacity analysis indicate that the proposed development traffic will not have a significant impact on the area roadways.
- Providing access to the proposed warehouse/distribution development off Central Avenue at two locations will be adequate in accommodating the traffic to be generated by the proposed development.
- The existence of a two-way left-turn lane on Central Avenue will ensure that the inbound left turns at both access drives will be adequately accommodated.

### *Landscaping*

The petitioner has submitted a high-quality landscape plan that includes a 20-foot greenway buffer along Central Avenue. The submitted plan meets or exceeds the code requirements.

### *Lighting*

A photometric plan has been submitted by the applicant. There are a few minor comments that will be addressed prior to final approval, but overall the plans are in compliance with the UDO requirements. The site is illuminated by mainly wall-packs on the proposed building with a couple of light poles that are utilized within the proposed western parking lot.

### *Stormwater Management*

The proposed plan calls for two stormwater facilities, one to the north of the proposed building which is located under the truck dock and maneuvering area, and the other being a more traditional pond which is to the west of the proposed building and parking lot. The City Consultant Engineers have reviewed the stormwater plans and calculations and have approved them.

### *Public Utilities*

The development will be served by a looped water main and has been approved by the City Consultant Engineer subject to some minor review comments.

### *Public Safety*

The Wood Dale Fire Protection District has reviewed the proposed plans and have no further comments, at this time.

### *PUD and Subdivision Process*

The petitioner is requesting a combined concept, preliminary and final development plan/plat to facilitate construction commencement immediately upon approval. The requested Special Use, PUD, Final Plat of Subdivision and Major Site Plan Review is consistent with the UDO.

### *PUD Requested Deviations*

There are a number of requested deviations requested through the PUD process and these are as follows:

1. Required Parking Spaces Number: 144 instead of 240, per the reasoning aforementioned within this report.
2. Service Drive Off-Set: Does not line-up with opposite access drive, due to site constraints.
3. Service & Auto Curb Cut Width: Driveway width for both driveways have been proposed to be widened, which is consistent with other such approved requests.
4. Elimination of Surface Parking Zone: The proposed building has been shifted to the east to accommodate both the wetland and wetland buffer to the west of the proposed building.

5. Elimination of Build-to-Line Requirement: The angled nature of the site makes compliance with this requirement problematic.
6. Elimination of Trash Enclosure: A trash compactor is proposed to be used, this will be screened by both the proposed building and extensive landscaping on the site.

Deviations are often requested and required with a larger PUD development such as this requested one. The use of the PUD application requires some public benefit to be required by the City. In this case, there is a public sidewalk along Central Avenue planned, a 20-foot greenway buffer, high-quality building architecture, underground stormwater detention that allows for a significant wetland buffer and overall the annexation of 9.59-acres.

### **Neighborhood Comment**

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO.

### **Findings of Fact**

The Community Development Commission may recommend approval of a Special Use, Planned Unit Development and Major Site Plan Review if evidence is presented to establish that the application meets the standards. The standards are as follows (*staff comments italicized*):

### Special Use Standards

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

*The proposed special use will allow the redevelopment of the subject property, which will in turn allow a new Industrial building to be constructed. This building will create new jobs for the City. Therefore, the proposed special use meets the standards set forthwith.*

2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

*The proposed special use will allow for the redevelopment of the subject property to allow a new industrial building at this location. The proposed new building will be consistent with the surrounding properties, which are also industrial in use and also in zoning. Therefore, the proposed special use meets the standards set forthwith.*

3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

*The proposed redevelopment project will allow adjacent property owners to operate in accordance with existing zoning regulations and will promote future investment in*

*the area and ultimately enhance area property values. Therefore, the proposed special use meets the standards set forthwith.*

4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

*The proposed redevelopment project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of new materials and architectural design along with extensive landscaping should promote investment in the adjacent properties. Therefore, the proposed special use meets the standards set forthwith.*

5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

*The proposed redevelopment project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties. Therefore, the proposed special use meets the standards set forthwith.*

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

*The subject property has ready access to existing City utilities which run along Central Avenue. The proposed utility connections have been submitted on the applicant's engineering plans.*

7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets;

*Parking for the project is appropriate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped 20-foot greenway buffer will be established along Central Avenue. The proposed access points to the property have been designed to minimize traffic hazards and where possible have been aligned with existing access points on the east side of Central Avenue.*

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

*The standards for PUDs are evaluated below, per Section 17.405 of the UDO. This standard is met.*

General Standards and Criteria for Planned Unit Developments (PUD)

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

*The subject property is designated as Industrial/Business Park in the future land use map and the project is consistent with the type of redevelopment occurring within the Industrial zoned area within the City. The proposed development is planned to be a high-image addition to the City's industrial inventory and will not injure or damage the use, value and enjoyment of the adjacent properties or discourage the development of surrounding properties. Therefore, the proposed PUD meets the standards set forthwith.*

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

*The preliminary project schedule targets and approval this summer with demolition of the existing structures, occurring soon thereafter. Vertical construction of the proposed building is anticipated to take approximately seven months with substantial completion projected in January 2020. Therefore, the proposed PUD meets the standards set forthwith.*

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

*The entire property is owned by a single-entity and therefore it meets the standard. Therefore, the proposed PUD meets the standards set forthwith.*

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

*Given that the proposed single building and consolidation of multiple lots into one, Covenants Conditions and Restriction's (CCR's) will not be required of this project. All proposed public utility easements will be included on the Final Plat of Subdivision and be reviewed and approved by the City. Therefore, the proposed PUD meets the standards set forthwith.*

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities *beyond design capacity.*

*The subject property has available and ready access to existing utilities that run along Central Avenue. The utility requirements of the proposed project shall not reduce the capacity for existing developments nor overload City facilities beyond capacity. Therefore, the proposed PUD meets the standards set forthwith.*

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.

*The proposed project is compatible with surrounding land uses within the City and will incorporate substantial site landscaping, inclusive of a 20-foot greenway buffer that will be established along Central Avenue. Furthermore, the proposed project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. Therefore, the proposed PUD meets the standards set forthwith.*

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

*The proposed project is compatible with the surrounding area and will be a quality addition to the City's Industrial base. The use of an attractive building design, extensive landscaping and the additions of sidewalks will enhance the surrounding area and encourage pedestrian mobility. Therefore, the proposed PUD meets the standards set forthwith.*

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

*The proposed project is a high quality industrial building that conforms with the general design standards of the district and is consistent with the type of proposed redevelopment occurring within the industrial zoned areas of the City. Therefore, the proposed PUD meets the standards set forthwith.*

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

*The proposed project conforms with the City's designation as an Industrial/Business Park on the future land use map of the Comprehensive Plan. Therefore, the proposed PUD meets the standards set forthwith.*

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

*The proposed project is a high quality industrial building that conforms with the general design standards of the district it is proposed to be located within. It is not inconsistent with the public general welfare and does not conflict with this standard. Therefore, the proposed PUD meets the standards set forthwith.*

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.

*The proposed project features extensive site landscaping and also includes a 20-foot greenway buffer that is planned along and abutting Central Avenue. Therefore, the proposed PUD meets the standards set forthwith.*

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

*Based upon the Traffic Impact Study (TIS) the two proposed access points from Central Avenue will be sufficient for accommodating the traffic that is planned to be generated by the proposed project. Furthermore, the TIS concludes that the proposed project will generate a low volume of traffic during the peak hours and will not have a significant impact on the area roadways. Therefore, the proposed PUD meets the standards set forthwith.*

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

*There are no dwelling units proposed in the PUD. Off-street parking spaces are located conveniently adjacent to the proposed building and will meet the landscaping*

screening requirements of the code. Therefore, the proposed PUD meets the standards set forthwith.

14. A pedestrian circulation network is provided.

*The proposed project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. In addition, a pedestrian walkway will be provided on-site to connect the auto parking to future office areas. Therefore, the proposed PUD meets the standards set forthwith.*

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

*All utilities to be provided as outlined in the utility plan shall be in accordance with the requirements and regulations of the City. Therefore, the proposed PUD meets the standards set forthwith.*

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

*The proposed project will support the following objectives as outlined in Section B:*

- *Objective 3: functional and beneficial use of open space by providing better connectivity to existing properties along Central Avenue and by providing a 20-foot landscaped buffer along the primary street frontage.*
- *Objective 4: preservation of natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border.*
- *Objective 5: provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by creating and maintaining a 20-foot landscape buffer along Central Avenue, enhanced pedestrian connectivity within and around the site and high-quality building design.*
- *Objective 6: rational and economic development in relation to public services by establishing a proposed project that conforms with future land use plans, creates a value-added annexation opportunity that has limited impact on the required public services.*

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

*The proposed project provides for improved and enhanced buffering for the critical wetland located on the western border of the subject property. Therefore, the proposed PUD meets the standards set forthwith.*

Standards For Site Plan Review:

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan.

*The proposed project conforms to the future land use plan and is consistent with each goal and many of the objectives within the Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.*

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17.

*The proposed project has been designed to increase pedestrian mobility both on-site and along Central Avenue. Furthermore, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrians and vehicle traffic. Therefore, the proposed Site Plan meets the standards set forthwith.*

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements.

*The proposed project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements. Therefore, the proposed Site Plan meets the standards set forthwith.*

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code.

*Detailed engineering plans have been submitted for review by the City Consultant Engineer. The Fire District and Public Works Department has also been asked to review the associated plans and provide comments. Therefore, the proposed Site Plan meets the standards set forthwith.*

5. That the proposed use(s) is/are permitted in the district in which the property is located.

*The proposed project and use is consistent with the subject property's designation as Industrial/Business Park in the future land use map of the City's Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.*

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles.

*The proposed project is planned to be a high quality and high image industrial with office facility that is compatible with adjacent land uses and employs sound planning and zoning principles. Therefore, the proposed Site Plan meets the standards set forthwith.*

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

*The planned project provides for an efficient separation of automobile and truck traffic. Per the TIS, the proposed access points along Central Avenue will be sufficient to serve the planned project with a low traffic impact on the surrounding roadway network. Further, the construction of an on-site walkways and a pedestrian sidewalk along Central Avenue shall provide for the safe movement of pedestrian traffic. Therefore, the proposed Site Plan meets the standards set forthwith.*

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

*No outdoor storage is planned as part of the planned project. Therefore, the proposed Site Plan meets the standards set forthwith.*

#### Standards for Final Plat:

The Community Development Commission shall recommend approval and the City Council shall approve a Final Plat unless it makes written findings specifying the manner in which *(staff comments in italicized)*:

1. The design and layout of the subdivision does not conform to the provisions of the UDO.

*The proposed subdivision includes an additional seven foot of right-of-way dedication, and all required improvements with an additional pedestrian sidewalk along Central Avenue. The design and layout of the proposed subdivision does conform to the provisions of the Unified Development Ordinance (UDO). Therefore, the proposed Site Plan meets the standards set forthwith.*

2. The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.

*The applicant has made adequate provisions to install improvements required by both the CDC and/or City Council under the authority of the UDO. Therefore, the proposed Site Plan meets the standards set forthwith.*

3. The Final Plat fails to comply with an approved Preliminary Plat.

*This standard does not apply because the applicant is applying for a combined Concept, Preliminary and Final Plat concurrently. Therefore, the proposed Site Plan meets the standards set forthwith.*

4. The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.

*The Final Plat of Subdivision conforms with the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, all applicable City Ordinances and planning policies of the City. Therefore, the proposed Site Plan meets the standards set forthwith.*

## **RECOMMENDATION**

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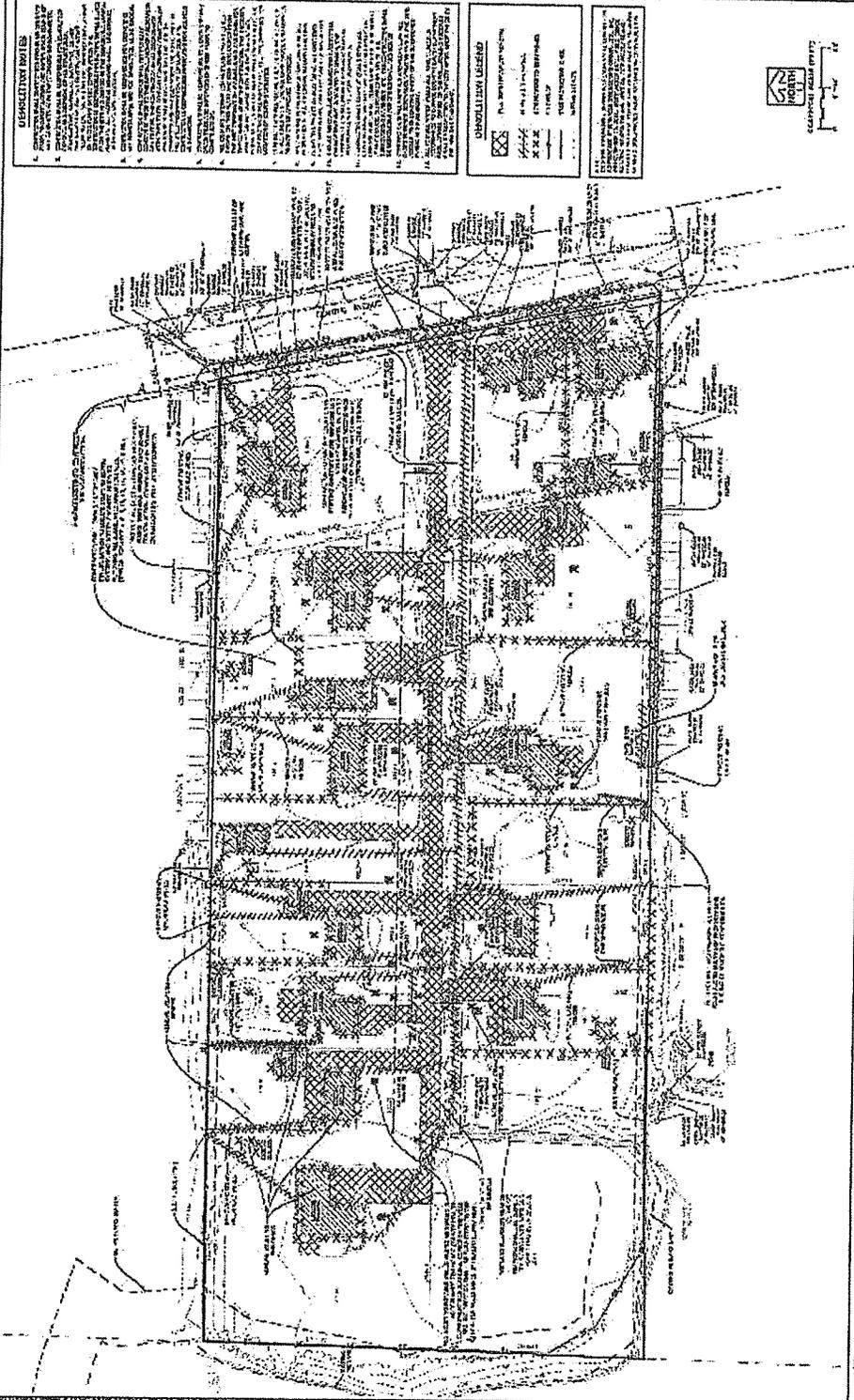
The Community Development Department finds that the request for a Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to redevelop 640 N. Central Avenue is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review meets the standards of approval and is consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo as the findings of the Community Development Commission, and recommend to the City Council approval of Case No. 2019-CDC-01 subject to the following conditions:

1. The Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated May 20, 2019 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
2. Prior to the issuance of a Certificate of Occupancy: the concrete sidewalk along the western side of Central Avenue shall be installed and inspected by the City of Wood Dale.







**DEMOLITION NOTES**

1. ALL EXISTING BUILDINGS AND STRUCTURES TO BE DEMOLISHED AS SHOWN ON THIS PLAN.
2. ALL EXISTING CONCRETE FOUNDATIONS TO BE REMOVED AS SHOWN ON THIS PLAN.
3. ALL EXISTING UTILITIES TO BE REMOVED AS SHOWN ON THIS PLAN.
4. ALL EXISTING PAVEMENT TO BE REMOVED AS SHOWN ON THIS PLAN.
5. ALL EXISTING CURBS AND GUTTERS TO BE REMOVED AS SHOWN ON THIS PLAN.
6. ALL EXISTING SIGNAGE TO BE REMOVED AS SHOWN ON THIS PLAN.
7. ALL EXISTING FENCES TO BE REMOVED AS SHOWN ON THIS PLAN.
8. ALL EXISTING LIGHT FIXTURES TO BE REMOVED AS SHOWN ON THIS PLAN.
9. ALL EXISTING ELECTRICAL PANELS TO BE REMOVED AS SHOWN ON THIS PLAN.
10. ALL EXISTING MECHANICAL EQUIPMENT TO BE REMOVED AS SHOWN ON THIS PLAN.
11. ALL EXISTING ASBESTOS CONTAINING MATERIALS TO BE REMOVED AS SHOWN ON THIS PLAN.
12. ALL EXISTING LEAD PAINT TO BE REMOVED AS SHOWN ON THIS PLAN.
13. ALL EXISTING PCB CONTAINING MATERIALS TO BE REMOVED AS SHOWN ON THIS PLAN.
14. ALL EXISTING HAZARDOUS WASTE TO BE REMOVED AS SHOWN ON THIS PLAN.
15. ALL EXISTING SOIL CONTAMINATION TO BE REMOVED AS SHOWN ON THIS PLAN.
16. ALL EXISTING WATER POLLUTION TO BE REMOVED AS SHOWN ON THIS PLAN.
17. ALL EXISTING AIR POLLUTION TO BE REMOVED AS SHOWN ON THIS PLAN.
18. ALL EXISTING NOISE POLLUTION TO BE REMOVED AS SHOWN ON THIS PLAN.
19. ALL EXISTING VIBRATION POLLUTION TO BE REMOVED AS SHOWN ON THIS PLAN.
20. ALL EXISTING CLIMATE POLLUTION TO BE REMOVED AS SHOWN ON THIS PLAN.

**DEMOLITION LEGEND**

- DEMOLITION BOUNDARY
- EXISTING BUILDING
- EXISTING CONCRETE FOUNDATION
- EXISTING UTILITIES
- EXISTING PAVEMENT
- EXISTING CURBS AND GUTTERS
- EXISTING SIGNAGE
- EXISTING FENCES
- EXISTING LIGHT FIXTURES
- EXISTING ELECTRICAL PANELS
- EXISTING MECHANICAL EQUIPMENT
- EXISTING ASBESTOS CONTAINING MATERIALS
- EXISTING LEAD PAINT
- EXISTING PCB CONTAINING MATERIALS
- EXISTING HAZARDOUS WASTE
- EXISTING SOIL CONTAMINATION
- EXISTING WATER POLLUTION
- EXISTING AIR POLLUTION
- EXISTING NOISE POLLUTION
- EXISTING VIBRATION POLLUTION
- EXISTING CLIMATE POLLUTION

**REVISIONS**

NO.	DATE	BY	CHKD.	DESCRIPTION
1				
2				
3				
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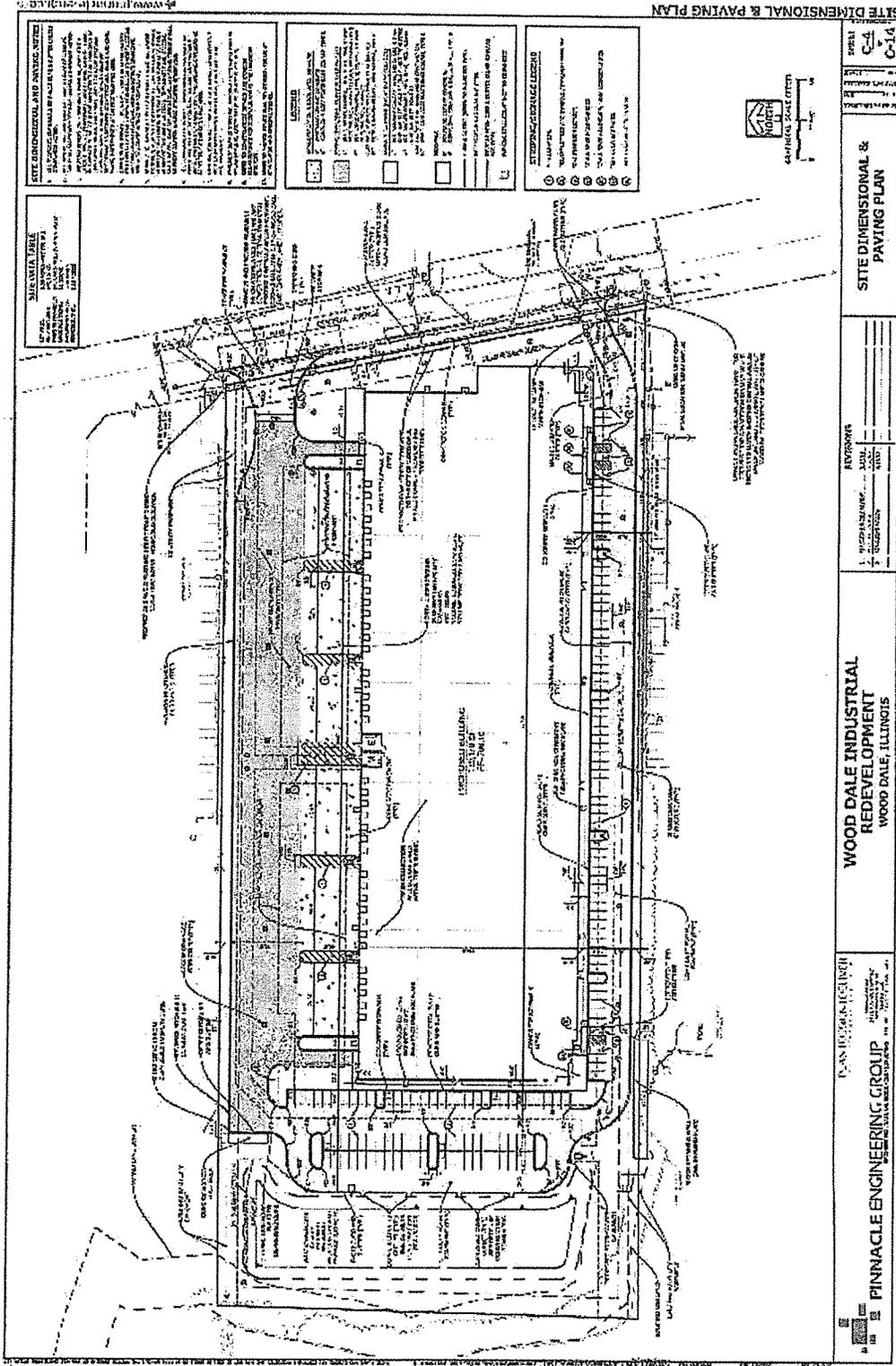
**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**Pinnacle Engineering Group**  
Pinnacle Engineering Group, Inc.  
1111 North LaSalle Street, Suite 200  
Chicago, Illinois 60610  
Tel: (312) 467-1111  
Fax: (312) 467-1112  
www.pinnacleeng.com

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**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS



**SITE DIMENSIONAL AND PAVING NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SIDEWALK UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY UNLESS OTHERWISE NOTED.
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10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY UNLESS OTHERWISE NOTED.

**LEGEND**

EXISTING BUILDING  
NEW BUILDING  
PAVING  
LANDSCAPING  
CURB  
SIDEWALK  
DRIVE  
DRIVEWAY

**NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SIDEWALK UNLESS OTHERWISE NOTED.
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10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY UNLESS OTHERWISE NOTED.

**REVISED**

NO.	DATE	BY	DESCRIPTION
1	11/15/11	JL	ISSUED FOR PERMIT
2	11/15/11	JL	ISSUED FOR PERMIT
3	11/15/11	JL	ISSUED FOR PERMIT

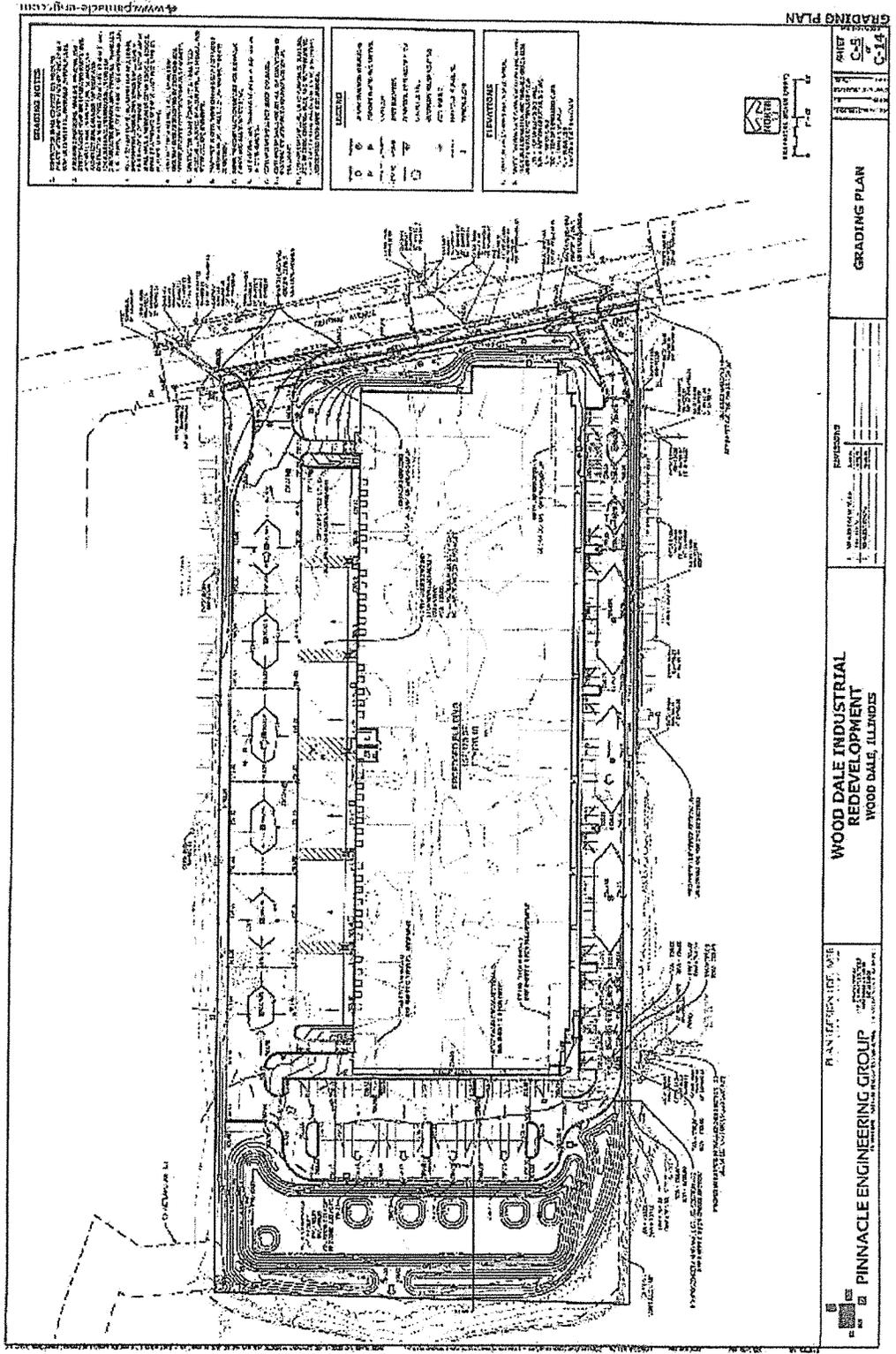
**SITE DIMENSIONAL & PAVING PLAN**

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**Pinnacle Engineering Group**  
1500 W. 15th Street  
Wood Dale, IL 60191  
Tel: 708.261.1100  
Fax: 708.261.1101  
www.pinnacleeng.com

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

SITE DIMENSIONAL & PAVING PLAN



**GRADING NOTES**

1. ALL EXISTING GRADES ARE SHOWN BY DASHED LINES.
2. ALL PROPOSED GRADES ARE SHOWN BY SOLID LINES.
3. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.
4. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.
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10. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.

**LEGEND**

PROPOSED GRADES	SOLID LINE
EXISTING GRADES	DASHED LINE
PROPOSED DRIVEWAYS	SOLID LINE WITH DOTTED CENTER
PROPOSED SIDEWALKS	SOLID LINE WITH DOTTED CENTER
PROPOSED CURBS	SOLID LINE WITH DOTTED CENTER
PROPOSED DRIVEWAYS	SOLID LINE WITH DOTTED CENTER
PROPOSED SIDEWALKS	SOLID LINE WITH DOTTED CENTER
PROPOSED CURBS	SOLID LINE WITH DOTTED CENTER

**TERMINOLOGY**

1. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.

2. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.

3. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.

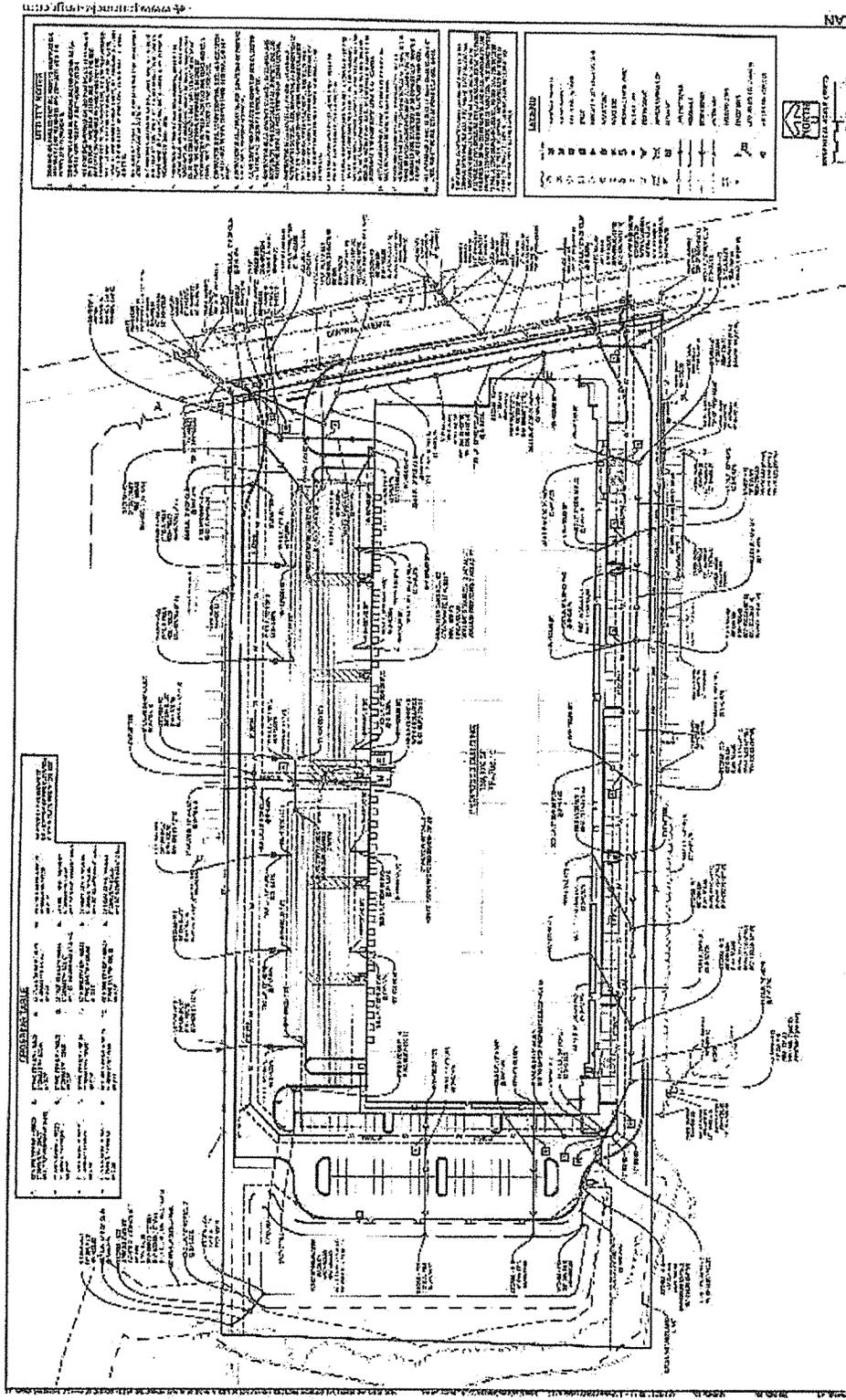
4. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.

5. ALL PROPOSED GRADES ARE TO BE CONFORMED TO THE FINISH GRADES SHOWN ON THIS PLAN.

<b>WOOD DALE INDUSTRIAL REDEVELOPMENT</b> WOOD DALE, ILLINOIS	PLAN SHEET NO. 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000
	<b>PINNACLE ENGINEERING GROUP</b> 1000 W. WASHINGTON ST. SUITE 200 WOOD DALE, ILLINOIS 60095 TEL: (708) 441-1100 FAX: (708) 441-1101 WWW.PINNACLE-ENG.COM

GRADING PLAN

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**CONCRETE**

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**LEGEND**

1. WATER	11. TELEPHONE
2. SEWER	12. CABLE
3. GAS	13. FIBER OPTIC
4. ELECTRIC	14. OTHER
5. ...	...
6. ...	...
7. ...	...
8. ...	...
9. ...	...
10. ...	...

**NOTES**

1. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF WOOD DALE SPECIFICATIONS.
2. THE UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT.
3. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO CHANGE WITHOUT NOTICE.
4. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE CITY OF WOOD DALE.
5. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE STATE OF ILLINOIS.
6. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE FEDERAL GOVERNMENT.
7. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT.
8. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE PRIVATE INDUSTRY.
9. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE PUBLIC.
10. THE UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE ENVIRONMENT.

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**PINNACLE ENGINEERING GROUP**  
10901 JOLIET DRIVE  
JOLIET, ILLINOIS 61731  
TEL: 815-741-1111  
WWW.PINNACLE-ENG.COM

**UTILITY PLAN**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/11/11	ISSUED FOR PERMIT
2	11/11/11	ISSUED FOR PERMIT
3	11/11/11	ISSUED FOR PERMIT
4	11/11/11	ISSUED FOR PERMIT
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7	11/11/11	ISSUED FOR PERMIT
8	11/11/11	ISSUED FOR PERMIT
9	11/11/11	ISSUED FOR PERMIT
10	11/11/11	ISSUED FOR PERMIT

**PROJECT INFORMATION**

PROJECT NO. 1111111111  
SHEET NO. 56  
DATE 11/11/11

**DESIGNER**  
Pinnacle Engineering Group  
11/11/11

**CHECKED**  
11/11/11

**APPROVED**  
11/11/11

WOOD DALE INDUSTRIAL REDEVELOPMENT

SITE STABILIZATION PLAN

**SITE STABILIZATION NOTES**

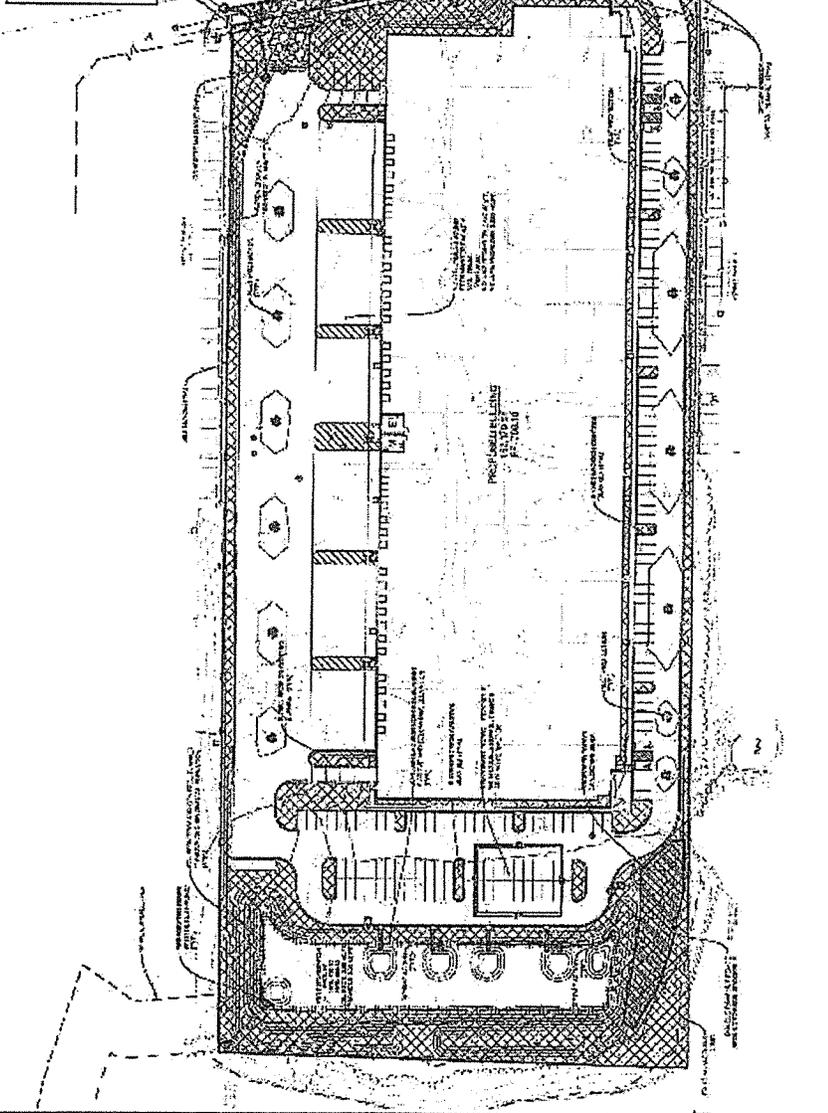
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING FOUNDATIONS.
6. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING WALLS.
7. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING ROOFS.
8. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING INTERIORS.
9. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING EXTERIORS.
10. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING LANDSCAPE.
11. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING UTILITIES.
12. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING STRUCTURES.
13. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING EQUIPMENT.
14. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING MATERIALS.
15. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING FINISHES.
16. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING FIXTURES.
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19. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING LIGHTING.
20. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING HEATING.
21. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING COOLING.
22. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING VENTILATION.
23. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING SOUND.
24. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING VIBRATION.
25. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING AIR QUALITY.
26. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING WATER QUALITY.
27. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING SOIL QUALITY.
28. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING VEGETATION.
29. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING ANIMALS.
30. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING PLANTS.
31. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING TREES.
32. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING SHRUBS.
33. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING HERBS.
34. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING FLOWERS.
35. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING FRUITS.
36. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING SEEDS.
37. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING SPORES.
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42. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING PESTS.
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**EXISTING UTILITIES**

ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

UTILITIES TO BE MAINTAINED:

- 1. WATER MAIN
- 2. SEWER MAIN
- 3. GAS MAIN
- 4. TELEPHONE MAIN
- 5. CABLE MAIN
- 6. LIGHTNING RODS
- 7. FOUNDATIONS
- 8. WALLS
- 9. ROOFS
- 10. INTERIORS
- 11. EXTERIORS
- 12. LANDSCAPE
- 13. UTILITIES
- 14. STRUCTURES
- 15. EQUIPMENT
- 16. MATERIALS
- 17. FINISHES
- 18. FIXTURES
- 19. FURNITURE
- 20. APPLIANCES
- 21. LIGHTING
- 22. HEATING
- 23. COOLING
- 24. VENTILATION
- 25. SOUND
- 26. VIBRATION
- 27. AIR QUALITY
- 28. WATER QUALITY
- 29. SOIL QUALITY
- 30. VEGETATION
- 31. ANIMALS
- 32. PLANTS
- 33. TREES
- 34. SHRUBS
- 35. HERBS
- 36. FLOWERS
- 37. FRUITS
- 38. SEEDS
- 39. SPORES
- 40. BACTERIA
- 41. VIRUSES
- 42. FUNGI
- 43. PARASITES
- 44. PESTS
- 45. DISEASES
- 46. DEFECTS
- 47. DAMAGES
- 48. WEARS
- 49. TEARS
- 50. RIPS
- 51. HOLES
- 52. CRACKS
- 53. SPLIT
- 54. BREAKS
- 55. COLLAPSES
- 56. DEFORMATIONS
- 57. DISTORTIONS
- 58. BUCKLES
- 59. BULGES
- 60. DIMPLES



**CONSTRUCTION SITE REQUIREMENTS**

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING FOUNDATIONS, WALLS, ROOFS, INTERIORS, EXTERIORS, LANDSCAPE, UTILITIES, STRUCTURES, EQUIPMENT, MATERIALS, FINISHES, FIXTURES, FURNITURE, APPLIANCES, LIGHTING, HEATING, COOLING, VENTILATION, SOUND, VIBRATION, AIR QUALITY, WATER QUALITY, SOIL QUALITY, VEGETATION, ANIMALS, PLANTS, TREES, SHRUBS, HERBS, FLOWERS, FRUITS, SEEDS, SPORES, BACTERIA, VIRUSES, FUNGI, PARASITES, PESTS, DISEASES, DEFECTS, DAMAGES, WEARS, TEARS, RIPS, HOLES, CRACKS, SPLIT, BREAKS, COLLAPSES, DEFORMATIONS, DISTORTIONS, BUCKLES, BULGES, DIMPLES.

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**PINNACLE ENGINEERING GROUP**  
P. ANGELO, P.E., P.L.L.C.  
1111 W. WASHINGTON ST., SUITE 200  
CHICAGO, IL 60604  
TEL: (312) 467-1000  
FAX: (312) 467-1001  
WWW.PINNACLE-ENG.COM

**REVISIONS**

NO.	DATE	DESCRIPTION

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

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**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

**PLANT KEY**

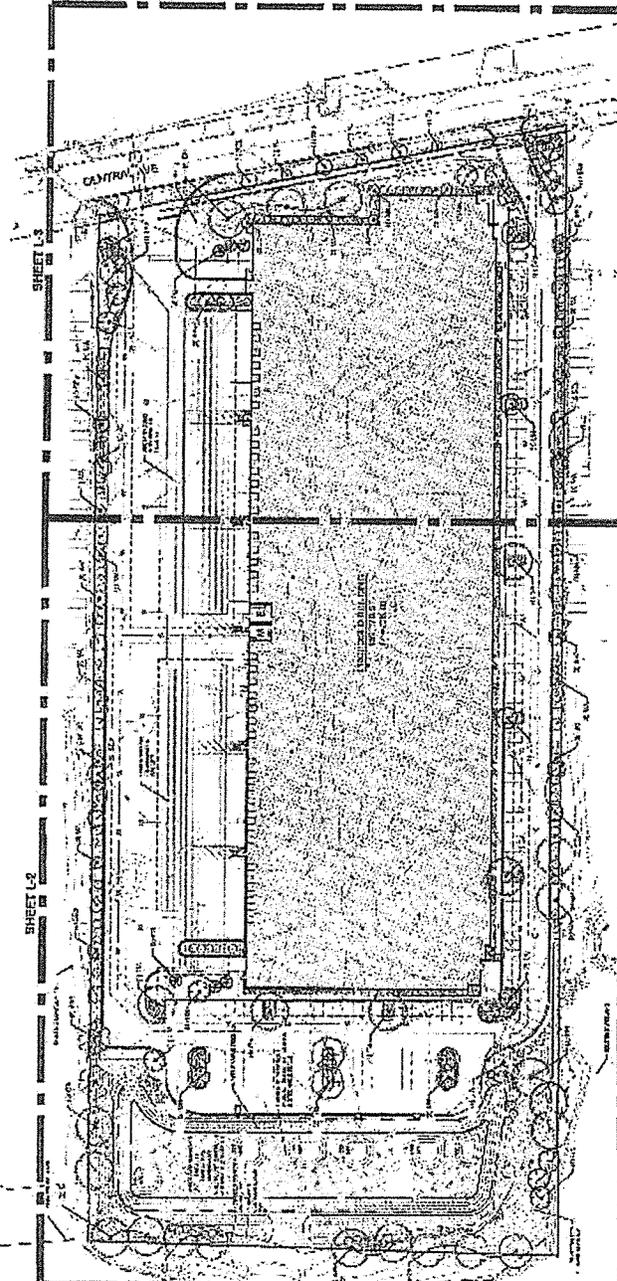
SYMBOL	DESCRIPTION
[Symbol]	PLANTING
[Symbol]	SEEDING
[Symbol]	...

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		

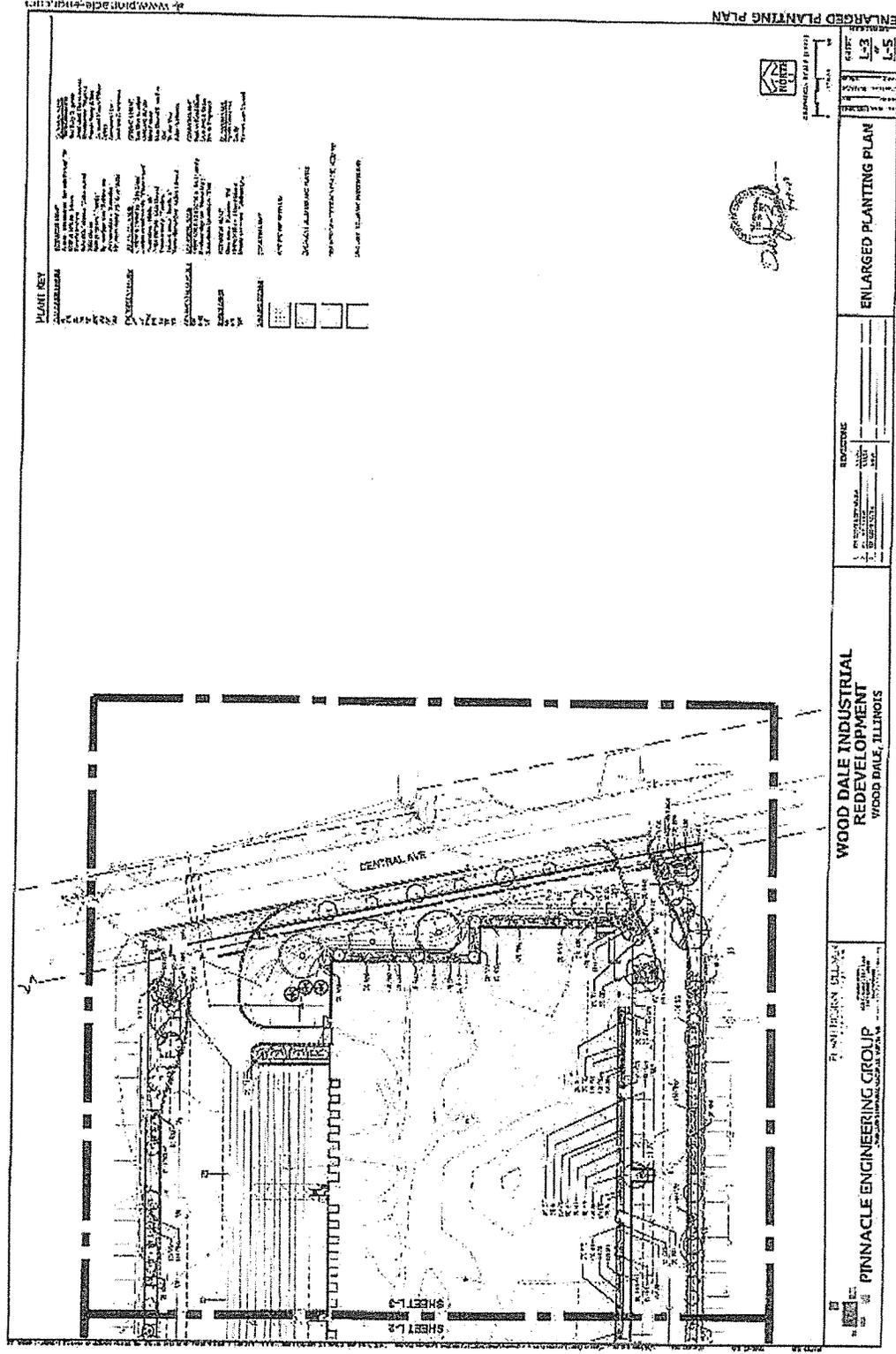
**TABLE NOTES**

- SEE THE SCHEDULE OF COSTS FOR THE PROJECT FOR THE COST OF THE PLANTING AND SEEDING.
- ...



<b>Pinnacle Engineering Group, Inc.</b> 11111 WOOD DALE AVENUE WOOD DALE, ILLINOIS 60095 TEL: (708) 261-1111 FAX: (708) 261-1112 WWW.PINACLE-ENG.COM	<b>WOOD DALE INDUSTRIAL REDEVELOPMENT</b> WOOD DALE, ILLINOIS	SHEET L-2 L-3 L-4 L-5
		OVERALL TREE & SEEDING PLAN





**PLANT KEY**

1	PLANTING	PLANTING
2	PLANTING	PLANTING
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99	PLANTING	PLANTING
100	PLANTING	PLANTING

ENLARGED PLANTING PLAN  
 SCALE: 1/8" = 1'-0"  
 DATE: 11/11/11  
 SHEET: 1-3  
 PROJECT: WOOD DALE INDUSTRIAL REDEVELOPMENT



**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
 WOOD DALE, ILLINOIS

**PINNACLE ENGINEERING GROUP**  
 1111 W. WASHINGTON ST., SUITE 200  
 WOOD DALE, IL 60191  
 TEL: 815.585.1111  
 FAX: 815.585.1112  
 WWW.PINNACLE-ENG.COM

SHEET 1-3  
 SHEET 1-2  
 SHEET 1-4



### 1 TREE PLANTING

1. PREPARE THE PLANTING PIT TO THE SPECIFIED DIMENSIONS AND DEPTH. THE PIT SHOULD BE WIDER THAN DEEP AND SHOULD BE ENLARGED AT THE BOTTOM TO ACCOMMODATE THE ROOT BALL. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS.

### 2 EXISTING TREE PLANTING

2. PREPARE THE PLANTING PIT TO THE SPECIFIED DIMENSIONS AND DEPTH. THE PIT SHOULD BE WIDER THAN DEEP AND SHOULD BE ENLARGED AT THE BOTTOM TO ACCOMMODATE THE ROOT BALL. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS.

### 3 SHRUB PLANTING

3. PREPARE THE PLANTING PIT TO THE SPECIFIED DIMENSIONS AND DEPTH. THE PIT SHOULD BE WIDER THAN DEEP AND SHOULD BE ENLARGED AT THE BOTTOM TO ACCOMMODATE THE ROOT BALL. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS.

### 4 PERENNIAL PLANTING

4. PREPARE THE PLANTING PIT TO THE SPECIFIED DIMENSIONS AND DEPTH. THE PIT SHOULD BE WIDER THAN DEEP AND SHOULD BE ENLARGED AT THE BOTTOM TO ACCOMMODATE THE ROOT BALL. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS.

### 5 PLANT SPACING

5. PREPARE THE PLANTING PIT TO THE SPECIFIED DIMENSIONS AND DEPTH. THE PIT SHOULD BE WIDER THAN DEEP AND SHOULD BE ENLARGED AT THE BOTTOM TO ACCOMMODATE THE ROOT BALL. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS.

### 6 EMERGENT PILE BRACKISH

6. PREPARE THE PLANTING PIT TO THE SPECIFIED DIMENSIONS AND DEPTH. THE PIT SHOULD BE WIDER THAN DEEP AND SHOULD BE ENLARGED AT THE BOTTOM TO ACCOMMODATE THE ROOT BALL. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS.

### 7 TRENCHED BED EDGE

7. PREPARE THE PLANTING PIT TO THE SPECIFIED DIMENSIONS AND DEPTH. THE PIT SHOULD BE WIDER THAN DEEP AND SHOULD BE ENLARGED AT THE BOTTOM TO ACCOMMODATE THE ROOT BALL. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS. THE PIT SHOULD BE ENLARGED TO A MINIMUM OF 12 INCHES IN ALL DIRECTIONS.

PLANTING DETAILS & SCHEDULE	
NO.	DESCRIPTION
1	TREE PLANTING
2	EXISTING TREE PLANTING
3	SHRUB PLANTING
4	PERENNIAL PLANTING
5	PLANT SPACING
6	EMERGENT PILE BRACKISH
7	TRENCHED BED EDGE

**WOOD DALE INDUSTRIAL REDEVELOPMENT**  
WOOD DALE, ILLINOIS

Pinnacle Engineering Group

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	TREE PLANTING	100	EA	10.00	1000.00
2	EXISTING TREE PLANTING	50	EA	5.00	250.00
3	SHRUB PLANTING	200	EA	2.00	400.00
4	PERENNIAL PLANTING	100	EA	1.00	100.00
5	PLANT SPACING	100	EA	1.00	100.00
6	EMERGENT PILE BRACKISH	100	EA	1.00	100.00
7	TRENCHED BED EDGE	100	EA	1.00	100.00

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	TREE PLANTING	100	EA	10.00	1000.00
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6	EMERGENT PILE BRACKISH	100	EA	1.00	100.00
7	TRENCHED BED EDGE	100	EA	1.00	100.00

**CONNELLY ELECTRIC**  
 40 S. ARDEN ROAD  
 ANDERSON, IL 60101  
 815-453-8588  
 www.connellyelectric.com

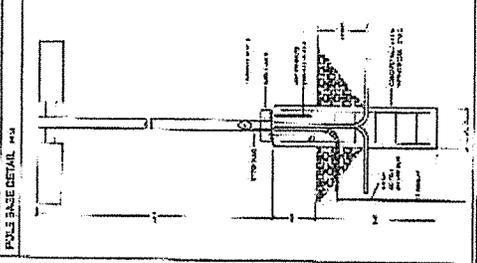
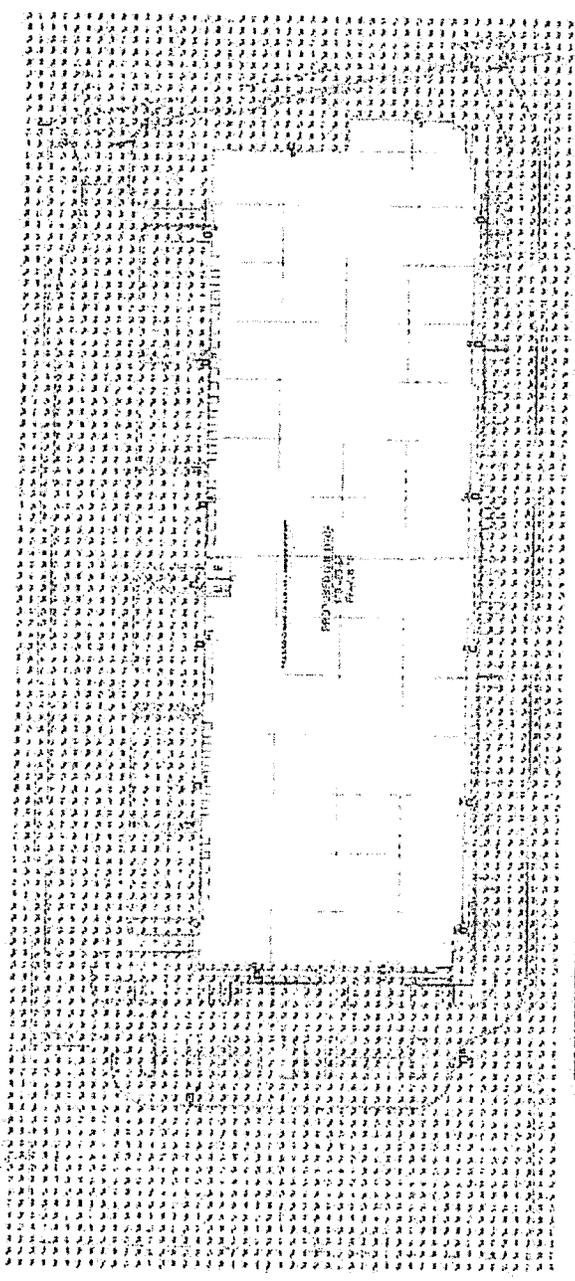


NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/15/11
2	ISSUED FOR PERMITS	11/15/11
3	ISSUED FOR PERMITS	11/15/11
4	ISSUED FOR PERMITS	11/15/11
5	ISSUED FOR PERMITS	11/15/11
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8	ISSUED FOR PERMITS	11/15/11
9	ISSUED FOR PERMITS	11/15/11
10	ISSUED FOR PERMITS	11/15/11

**WOOD DALE  
 PHOTOMETRIC  
 GENERAL PLAN  
 WOOD DALE**

**SITE  
 PHOTOMETRIC**

DATE: 11/15/11  
 DRAWN BY: JAC  
 CHECKED BY: JAC  
 PROJECT NO.: E100



**VILLAGE COMMENTS**

1. THIS PLAN IS FOR THE PROPOSED LIGHT FIXTURES AND LIGHTING FIXTURES.
2. THE LIGHTING FIXTURES ARE TO BE INSTALLED AT THE LOCATIONS SHOWN ON THIS PLAN.
3. THE LIGHTING FIXTURES ARE TO BE INSTALLED AT THE LOCATIONS SHOWN ON THIS PLAN.
4. THE LIGHTING FIXTURES ARE TO BE INSTALLED AT THE LOCATIONS SHOWN ON THIS PLAN.

**ILLUMINATING STATISTICS**

AREA	AREA	AVG. FOOT CANDLE	MIN. FOOT CANDLE	MAX. FOOT CANDLE
1	200	0.10	0.05	0.20
2	200	0.10	0.05	0.20
3	200	0.10	0.05	0.20
4	200	0.10	0.05	0.20
5	200	0.10	0.05	0.20
6	200	0.10	0.05	0.20
7	200	0.10	0.05	0.20
8	200	0.10	0.05	0.20
9	200	0.10	0.05	0.20
10	200	0.10	0.05	0.20

**REMARKS**

NO.	REMARKS	DATE
1	ISSUED FOR PERMITS	11/15/11
2	ISSUED FOR PERMITS	11/15/11
3	ISSUED FOR PERMITS	11/15/11
4	ISSUED FOR PERMITS	11/15/11
5	ISSUED FOR PERMITS	11/15/11
6	ISSUED FOR PERMITS	11/15/11
7	ISSUED FOR PERMITS	11/15/11
8	ISSUED FOR PERMITS	11/15/11
9	ISSUED FOR PERMITS	11/15/11
10	ISSUED FOR PERMITS	11/15/11

① SITE PHOTOMETRIC PLAN  
 11/15/11















## Exhibit G

200 West Madison Street  
Suite 1200  
Chicago, IL 60606  
Phone: 312.881.7000  
transwesterndevelopment.com



April 19, 2019

Ms. Kelley Chrissie  
Assistant Community Development Director  
City of Wood Dale  
404 N. Wood Dale Road  
Wood Dale, IL 60191

Re: Redevelopment of Washington Street and Central Avenue

Dear Ms. Chrissie:

CH Realty VIII/I Chicago Washington St., L.L.C. ("Owner") has acquired the twenty (20) parcels located at Washington Street and Central Avenue, which is commonly known as Lots 1-20 of the Wood Dale Highland Garden Lots in Unincorporated DuPage County ("Property"). In its capacity as development manager for the Owner, Ridge Development Company, L.L.C. (a subsidiary of Transwestern Development Company) is proposing the voluntary annexation, rezone and subdivision of the 9.6-acre Property for a transformative light industrial redevelopment ("Project") in the City of Wood Dale ("City"). The Project will create positive economic impacts for the City and will generate new funds that will directly support funding for local schools, fire safety, roads, parks and other critical services that allow the City to attract and retain residents. Moreover, the creation of local employment opportunities through a successful Project will further strengthen the City's ability to support additional commercial and retail amenities for the community.

Located at the intersection of Washington Street and Central Avenue, the Project is consistent with the City's future land use plan and will serve as a natural addition to the local industrial base. With a focus on attractive building design, modern amenities and extensive landscaping, the Project will further strengthen the City's reputation as a premier location for high-image industrial users. Further, the Project will attract a broad range of high-quality corporate tenants, along with the jobs and tax revenues that accompany them.

We're confident that the Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan, including creating opportunities for economic development, expanding job opportunities in the community and pursuing annexation of sites that add value to the City. We look forward to an opportunity to discuss this Project and the many benefits it will provide to the City.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Mohoney', written over a faint circular stamp.

Kevin Mohoney  
Vice President  
Transwestern Development Company

Project Overview

The Property is located within the City's primary industrial business park south of Illinois 390 and is surrounded by industrial buildings to the north, east and south. To the west of the Property is a known wetland which is owned by the City of Wood Dale Park District. The Property is currently improved with fifteen (15) residential homes which were primarily constructed before 1980. Due to the unincorporated nature of the parcels, water and sewer is provided individually to the homes by private well and septic systems. The Property also includes five (5) unimproved vacant land parcels. In total, the twenty (20) parcels comprise approximately 9.6-acres (inclusive of Washington Street). In its current state, the Property provides limited benefits to the City and as such has been a longtime target for annexation.

As further outlined in the detailed plans accompanying this submittal, the annexed Property can accommodate the construction of a state-of-the-art light industrial building totaling 159,170 square feet. The Project, to be constructed of precast concrete, glass and steel, is consistent with the City's future land use plan and will serve as a natural addition to the area's high-image industrial base.

Existing site constraints including poor soil conditions and required wetland buffering prevent the opportunity to develop the western boundary of the site. As a result, the building has been oriented to the eastern boundary of the site while maintaining the required 20-foot greenway buffer and 7-foot ROW dedication along Central Avenue. The following requested deviations are necessary to provide a building that meets modern design standards while maximizing potential economic benefits to the City:

- 1) *Number of Required Parking Spaces:* parking for the Project, currently designed at 1 space per 1,098 SF, is adequate for a typical distribution tenant. The requested reduction in spaces will allow the Project to maintain a low traffic impact on the surrounding roadway network as outlined in the enclosed traffic study;
- 2) *Service Drive Off-Set:* with respect to driveway alignment, auto access has been aligned with Tempco's northerly access drive. Site constraints do not allow for alignment of the proposed service drive, however as outlined in the enclosed traffic study the proposed access point shall provide minimal potential conflicts;
- 3) *Service and Auto Drive Curb-Cut Width:* driveway width for both service and auto drives has been widened to accommodate the safe and efficient flow of traffic;
- 4) *Elimination of Surface Parking Zone:* the building has been oriented to avoid unsuitable soils while also preserving the natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border. Further, the proposed layout highlights the building's architecturally significant features along Central Avenue while efficiently dispersing auto parking around the building to accommodate multiple future tenants.
- 5) *Elimination of Build-To Line Requirements:* the angled nature of the Property line prevents the ability to fully comply with the build-to line requirements. The building has been designed to meet as much of the requirement as possible, while maintaining a building that meets modern design standards.
- 6) *Elimination of Required Trash Enclosure:* in lieu of a dedicated enclosed refuse collection area, it is typical for tenants to utilize a trash compactor at an existing dock door. Given the orientation of the building and the use of extensive landscaping, it is expected that these future areas would be adequately screened from both the ROW and adjacent properties.

The preliminary Project schedule targets City approval in June with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately seven (7) months with substantial completion projected in January 2020.

As detailed in the enclosed application, the Owner is requesting the following:

- Annexation into the City of Wood Dale pursuant to an annexation agreement
- Rezoning to Business Park sub-area of the Thorndale Corridor Corporate Overlay with I-1, Light Industrial, underlying zoning
- Vacation of Washington Street
- Final Plat of Subdivision to consolidate lots
- Special Use to allow a Planned Unit Development (PUD)
- PUD - Final Development Plan with deviations

#### **Comprehensive Plan**

The Property is designated as Industrial/Business Park in the future land use map of the City's comprehensive plan which was adopted on August 2, 2018. The Project would support the following Goals and Objectives as outlined in the comprehensive plan:

- **GOAL 1: Connect Wood Dale Citizens to...**
  - *Objective 2: Increase walking and biking amenities*
    - Construction of pedestrian sidewalk to connect existing properties along Central Avenue.
  - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale*
    - The Project will attract a broad range of high-quality corporate tenants and the jobs that accompany them.
- **GOAL 2: Build Community Capacity**
  - *Objective 1: Seek opportunities for economic development*
    - The special use and PUD process will support the redevelopment and annexation of the Property which is currently unincorporated and provides limited value to the City in its current state.
  - *Objective 2: Expand job opportunities in the community*
    - The Project will further strengthen the City's industrial base and will be attractive to a range of businesses and associated jobs.
  - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational function.*
    - The Project will add value to the City through the creation of new tax revenues and local jobs.
- **GOAL 3: Embrace Small-Town Charm**
  - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas*
    - With the use of attractive building design and extensive landscaping, the Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.
- **GOAL 4: Keep Wood Dale Diverse**
  - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life*
    - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary industrial uses that can be located in the city and complement existing industries."
- **GOAL 5: Protect Land Values**
  - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents*
    - The Project is consistent with the City's stated strategy to "Balance land use decisions to maintain strong tax base and minimize property tax burden on residents."

**Special Use Standards**

1. **The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;**

The Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction, will add value to the City through the establishment of new tax revenues and will encourage the creation of jobs for residents.

2. **The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;**

The Project will further strengthen the City's industrial base by greatly enhancing an underutilized site that is not currently within the City's jurisdiction. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties. Additionally, as outlined in the enclosed traffic study, the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

3. **The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;**

The Project will allow adjacent property owners to continue to operate in accordance with existing zoning regulations and will serve to promote future investment in the area and ultimately enhance area property valuations.

4. **The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;**

The Project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties.

5. **The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;**

The Project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties.

6. **Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;**

The Property has ready access to existing City utilities which run along Central Avenue. The proposed utility connections as outlined in the enclosed utility plan shall be reviewed and approved by the City.

7. **Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and**

Parking for the Project is adequate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped 20-foot greenway buffer has been established along Central Avenue. The proposed access points to the Property have been designed to minimize traffic hazards and where possible have been aligned with existing access points on the east side of Central Avenue.

PUD Standards

1. **The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.**

The Property is designated as Industrial/Business Park in the future land use map and the Project is consistent with the type of redevelopment occurring within the industrial zoned areas within the City. The Project will be a high-image addition to the City's industrial base and will not injure or damage the use, value and enjoyment of adjacent properties or discourage the development of surrounding properties.

2. **The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.**

The preliminary Project schedule targets City approval in June with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately seven (7) months with substantial completion projected in January 2020.

3. **The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.**

The Property is owned by CH Realty VIII/I Chicago Washington St., L.L.C.

4. **The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.**

Given the proposed single building and consolidation of multiple lots into one, it is applicant's understanding that Covenants, Conditions and Restrictions (CCRs) will not be necessary. Any proposed public utility easements would be identified on the enclosed Final Plat to be approved by the City.

5. **Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.**

The Property has ready access to existing utilities which run along Central Avenue. The utility requirements of the Project shall not reduce capacity for existing developments nor overload local facilities beyond capacity.

6. **The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.**

The Project is compatible with surrounding land uses and will incorporate substantial site landscaping, including a 20-foot greenway buffer that is to be established along Central Avenue. Further, the Project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue.

7. **The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.**

The Project is compatible with the surrounding area and will be a high-image addition to the City's industrial base. The use of attractive building design, extensive landscaping and the addition of sidewalks should enhance the surrounding area and encourage pedestrian mobility.

8. **The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is consistent with the type of redevelopment occurring within the industrial zoned areas within the City.

9. **The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.**

The Project conforms to the City's designation as Industrial/Business Park in the future land use map of the comprehensive plan.

10. **Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is not inconsistent with the public general welfare. The deviations requested are warranted to create a building that will attract high-image tenants and jobs while maximizing economic development within the City.

11. **Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.**

As outlined in the enclosed landscaping plan, the Project features extensive site landscaping and includes a 20-foot greenway buffer that is to be established along Central Avenue.

12. **All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.**

Based on the enclosed Traffic Impact Study (TIS), the two (2) proposed access points off Central Avenue will be adequate in accommodating the traffic to be generated by the Project. Further, the TIS concludes that the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

There are no dwelling units within the PUD.

14. A pedestrian circulation network is provided.

The Project will include the construction of a pedestrian sidewalk to connect existing properties along Central Avenue. In addition, a pedestrian walkway will be provided on-site to connect the auto parking to future office areas.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

All utilities to be provided for the Project as outlined in the enclosed utility plan shall be in accordance with the requirements and regulations of the City.

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

The Project will support the following objectives as outlined in subsection B:

- *Objective 3:* functional and beneficial use of open space by providing better connectivity to existing properties along Central Avenue and by providing a 20-foot landscaped buffer along the primary street frontage.
  - *Objective 4:* preservation of natural landscape features of the site by providing an improved and enhanced buffer for the critical wetland located on the western border.
  - *Objective 5:* provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by maintaining and creating a 20-foot landscaped buffer along Central Avenue, enhanced pedestrian connectivity within and around the site and high-quality building design.
  - *Objective 6:* rational and economic development in relation to public services by establishing a Project that conforms with future land use plans, creates a value-add annexation opportunity and has limited impact on public services required.
17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

As previously noted, the Project provides for improved and enhanced buffering for the critical wetland located on the western border of the Property.

Standards for Major Site Plan Review

1. **The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;**

The Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan.

2. **Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17;**

The Project has been designed to increase pedestrian mobility both on-site and along Central Avenue. Further, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrian and vehicle traffic.

3. **Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;**

The Project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements.

4. **The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code;**

Detailed engineering plans are enclosed for review and comment by City staff.

5. **That the proposed use(s) is/are permitted in the district in which the property is located;**

The Project is consistent with the Property's designation as Industrial/Business Park in the future land use map of the City's comprehensive plan.

6. **That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;**

The Project will be a high-image industrial building that is compatible with adjacent land uses and employs sound planning principles.

7. **That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well; and**

The Project provides for efficient separation of auto and truck traffic. Per the TIS, the proposed access points along Central will be adequate to serve the Project with a low traffic impact on the surrounding roadway network. Further, the construction of on-site walkways and a pedestrian sidewalk along Central Avenue shall provide for the safe movement of pedestrian traffic.

8. **That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.**

No outdoor storage is planned as part of the Project.

Standards for Final Plat

1. **The design and layout of the subdivision does not conform to the provisions of the UDO.**

The proposed subdivision includes the requested 7-foot ROW dedication and all required improvements, including a pedestrian sidewalk along Central Avenue. The design and layout of the subdivision does conform to the provisions of the UDO.

2. **The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.**

The applicant has made adequate provisions to install improvements required by the CDC or City Council under authority of the UDO.

3. **The Final Plat fails to comply with an approved Preliminary Plat.**

Not applicable as the applicant is applying for a combined Concept, Preliminary and Final Plat approval process.

4. **The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.**

The Final Plat of Subdivision conforms to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, applicable City ordinances and planning policies of the City.