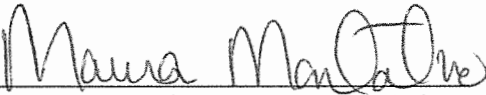


STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

I, Maura Montalvo, Deputy City Clerk of Wood Dale, Illinois DO HEREBY CERTIFY that as such Deputy City Clerk and keeper of the records, that the foregoing is a true and correct copy of Resolution #R-19-58 **A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT FOR PROPERTY COMMONLY KNOWN AS THE BRYN MAWR AVENUE ADDITION TO WOOD DALE 800 N. IL ROUTE 83, WOOD DALE, ILLINOIS 60191**

Passed by The City of Wood Dale, Du Page County, Illinois, IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed the seal of the City of Wood Dale, this 21ST day of November, 2019.


Maura Montalvo, Deputy City Clerk

SEAL



Resolution #R-19-58

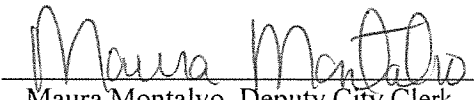
A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT FOR PROPERTY COMMONLY KNOWN AS THE BRYN MAWR AVENUE ADDITION TO WOOD DALE 800 N. IL ROUTE 83, WOOD DALE, ILLINOIS 60191

Passed: November 21, 2019
Published in Pamphlet Form: November 22, 2019

I, Maura Montalvo, as the Deputy City Clerk for the City of Wood Dale, hereby certify that the attached Resolution is a true and correct copy of #R-19-58

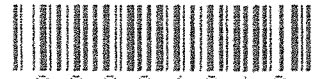
A RESOLUTION AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT FOR PROPERTY COMMONLY KNOWN AS THE BRYN MAWR AVENUE ADDITION TO WOOD DALE 800 N. IL ROUTE 83, WOOD DALE, ILLINOIS 60191

Passed and approved by the City Council of the City of Wood Dale on November 21, 2019 and hereby published in pamphlet on November 22, 2019.


Maura Montalvo, Deputy City Clerk

SEAL





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FRED BUCHOLZ, RECORDER
DUPAGE COUNTY ILLINOIS
03/10/2020 02:44 PM
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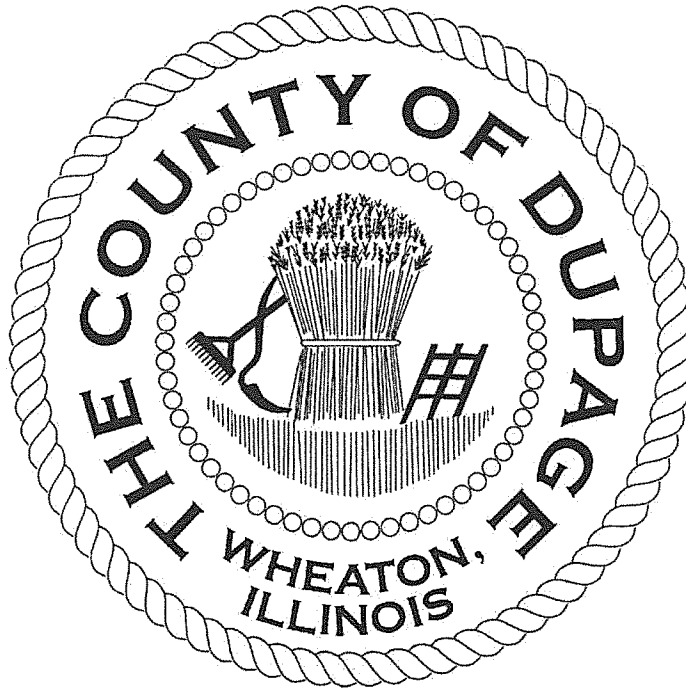
DOCUMENT # R2020-024308

FRED BUCHOLZ

DUPAGE COUNTY RECORDER
421 NORTH COUNTY FARM ROAD
WHEATON, ILLINOIS 60187

(630)407-5400

RECORDING COVER PAGE



Prepared By
Mail To:

(BOND, DICKSON & CONWAY)

400 S KNOLL ST

UNIT C

WHEATON, IL 60187

191

RESOLUTION NO. R-19-58

**A RESOLUTION AUTHORIZING THE EXECUTION
OF AN ANNEXATION AGREEMENT FOR PROPERTY
COMMONLY KNOWN AS
THE BRYN MAWR AVENUE ADDITION TO WOOD DALE
800 N. IL ROUTE 83, WOOD DALE, ILLINOIS 60191**

WHEREAS, CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C. (“Petitioner”), is the owner of certain property, bearing the common address of 800 N. IL Route 83, Wood Dale, Illinois (upon annexation), consisting of the following PINS:

03-03-402-001, -002, -003, -004, 005, and -006; and 03-03-404-001, -002, -003, -004, -005, -006, -007, and -008; and 03-03-405-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -015, -016, -017, and -018 (the “Property”); and

WHEREAS, it is in the best interests of the City of Wood Dale, County of DuPage, State of Illinois, that a certain Annexation Agreement pertaining to the annexation and use of the Property, as well as of certain existing rights or way, or portions thereof, collectively said property (“Annexed Property”) being described as follows:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, AND ALL OF PINE AVENUE, LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, ALL OF ARDMORE AVENUE LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF PINE AVENUE AND THE NORTH 33.91 FEET OF BRYN MAWR AVENUE LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 83 , ALL IN BRANIGAR’S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BRANIGAR’S MOHAWK MANOR, RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS

be entered into; and

WHEREAS, Petitioner is ready, willing and able to enter into that Annexation Agreement and to perform the obligations as required thereunder; and

WHEREAS, upon annexation, the Annexed Property will be zoned R-1 Estate Residential District; and

WHEREAS, pursuant to the Annexation Agreement, Petitioner seeks to consolidate the Annexed Property into one zoning lot; to rezone the Property to I-1 Light

Industrial; and to secure a Special Use Permit for a Planned Unit Development to allow for the establishment of a single light industrial building; and

WHEREAS, the statutory procedures provided for in the Illinois Municipal Code, 65 ILCS 5/11-15.1-1, for the execution of the Annexation Agreement have been fully complied with, including, but not limited to the notice of, and public hearing concerning, the entry into the Annexation Agreement; and

WHEREAS, the Corporate Authorities have considered the terms and provisions of the proposed Annexation Agreement, and deem it advisable to execute.

NOW, THEREFORE, BE IT ORDAINED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS:

SECTION ONE: The recitals set forth above are incorporated herein and made a part hereof.

SECTION TWO: That the Mayor and the City Clerk be and the same are hereby authorized and directed to execute the Annexation Agreement heretofore incorporated herein as Exhibit A, to govern the zoning, use and development of the Annexed Property, by and on behalf of the City of Wood Dale.

SECTION THREE: That the City Clerk of the City of Wood Dale be and is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published, and that she is further directed to file a copy of this Ordinance and Annexation Agreement attached hereto with the DuPage County Clerk and with the DuPage County Recorder.

SECTION FOUR: The Mayor, City Manager, staff, and/or the City Attorney shall take all the steps necessary to carry out the terms of the Annexation Agreement.

SECTION FIVE: All ordinances and resolutions or parts thereof in conflict with the provisions of this Resolution are, to the extent of such conflict, hereby repealed.

SECTION SIX: This Resolution shall be in full force and effect from and after its adoption, approval, and publication in pamphlet form as provided by law.

PASSED this 21st day of November, 2019

AYES: 7

NAYS: 0

ABSENT: 1

APPROVED this 21st day of November, 2019

SIGNED: Annunziato Pulice
Annunziato Pulice, Mayor

ATTEST: Maura Montano
City Clerk

Published in pamphlet form: November 21, 2019

EXHIBIT A
ANNEXATION AGREEMENT

CITY OF WOOD DALE, ILLINOIS
ANNEXATION AGREEMENT

CH REALTY VIII-TDC I CHICAGO BRYN MAWR L.L.C.

THIS ANNEXATION AGREEMENT (“Agreement”) is made and entered into this 21 day of November, 2019, by and between the **CITY OF WOOD DALE**, an Illinois Municipal Corporation, DuPage County, Illinois (“City”) and **CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C.**, a Delaware Limited Liability Company (“Owner”) (referred to herein collectively with the City as the “Parties”).

RECITALS

WHEREAS, Owner is the owner of thirty-one (31) lots of record improved for residential use or unimproved and vacant (“Property”); and

WHEREAS, the Property is presently situated within the unincorporated area of DuPage County; and

WHEREAS, the Property is not within the corporate limits of any municipality and is contiguous to the corporate limits of the City; and

WHEREAS, the Owner has filed with the City Clerk of the City a Petition for Annexation signed by the Owner of Record of the Property and nearly all electors that resided within such territory at the time said petition was filed; and

WHEREAS, the annexation of the Property shall include those adjacent portions of Pine Avenue, Ardmore Avenue and Bryn Mawr Avenue, as legally described in Exhibit A, and shall extend the corporate limits of the City to the far side of any adjacent highway not heretofore annexed to any other municipality; and

WHEREAS, the territory to be annexed (“Annexation Territory”) is depicted on the plat attached hereto and incorporated herein by reference as Exhibit B (“Plat of Annexation”); and

WHEREAS, the Owner intends to, through a Final Plat of Subdivision and street vacations as described herein, consolidate the lots and all or portions of existing rights-of-way into one zoning lot and lot of record comprising 17.726 acres (“Subject Property”), which shall be rezoned to the I-1 Light Industrial District to allow, through the special use Planned Unit Development approval process, for the establishment of a light industrial building with a footprint totaling approximately 301,075 square feet with additional mezzanine space (the “Project”), expected initially to house Nippon Express, U.S.A., Inc.; and

WHEREAS, it is the desire of the City and Owner that the use and any further development of the Subject Property as an industrial building proceed subject to this Agreement and all other ordinances and codes of the City, except as the same may be modified as described

herein or as part of a Planned Unit Development (a Special Use within the I-1 Light Industrial District) applied to the Subject Property or otherwise; and

WHEREAS, pursuant to 65 ILCS 5/11-15.1-1 *et seq.*, as amended, the Parties have the authority to enter into this Agreement and desire to do so; and

WHEREAS, the Owner is desirous of annexing the Subject Property to the City pursuant to the terms and conditions hereinafter set forth; and

WHEREAS, pursuant to the provisions of 65 ILCS 5/11-15.1-1 *et seq.* and 65 ILCS 5/7-1-1 *et seq.*, a proposed form of annexation agreement in substance and in form substantially the same as this Agreement was submitted to the City;

WHEREAS, all public hearings, as required by law, have been held by the Community Development Commission of the City, and by the Mayor and City Council of the City (the "Corporate Authorities"), upon the matters covered by this Agreement; and

WHEREAS, notices of the proposed annexation and this Agreement have been duly and timely given to all governmental entities and any other parties as required by law; and

WHEREAS, the Corporate Authorities of the City, after due and careful consideration, have concluded that the annexation, proposed zoning, proposed street vacations, subdivision, and continued use of the Subject Property, upon the terms and conditions hereinafter set forth, will be compatible with the planning objectives of the City (including specifically its Comprehensive Plan) and that the annexation of the Annexation Territory will extend the corporate limits and jurisdiction of the City; will permit orderly growth, planning and development of the City; will increase the tax base of the City; will promote the general welfare of the City; and will enable the City to control the further development of the area and serve the best interests of the City; and

WHEREAS, the Owner, in furtherance of the use of the Subject Property, seeks assurances from the City of certain terms and conditions and the continuation thereof for a definite period of time; and

WHEREAS, by a favorable vote of at least two-thirds (2/3) of the Corporate Authorities of the City then holding office, a Resolution has heretofore been adopted authorizing the execution of this Agreement.

NOW, THEREFORE, in consideration of the foregoing Recitals and in further consideration of the mutual covenants, conditions and agreements herein contained, the Parties hereto agree as follows:

GENERAL PROVISIONS

Section 1: Incorporation of Recitals

The Parties hereby confirm the truth and validity of the representations and recitations set forth in the foregoing Recitals. The Parties further acknowledge that the same are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this Section 1.

Section 2. Applicable Law

This Agreement is made and entered into by the Parties pursuant to and in accordance with the provisions of 65 ILCS 5/11-15.1-1, *et seq.*, as amended. All terms and conditions of this Agreement and all acts of the City and Owner pursuant to this Agreement are entered into and performed pursuant to all applicable laws and statutes of the State of Illinois.

Section 3. Mutual Assistance

The Parties shall do all things necessary or appropriate to carry out the terms and provisions of this Agreement and to aid and assist each other in furthering the objectives of this Agreement and the intent of the Parties as reflected by the terms of this Agreement, including, without limitation, the giving of such notices, the holding of such public hearings and the enactment by the City of such resolutions and ordinances, the execution of such permits, applications and agreements and the taking of such other actions as may be necessary to enable the Parties' compliance with the terms and provisions of this Agreement and as may be necessary to give effect to the objectives of this Agreement and the intentions of the Parties as reflected by the terms of this Agreement.

ANNEXATION

Section 4. Annexation

Subject to the provisions of 65 ILCS 5/7-1-8, as amended, the Parties respectively agree to do all things necessary or appropriate to cause the Annexation Territory to be duly and validly annexed to the City as soon as practicable after the execution of this Agreement, including but not limited to the City's passage and approval of an Ordinance providing for the annexation of the Annexation Territory. Attached hereto and incorporated herein as Exhibit C is the form of Ordinance providing for the annexation of the Annexation Territory.

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the City's lawful authority to annex the Annexation Territory or challenge the method or procedures by or through which the Parties purported to cause the Annexation Territory to be annexed to the City, the Parties agree that they shall fully cooperate, as provided in Section 3 hereof, to defend such cause of action.

Should a court of competent jurisdiction finally determine that annexation of the Annexation Territory was defective because of the failure of the Parties to follow a procedural requirement constituting a valid precondition to proper annexation of the Annexation Territory, the Parties, including the successors and assigns of Owner, agree to promptly cause the

Annexation Territory to be re-annexed to the City in a manner which satisfies all procedural requirements.

The Annexation Ordinance for the Annexation Territory shall be filed with the DuPage County Clerk and recorded at Owner's expense with the DuPage County Recorder's Office, along with the Plat of Annexation in compliance with Illinois law. The City shall send all notices required by Illinois law to be sent in connection with the enactment of the Annexation Ordinance.

ZONING/DEVELOPMENT

Section 5. Zoning and related municipal actions

A. After the passage and approval of the Ordinance annexing the Annexation Territory ("Annexation Approval"), the Corporate Authorities of the City shall adopt the following ordinances classifying the Annexation Territory under the provisions of the UDO or otherwise take actions under the UDO or Municipal Code as follows:

1. Immediately after the Annexation Approval, adopting a Resolution approving the Final Plat of Subdivision (the "Subdivision Approval") to (a) establish the vacation of Ardmore Avenue and Pine Avenue and portions of Bryn Mawr Avenue as shown on the Final Plat of Subdivision (b) consolidate the existing thirty-one (31) lots and vacated rights-of-way into one (1) lot of record; and (c) grant to the City various agreed-upon easements. Attached hereto and incorporated herein as Exhibit D is the form of Ordinance providing for approval of the Final Plat of Subdivision of the Subject Property.

2. Immediately after the Annexation Approval, the Corporate Authorities of the City shall adopt an Ordinance providing for the vacation of Ardmore Avenue and Pine Avenue and a portion of Bryn Mawr Avenue, in the form attached hereto and incorporated herein by reference as Exhibit E, and by such, transferring title to the vacated rights-of-way to the Owner (the "Bryn Mawr Vacation Approval").

3. Immediately after the Bryn Mawr Vacation Approval, adopting an Ordinance approving a Map Amendment reclassifying the Subject Property from R-1 Estate Residential under the City's UDO to I-1 Light Industrial, in the form of Ordinance attached hereto and incorporated herein as Exhibit F (the "District Rezoning"); and

4. Immediately after approving the District Rezoning, adopting an Ordinance approving a special use permit for the Subject Property as a Planned Unit Development ("PUD"), which Ordinance approving the PUD for the Project shall be in the form that is attached hereto and made a part hereof by reference as Exhibit G. The PUD Ordinance shall specifically state that any use now or hereafter allowed as a permitted use under I-1 Light Industrial Zoning shall be permitted on the Subject Property without necessity of further hearings or zoning relief and, in addition, shall incorporate the following specific deviations from the UDO:

(i) Service & Auto Curb-Cut Width: A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Bryn Mawr and N. Edgewood Avenue and which exceed 44 feet in width at each roadway line, as such driveway widths are depicted on the "Site Dimensional Paving Plan" (Sheet C-5), comprising a portion of the Engineering Improvement Plans of the PUD.

(ii) Elimination of Build-to-Line Requirement: A deviation from Section 17.605(c)(14) to eliminate compliance with the front build-to-line to accommodate a stormwater detention basin along the eastern property line.

(iii) Elimination of Trash Enclosure: A deviation from Section 17.502(A)(j)(3) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure requirements due to the screening provided by the Project design.

5. Concurrently with approval of the PUD, issuing Major Site Plan approval of the Project within the meaning of Section 17.402 of the UDO.

B. If (i) the Corporate Authorities do not adopt the Subdivision Approval, the Bryn Mawr Vacation Approval, the District Rezoning, the PUD Ordinance (with deviations as set forth herein) and the Major Site Plan approval immediately upon annexation of the Subject Property or (ii) the City breaches, in any material respect, or fails to perform any material obligation in a timely manner, any of the City's undertakings or agreements contained in this Agreement, then in either circumstance the Corporate Authorities at the next regularly scheduled meeting that is at least thirty (30) days after the Owner has filed a proper petition pursuant to 65 ILCS 5/7-3-4, shall disconnect the Subject Property from Wood Dale. In such event and thereafter during the term of this Agreement, Wood Dale agrees that it shall only annex the Subject Property upon the filing by the Owner of a new petition for annexation pursuant to 65 ILCS 5/7-1-8 and that it shall not annex the Subject Property pursuant to any other provisions of the Illinois Municipal Code.

Section 6. Development

Subject to final approval by the City Council and/or Corporate Authorities of the various approvals described in Section 4 and the timely issuance by the City of necessary permits, construction on the Project is expected to commence in Winter 2019 with demolition of the existing structures on the Subject Property. Vertical construction of the Project is expected to take approximately twelve (12) months with substantial completion projected by year-end 2020 (subject to any adjustments in such expected completion date necessary in light of permit issuance dates and/or any unforeseen circumstances).

Owner and the City agree, in addition, on the following development parameters or understandings in connection with Owner's undertaking of the Project:

(a) Recordation of the Final Plat of Subdivision must occur not later than the issuance of a final certificate of occupancy for the Project.

(b) During the term (as hereinafter defined), the City will not approve with respect to the Subject Property without Owner's consent a Map Amendment or amendment to the PUD.

(c) Notwithstanding anything to the contrary in the Municipal Code, Project operations, including exterior delivery, loading, trash removal and compaction operations, may occur 24 hours per day. Construction hours shall be governed by Section 12.604 (D) of the Municipal Code.

(d) The City shall grant to Owner without charge and by separate agreement not later than thirty (30) days following the execution of this Agreement a permanent, non-exclusive right for the location of a driveway to connect from the northwestern corner of the Subject Property over City-owned property to N. Edgewood Avenue in the location and configuration of such driveway as depicted in the PUD and Major Site Plan approval of the Project. The City's property to be crossed by said driveway is legally described on Exhibit H attached ("Driveway Property"). The City and Owner acknowledge that in lieu of or following the City's grant to Owner of the previously described permanent access right across the Driveway Property, the City may, upon due authorization from the Corporate Authorities, transfer to the Owner for \$1.00 the entirety of the Driveway Parcel. The City shall grant any and all necessary permits for a driveway on the Driveway Parcel providing access to and from the Subject Property. Further, the City shall allow the Owner to maintain a monument sign within the Driveway Parcel which will comply with the Sign Ordinance. The terms and conditions of this subsection shall survive any expiration or termination of this Agreement.

(e) Notwithstanding anything to the contrary in the UDO, the special use permit and PUD shall remain in effect in the event of a casualty loss. Further, the special use permit and PUD shall remain in effect notwithstanding any vacancies within the Project so long as the Project improvements remain on the Subject Property. Finally, the PUD will remain in effect notwithstanding any project commencement or completion delays so long as construction commencement pursuant to duly issued permits occurs within 24 months of the Annexation Approval and a final certificate of occupancy for the Project is issued within 42 months from Annexation Approval, with such time periods extended for each day that a delay in construction commencement, Project completion or Final Plat recordation is attributable to circumstances beyond the control of the Owner.

(f) The Subject Property and Project at the expiration or termination of this Agreement shall be considered permitted uses or lawfully-existing special uses pursuant to the PUD specifically and UDO more generally, and notwithstanding anything to the contrary in the UDO, no such uses, buildings or structures existing at the date of expiration or termination of this Agreement shall be subject to City-imposed amortization or termination provisions, whether through the UDO or otherwise. This subsection shall specifically survive the expiration or termination of this Agreement and the City specifically acknowledges that the Owner will be relying in good faith on the City's agreement with the terms and conditions of this subsection, and the City shall be estopped from any attempts to hinder or prevent the enforceability of this subsection.

FINANCIAL INCENTIVE

Section 7. Financial Incentive

In consideration of the commitment by the Owner (and/or a successor) upon annexation to undertake the Project and to complete improvements to City roadway standards of a 66-foot-wide right-of-way known as Bryn Mawr Avenue between Busse Road and the western line of the Subject Property extended south (collectively, the "Improvements"), the Owner (and/or a successor to the Owner) which expends funds to complete the Improvements) shall be entitled to reimbursement by the City of not more than \$1.2 million for sums expended directly on the Improvements, upon presentment of documents supporting the expenditure.

Further, the City agrees not later than sixty (60) days from the date of approval of this Agreement by the City Council to transfer for \$1.00 to the owner (and/or a successor) of the Subject Property title to the Driveway Parcel and as well, should the City then hold title to the parcel corresponding as of the date hereof to DuPage County Property Index Number 03-03-402-008 (the "Connection Parcel"), that portion of the Connection Parcel which is not otherwise needed for the extension of the Bryn Mawr Avenue right-of-way westward to intersect with N. Edgewood Avenue.

The City and Owner (and/or its successor) may enter into a separate agreement to carry out the commitments in this Section.

SEWER AND WATER

Section 8. Sewer and Water

From and after the execution of this Agreement, and provided that Owner is in full compliance with its obligations under this Agreement, Owner shall have the right, upon payment of all applicable connection, inspection, permit and other related charges and fees, to connect the Subject Property to the City's sewer and water systems available on property to the north of the Subject Property and within N. Edgewood Avenue to the west of the Subject Property. Owner shall bear all customary costs and expenses relating to such connections. The City has no knowledge that any recapture fees are due and payable to any person or entity as a result of the annexation of the Subject Property to the City or as a result of connection to any utility improvements serving or to be extended to serve the Subject Property.

APPLICABLE MUNICIPAL STANDARDS

Section 9. Codes and Ordinances.

During the term of this Agreement, the City agrees that except as otherwise provided in this Agreement or the PUD Ordinance, all provisions of the Code and all other applicable City Codes, ordinances, rules, regulations and standards generally in force, from time to time, within the City ("Applicable Codes") shall apply to the Subject Property, except to the extent that the same are superseded by more restrictive standards imposed by other regulatory authorities

having jurisdiction and, further, except as the same may be specifically modified by the terms of this Agreement. In the event of any conflict between standards in the Applicable Codes and/or in the standards imposed by other regulatory authorities having jurisdiction, the most restrictive provision shall apply. If any Applicable Code is hereinafter adopted, amended or interpreted so as to be less restrictive upon Owner, its successors or assigns with respect to the development of the Project or to the Subject Property than might be the case under the terms of this Agreement, then, at Owner's option, such less restrictive amendment or interpretation shall control.

**SCHOOL, PARK AND FIRE PROTECTION DISTRICT
CONTRIBUTIONS/DONATIONS**

Section 10. Contributions, Donations

The Parties agree that the Project shall not be subject to any school, park, fire protection or any other contributions or donations.

MUNICIPAL FEES

Section 11. Municipal Fees

Owner agrees it shall pay to the City all fees assessed for annexation and development of the Subject Property to the City. Such fees shall include the City's attorneys fees incurred in the drafting and review of the Agreement. All fees assessed are included in the City's Master Fee Schedule, available at <http://www.wooddale.com/government/master-fee-schedule>.

MISCELLANEOUS PROVISIONS

Section 12. Notices

All notices hereunder shall be in writing and must be served either personally or by registered or certified mail, postage prepaid to:

The City at: City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191
Attn: City Manager

With a copy to: Bond, Dickson & Conway
City Attorneys
400 S. Knoll Street, Unit C
Wheaton, IL 60187
Attn: Patrick K. Bond
e-mail: patrickbond@bond-dickson.com

The Owner at: CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C.

3819 Maple Avenue
Dallas, Texas 75219
e-mail: mcolter@crowholdings.com

With a copy to: Winstead PC
500 Winstead Building
2728 N. Harwood Street
Dallas, Texas 75201
e-mail: gzimmerman@winstead.com

or to any other person or place which any Party hereto, by its prior written notice, shall designate for notice to it from the other Parties hereto.

Section 13. Binding Effect, Term And Amendment

Except as otherwise herein provided, this Agreement shall be binding upon and inure to the benefit of the Parties hereto, successor Owner of record of the Subject Property, its assigns, lessees and upon any successor for fifteen years (15) years from the date set forth in the first paragraph of this Agreement.

It is hereby understood and agreed that this Agreement is a covenant running with the land and is binding thereon. All persons who take title to any part of the Subject Property shall comply with the provisions of this Agreement. This Agreement may be amended from time to time with the consent of the Parties hereto, pursuant to statute in such case made and published.

Section 14. Severability

This Agreement is entered into pursuant to the provisions of 65 ILCS 5/11-15.1-1 *et seq.*, as amended. In the event any part or portion of this Agreement, or any provision, clause, wording or designation contained within this Agreement is held to be invalid by any court of competent jurisdiction, such part, portion, provision, clause, wording or designation shall be deemed to be excised from this Agreement and the invalidity thereof shall not affect the remaining portions hereof.

Section 15. Enforceability

This Agreement shall be enforceable in any court of competent jurisdiction by any of the Parties hereto by any appropriate action at law or in equity, including, without limitation, the right of any Party hereto to seek specific performance of the terms hereof.

Section 16. Survival Or Representations

Each of the Parties hereto, for themselves, their successors, assigns, heirs, devisees and personal representatives, agrees that the warranties and recitals set forth in the preambles hereto are material to this Agreement, and the Parties hereby confirm and admit their truth and validity and hereby incorporate such representations, warranties and recitals into this Agreement, and the

same shall continue during the term of this Agreement. The provisions of this Agreement shall survive the annexation and zoning of the Subject Property by the City, and shall not be merged or expunged by such annexation and zoning.

Section 17. Gender

Unless the provisions of this Agreement otherwise require, words imparting the masculine gender shall include the feminine gender; words imparting the singular number shall include the plural; and words imparting the plural shall include the singular.

Section 18. Captions And Paragraph Headings

The captions and paragraph headings incorporated herein are for reference only and are not part of this Agreement.

Section 19. Changes In Regulations

It is understood and agreed, except as otherwise provided herein, that the various requirements of the Applicable Codes, including all fees and charges provided for therein, shall not be frozen during the term of this Agreement and may, from time to time, be amended, and as amended, shall apply to the Subject Property.

Section 20. Counterparts

This Agreement may be executed in any number of counterparts, each of which shall be an original, but such counterparts shall together constitute but one and the same instrument.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date first above written.

CITY OF WOOD DALE,
an Illinois municipal corporation

By: Annunzio Pulice
Mayor

ATTEST:
Maura Mahaloo
City Clerk

~~CH REALTY VIII TDC I CHICAGO
BRYN MAWR, L.L.C.~~

INTENTIONALLY OMITTED

sc

~~By: [Signature]~~

~~Its: [Signature]~~

INTENTIONALLY
OMITTED

sc

ATTEST: _____

~~Corporate Secretary~~

Section 20. Counterparts

This Agreement may be executed in any number of counterparts, each of which shall be an original, but such counterparts shall together constitute but one and the same instrument.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date first above written.

CITY OF WOOD DALE,
an Illinois municipal corporation

By: _____
Mayor

ATTEST:

City Clerk

**CH REALTY VIII-TDC I CHICAGO
BRYN MAWR, L.L.C.,** a Delaware
limited liability company

By: TDC Wood Dale II Investor, L.L.C.,
a Delaware limited liability company, its manager

By: TDC Wood Dale II GP, L.L.C.,
a Delaware limited liability company, its manager

By: TDC Logistics Company, L.L.C.,
a Delaware limited liability company, its manager

By: *Darcie Fankhauser*
Name: *Darcie Fankhauser*
Title: Authorized Signatory

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Annuziato Pulice, Mayor of the City of Wood Dale, and Maria Michals, City Clerk of said City, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Mayor and City Clerk, respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 21 day of November, 2019,
2019.

Patrick K. Bond
Notary Public



STATE OF ILLINOIS)
) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that _____, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ___ day of _____,
2019.

Notary Public

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Annuziato Pulice, Mayor of the City of Wood Dale, and _____, City Clerk of said City, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Mayor and City Clerk, respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ____ day of _____, 2019.

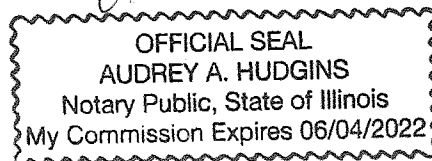
Notary Public

STATE OF ILLINOIS)
) SS
COUNTY OF Cook)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Darcie Fanchauser, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 8th day of January, 2020, 2020.

Audrey A. Hudgins
Notary Public



LIST OF EXHIBITS

Exhibit A - Legal Description

Exhibit B – Plat of Annexation

Exhibit C - Annexation Ordinance

Exhibit D - Resolution Approving Final Plat of Subdivision

Exhibit E – Ordinance Vacating Streets

Exhibit F – Ordinance Approving Rezoning

Exhibit G – Ordinance Approving Planned Unit Development

Exhibit H – Legal Description of Driveway Property

EXHIBIT A
LEGAL DESCRIPTION

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, ALL OF ARDMORE AVENUE, ALL OF PINE AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, AND ALL OF BRYN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83 (BUSSE ROAD), ALL IN BRANIGAR'S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS

Consisting of PINs: 03-03-402-001, -002, -003, -004, 005, and -006; and 03-03-404-001, -002, -003, -004, -005, -006, -007, and -008; and 03-03-405-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -015, -016, -017, and -018

Address Upon Annexation: 800 N. IL Route 83, Wood Dale, IL 60191

Exhibit C

PLAT OF ANNEXATION

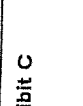
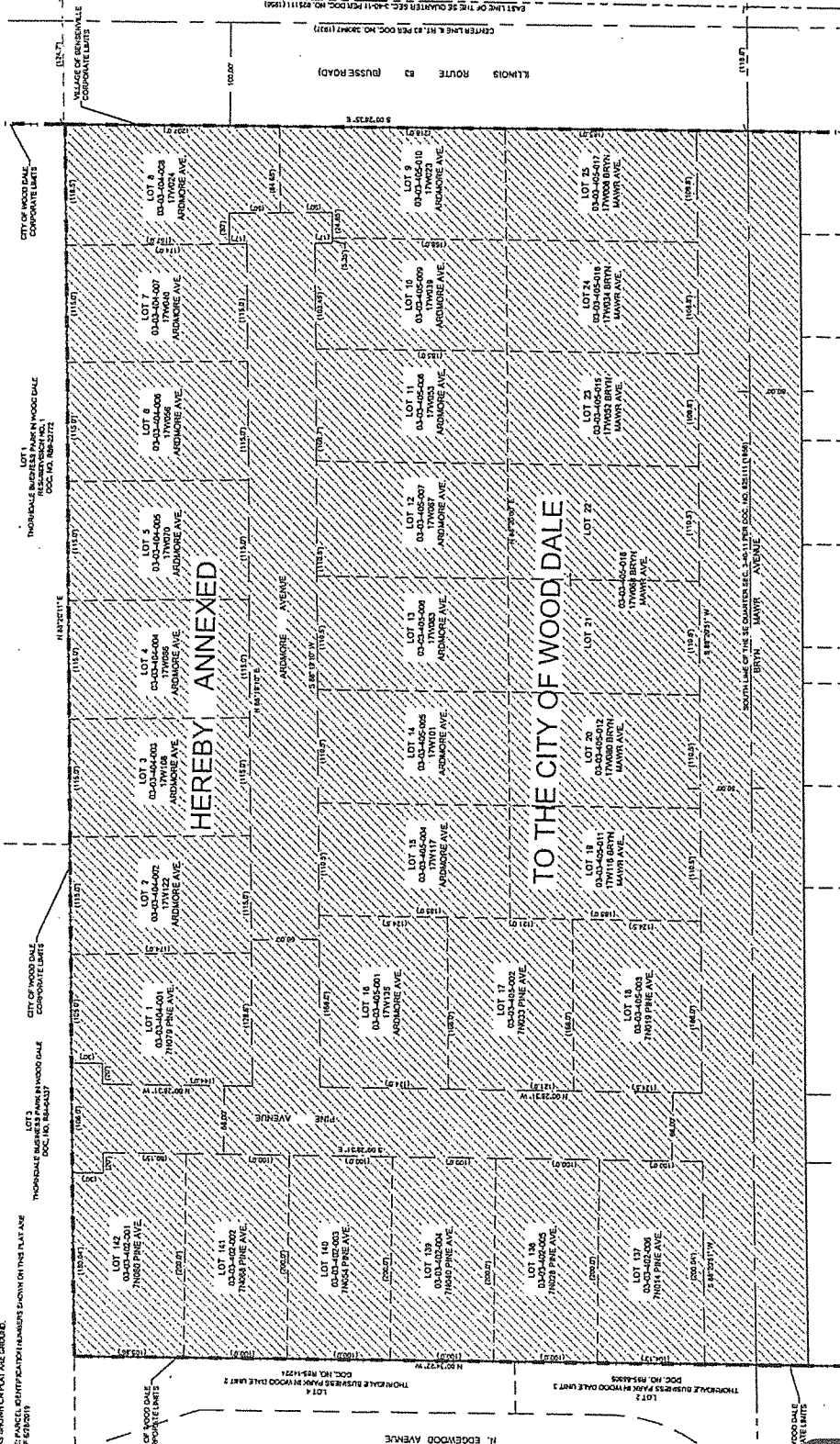
TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS
 LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, ALL OF ARDMORE AVENUE, ALL OF PINE
 AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, AND ALL OF BRYN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83
 (BUSSE ROAD), ALL IN BRANIGAR'S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD
 PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 19.549 ACRES, MORE OR LESS.

- SUBMITTANT'S PROPERTY
- EXISTING BOUNDARY
- PROPOSED LOT LINE
- CENTER OF RIGHT-OF-WAY
- EXISTING CORPORATE LINES
- (11/27) RECORD DEDICATION
- AREA 15 PER ANCHOR

BOUNDARIES AND DISTANCES SHOWN HEREIN REFERENCE THE
 AMERICAN DATUM OF 1983 UNLESS OTHERWISE NOTED. ALL
 DISTANCES ARE TO CENTER OF RIGHT-OF-WAY UNLESS
 OTHERWISE NOTED. DISTANCES TO CORNER OR TO CENTER
 OF RIGHT-OF-WAY ARE SHOWN IN PARENTHESES.
 AREAS SHOWN IN HATCH ARE CROPPED.

NOTE: PARCEL IDENTIFICATION NUMBERS SHOWN ON THIS PLAT ARE
 AS OF 11/27/11



OWNER CERTIFICATE
 I, DONALD E. FRICKLA, AN ILLINOIS PROFESSIONAL LAND
 SURVEYOR, NUMBER 1204, DO HEREBY CERTIFY THAT I HAVE
 PREPARED THIS PLAT IN ACCORDANCE WITH THE ILLINOIS
 SURVEYING ACT AND I HAVE CAUSED THE BOUNDARIES TO BE
 MEASURED AND SHOWN ON THE PLAT HEREIN DRAWN.

PREPARED (DATE) [] SIGNATURE AND DATE

NOTARY CERTIFICATE
 STATE OF ILLINOIS
 COUNTY OF DUPAGE

A NOTARY PUBLIC WOULD FOR THE
 ABOVE STATE AND COUNTY TO WIT: THAT I, THE
 NOTARY PUBLIC, DO HEREBY CERTIFY THAT I
 AM A NOTARY PUBLIC IN THE STATE OF ILLINOIS
 AND I AM DULY QUALIFIED TO TAKE OATHS AND
 ADMINISTER JURISDICTION TO THE
 PARTIES TO THIS INSTRUMENT.

DATE WHEN APPROVED AND NOTARIAL SEAL THIS DAY
 OF [] A.D. 2011

NOTARY PUBLIC

CITY CLERK, ILLINOIS
 THE ANNEXED PROPERTY SHOWN ON THE ABOVE PLAT OF
 ANNEXATION IS LOCATED IN THAT INCORPORATED AND
 MADE PART OF THE CITY OF WOOD DALE BY ORDINANCE NO.
 11-11-11, PASSED BY THE BOARD OF CITY AND COUNTY
 COMMISSIONERS ON [] A.D. 2011.

CITY CLERK

CERTIFICATE OF THE COUNTY CLERK
 THIS PLAT WAS FILED FOR RECORD IN THE RECORDS
 OF THE COUNTY OF DUPAGE COUNTY, ILLINOIS, ON THE
 DAY OF [] A.D. 2011.

CLERK

COUNTY RECORDER

THE PLAT IS BEING SUBMITTED BY:

NAME

ADDRESS

DATE

PREPARED BY

DATE

PROJECT

SCALE

SHEET

1 of 1

REVISIONS

NO.	DATE	BY	DESCRIPTION

PLAT OF ANNEXATION

PART OF
 BRANIGAR'S MOHAWK MANOR
 WOOD DALE, IL

PLAN / DESIGN / DELIVER
 PINNACLE ENGINEERING GROUP
 1440 W. 111TH STREET, SUITE 100, BLUE MOUNTAIN, ILLINOIS 60014

EXHIBIT



ORDINANCE NO. O-19-035

**AN ORDINANCE ANNEXING SUBJECT PROPERTY
COMMONLY KNOWN AS THE
BRYN MAWR AVENUE ADDITION TO WOOD DALE,
800 N. IL ROUTE 83, TO THE CITY OF WOOD DALE, ILLINOIS, 60191**

WHEREAS, CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C. (“Petitioner”), is the owner of record of property identified by the following PINs: 03-03-402-001, -002, -003, -004, 005, and -006; and 03-03-404-001, -002, -003, -004, -005, -006, -007, and -008; and 03-03-405-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -015, -016, -017, and -018 (the “Subject Property”); and

WHEREAS, the Owner of the Subject Property has filed with the City Clerk a Petition Under Oath, a copy of which is attached hereto and incorporated herein by reference as Exhibit A, requesting that the Subject Property described herein be annexed to the City of Wood Dale; and

WHEREAS, there were 45 electors residing on the Subject Property as of the date said Petition Under Oath was filed, and nearly all have acknowledged the Petition for Annexation as shown in Exhibit A; and

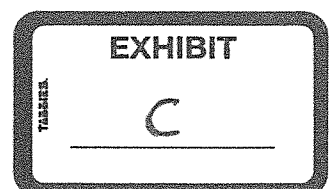
WHEREAS, there are no electors residing on the Subject Property as of the date hereof; and

WHEREAS, in addition to the property described herein, certain rights of way or portions of rights of way are also being annexed, all of which will bear the common address of 800 N. IL Route 83, and is described as follows (“Annexed Property”):

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, ALL OF ARDMORE AVENUE, ALL OF PINE AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, AND ALL OF BRYN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83 (BUSSE ROAD), ALL IN BRANIGAR’S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS

WHEREAS, the Annexed Property is not within the corporate limits of any municipality, and is contiguous to the corporate limits of the City of Wood Dale; and

WHEREAS, the statutes of the State of Illinois provide that upon the filing of such Petition, and all of the electors residing of the Annexed Property consenting to same, the Corporate Authorities of the City of Wood Dale (“Corporate Authorities”) may pass an ordinance annexing said territory to the City; and



WHEREAS, the City has provided prior written notice as required by statute to appropriate township officials; and

WHEREAS, for purposes of said Annexation, Owner and the Corporate Authorities (sometimes collectively referred to as the "Parties") have entered into a certain Annexation Agreement to govern a portion of the annexed property; and

WHEREAS, pursuant to the terms of the Annexation Agreement, the Corporate Authorities must now adopt an Ordinance authorizing the annexation of the Annexed Property to the City of Wood Dale.

NOW, THEREFORE, BE IT ORDAINED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS as follows:

SECTION ONE: That the recitals set forth herein are incorporated herein by reference.

SECTION TWO: That subject to the terms of the Annexation Agreement executed by the Parties, the Annexed Property is hereby Annexed to the City of Wood Dale, DuPage County, Illinois.

SECTION THREE: That the official map of the City of Wood Dale be amended to reflect the extension of corporate limits of the City of Wood Dale to include the Annexed Property described herein and annexed hereby.

SECTION FOUR: That the City Clerk of the City of Wood Dale is directed hereto to file in the Offices of the Recorder and County Clerk of DuPage County, Illinois, a certified copy of this Ordinance, together with an accurate map of the territory annexed, as shown in the Plat of Annexation attached hereto as Exhibit B.

SECTION FIVE: That the City Clerk of the City of Wood Dale is directed hereto to provide written notification of the annexation of this Subject Property via certified mail to the DuPage County Clerk, Elections Division, 421 N. County Farm Road, Wheaton, Illinois 60187 and to the U.S. Post Office, 27 N. Wood Dale Road, Wood Dale, IL 60191.

SECTION SIX: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published.

SECTION SEVEN: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION EIGHT: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

AYES: 7

NAYES: 0

ABSENT: 1

PASSED this 21st day of November, 2019

APPROVED this 21st day of November, 2019

Annunziato Pulice
Annunziato Pulice, Mayor

ATTEST:

Maura Martello
City Clerk

Published in pamphlet form 11-21-2019, 2019

EXHIBIT A
PETITION FOR ANNEXATION

**PETITION FOR ANNEXATION
TO THE CITY OF WOOD DALE
PURSUANT TO THE PROVISIONS
OF 65 ILCS 5/7-1-8**

This Petition for Annexation, dated this 26 day of September, 2019, is made by **CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C.**, a Delaware limited liability company (hereinafter referred to as the "**OWNER**") to the City of Wood Dale, an Illinois municipal corporation (hereinafter referred to as the "**CITY**").

WITNESSETH:

WHEREAS, the **OWNER** is the sole owner of certain real property located in unincorporated DuPage County, Illinois, which is legally described on **Exhibit "A"** attached hereto and made part hereof (hereinafter referred to as the "**PROPERTY**"); and,

WHEREAS, the **PROPERTY** is not presently situated within the corporate limits of any municipality; and,

WHEREAS, the **PROPERTY** is contiguous to the corporate limits of the **CITY**; and,

WHEREAS, there are forty-five (45) elector(s) residing upon the **PROPERTY**, at least fifty-one percent (51%) of whom have executed this Petition for Annexation, with the name(s) of said elector(s) being set forth on **Exhibit "B"** attached hereto and made part hereof and all of whom reside on the Property pursuant to occupancy licenses expiring not later than November 2, 2019; and,

WHEREAS, the **OWNER** desires to annex the **PROPERTY** into the **CITY**; and,

WHEREAS, the **OWNER** is submitting this Petition contingent upon the **CITY** approval of a mutually agreeable annexation agreement ("Annexation Agreement") and annexation of the **PROPERTY** into the **CITY** shall be subject to the terms and conditions of the Annexation Agreement.

NOW, THEREFORE, the OWNER hereby specifically petitions and requests that the CITY take all necessary and appropriate actions required to annex the PROPERTY into the CITY including, without limitation, holding all required public hearings and providing notification to all required individuals and governmental entities, and that the annexation of the PROPERTY be subject to the terms and conditions of a mutually acceptable Annexation Agreement.

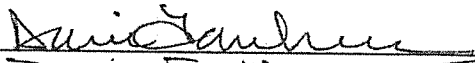
OWNER:

CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C., a Delaware limited liability company

By: TDC Wood Dale II Investor, L.L.C., a Delaware limited liability company, its manager

By: TDC Wood Dale II GP, L.L.C., a Delaware limited liability company, its manager

By: TDC Logistics Company, L.L.C., a Delaware limited liability company, its manager

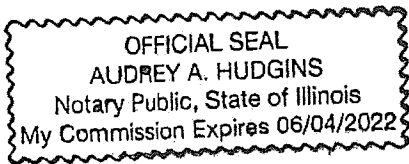
By: 
Name: Darcie Fankhauser
Title: Authorized Signatory

RECEIVED by me this ___ day of September, 2019.

Shirley Siebert
Shirley Siebert, City Clerk

STATE OF Illinois) SS
COUNTY OF COOK) SS

This instrument was acknowledged before me on September 26, 2019, by Darcie Fankhauser, an Authorized Signatory of CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C., a Delaware limited liability company, as the act and deed of such entity.



(Seal of Notary)

Audrey A. Hudgins
Name:
Notary Public in and for
The State of ILLINOIS

My commission expires: June, 04, 2022

EXHIBIT A

Property Description

Address: 7N079 Pine, Bensenville, IL, PIN: 03-03-404-001

Lot 1 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W122 Ardmore, Bensenville, IL, PIN: 03-03-404-002

Lot 2 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W108 Ardmore, Bensenville, IL, PIN: 03-03-404-003

Lot 3 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W086 Ardmore, Bensenville, IL, PIN: 03-03-404-004

Lot 4 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W070 Ardmore, Bensenville, IL, PIN: 03-03-404-005

Lot 5 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W056 Ardmore, Bensenville, IL, PIN: 03-03-404-006

Lot 6 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W040 Ardmore, Bensenville, IL, PIN: 03-03-404-007

Lot 7 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W024 Ardmore, Bensenville, IL, PIN: 03-03-404-008

Lot 8 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W023 Ardmore, Bensenville, IL, PIN: 03-03-405-010

Lot 9 in Branigar's Mohawk Manor, being a Subdivision in Sections 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W039 Ardmore, Bensenville, IL, PIN: 03-03-405-009

Lot 10 in Branigar's Mohawk Manor, being a Subdivision in Sections 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W053 Ardmore, Bensenville, IL, PIN: 03-03-405-008

Lot 11 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W067 Ardmore, Bensenville, IL, PIN: 03-03-405-007

Lot 12 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W083 Ardmore, Bensenville, IL, PIN: 03-03-405-006

Lot 13 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W101 Ardmore, Bensenville, IL, PIN: 03-03-405-005

Lot 14 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W117 Ardmore, Bensenville, IL, PIN: 03-03-405-004

Lot 15 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W135 Ardmore, Bensenville, IL, PIN: 03-03-405-001

Lot 16 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N033 Pine, Bensenville, IL, PIN: 03-03-405-002

Lot 17 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N019 Pine, Bensenville, IL, PIN: 03-03-405-003

Lot 18 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W116 Bryn Mawr, Bensenville, IL, PIN: 03-03-405-011

Lot 19 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W080 Bryn Mawr, Bensenville, IL, PIN: 03-03-405-012

Lot 20 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W068 Bryn Mawr, Bensenville, IL, PIN: 03-03-405-018

Lots 21 and 22 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W052 Bryn Mawr, Bensenville, IL, PIN: 03-03-405-015

Lot 23 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W034 Bryn Mawr, Bensenville, IL, PIN: 03-03-405-016

Lot 24 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 17W008 Bryn Mawr, Bensenville, IL, PIN: 03-03-405-017

Lot 25 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N014 Pine, Bensenville, IL, PIN: 03-03-402-006

Lot 137 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N028 Pine, Bensenville, IL, PIN: 03-03-402-005

Lot 138 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N040 Pine, Bensenville, IL, PIN: 03-03-402-004

Lot 139 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N054 Pine, Bensenville, IL, PIN: 03-03-402-003

Lot 140 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N068 Pine, Bensenville, IL, PIN: 03-03-402-002

Lot 141 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

Address: 7N080 Pine, Bensenville, IL, PIN: 03-03-402-001

Lot 142 in Branigar's Mohawk Manor, being a Subdivision in Section 3 and 10, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded November 28, 1956 as Document 825111, in DuPage County, Illinois.

EXHIBIT B

Electors

Lot	Address	Electors Residing at Address
1	7N079 Pine	Leo D. Pilati
2	17W122 Ardmore	Krystyna Adamczyk
3	17W108 Ardmore	Ronald J. Trovator & Andrea M. Trovato
4	17W086 Ardmore	Carlos DeLeon & Leslie DeLeon
5	17W070 Ardmore	Steve Sadowski & Ara Sadowski
6	17W056 Ardmore	NONE - VACANT
7	17W040 Ardmore	Luis Rivera & Ernesto Rivera de Jesus
8	17W024 Ardmore	Thomas Altier
9	17W023 Ardmore	Danny Woodson
10	17W039 Ardmore	Jeffrey Wojciechowski & Tammy Jo Wojciechowski
11	17W053 Ardmore	Steve Johnson & Lucille Johnson
12	17W067 Ardmore	NONE - VACANT
13	17W083 Ardmore	Thomas Schesvold & Deborah Schesvold
14	17W101 Ardmore	John Zalecki & Susan Zalecki
15	17W117 Ardmore	Stacey Ejnik & Thomas Gach
16	17W135 Ardmore	Ho Yeal Yu, Maryalice Yu, Tyler Yu & Tammy Yu
17	7N033 Pine	NONE - VACANT
18	7N019 Pine	Carl Lange & Dorothy Lange
19	17W116 Bryn Mawr	Wojciech Grabowski & Joanna G. Grabowski
20	17W080 Bryn Mawr	Massimilian Taldone, Angela Taldone & Domenick Taldone
21/22	17W068 Bryn Mawr	NONE - VACANT
23	17W052 Bryn Mawr	Tomasz Palasz
24	17W034 Bryn Mawr	Harvey V. Hoyer & Jacqueline E. Hoyer
25	17W008 Bryn Mawr	Clemencia Chaidez
137	7N014 Pine	Stephen J. Kreutzer & Kathy A. Kreutzer
138	7N028 Pine	Irfan Karmadwala & Naila Ahmed
139	7N040 Pine	Perla Chavez
140	7N054 Pine	Betty Calabrese
141	7N068 Pine	Katarzyna Bochenko and Pawel Bochenko
142	7N080 Pine	NONE - VACANT

See Attached Signature Pages for Electors

Annex I

Registered Voters – Electors
Address: 17W122 Ardmore, Bensenville, IL

Printed Name: **KRYSTYNA ADAMCZYK**

Signature: *[Handwritten Signature]*

This instrument was acknowledged before me on September 10, 2019, by _____, as the act and deed of said person.



[Handwritten Signature]
Name: Gregory B Ruggie
Notary Public in and for the State of Illinois
My commission expires: April 12, 2023
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

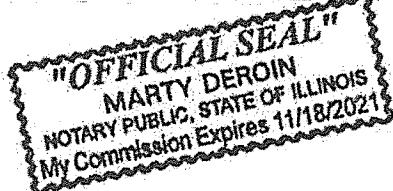
Annex I

Registered Voters – Electors
Address: 17W024 Ardmore, Bensenville, IL

Printed Name: THOMAS ALTIER

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 12, 2019, by Thomas Altier, as the act and deed of said person.



Name: [Handwritten Signature]
Notary Public in and for the State of IL
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____

(Seal of Notary)

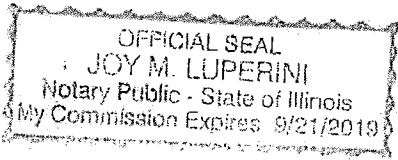
Annex I

Registered Voters – Electors
Address: 7N068 Pine, Bensenville, IL

Printed Name: KATARZYNA BOCHENKO

Signature: [Handwritten Signature]

This instrument was acknowledged before me on 9/10, 2019, by Katarzyna Bochenko, as the act and deed of said person.



Name: [Handwritten Signature]

Notary Public in and for the State of _____

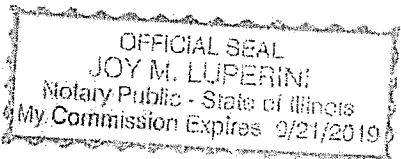
My commission expires: _____

(Seal of Notary)

Printed Name: Pawel Bochenko

Signature: [Handwritten Signature]

This instrument was acknowledged before me on 9/10, 2019, by Pawel Bochenko, as the act and deed of said person.



Name: _____

Notary Public in and for the State of _____

My commission expires: _____

(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

Notary Public in and for the State of _____

My commission expires: _____

(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

Notary Public in and for the State of _____

My commission expires: _____

(Seal of Notary)

Annex I

Registered Voters – Electors
Address: 7N068 Pine, Bensenville, IL *Not applicable*

Printed Name: Clemencia Chaidez

Signature: *Clemencia Chaidez*

This instrument was acknowledged before me on September 9th, 2019, by Clemencia Chaidez, as the act and deed of said person.



Ricardo Laurean
Name: Ricardo Laurean
Notary Public in and for the State of IL
My commission expires: 01/08/2023
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

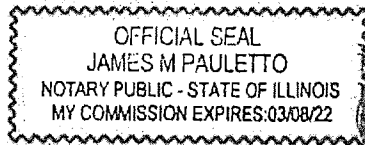
Annex I

Registered Voters – Electors
Address: 7N040 Pine, Bensenville, Illinois

Printed Name: Perla Chavez

Signature: [Handwritten Signature]

This instrument was acknowledged before me on 8-11-19, 2019, by _____, as the act and deed of said person.



Name: _____
Notary Public in and for the State of IL
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Annex I

Registered Voters -- Electors

Address: 17W086 Ardmore, Bensenville, IL

Printed Name: Carlos DeLeon

Signature: Carlos DeLeon

This instrument was acknowledged before me on Sept 7, 2019, by Lucille M JOHNSON, as the act and deed of said person.

Shirley M John

Name:

Notary Public in and for the State of IL

My commission expires: 8-21-2022

(Seal of Notary)

Printed Name: Lislle DeLeon

Signature: Lislle DeLeon

This instrument was acknowledged before me on Sept 7, 2019, by Lucille M JOHNSON, as the act and deed of said person.

Shirley M John

Name:

Notary Public in and for the State of IL

My commission expires: 8-21-2022

(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

Notary Public in and for the State of _____

My commission expires: _____

(Seal of Notary)

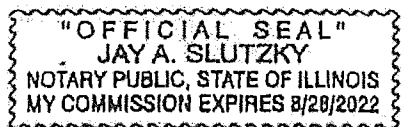
Annex I

Registered Voters – Electors
Address: 17W117 Ardmore, Bensenville, IL

Printed Name: STACEY EJNIK

Signature: Stacey Ejanik

This instrument was acknowledged before me on Sept. 12, 2019, by STACEY EJNIK, as the act and deed of said person.

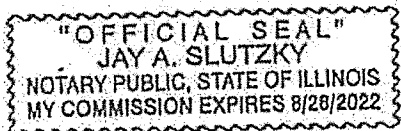


Name: Jay A. Slutzky
Notary Public in and for the State of ILLINOIS
My commission expires: _____
(Seal of Notary)

Printed Name: THOMAS GACH

Signature: Thomas Gach

This instrument was acknowledged before me on SEPT. 12, 2019, by THOMAS GACH, as the act and deed of said person.



Name: Jay A. Slutzky
Notary Public in and for the State of ILLINOIS
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

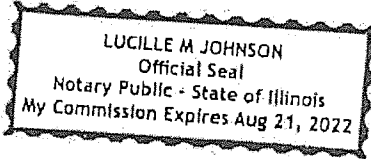
Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Annex I
Registered Voters – Electors
Address: 17W067 Ardmore, Bensenville, Illinois

Printed Name: James Fiduccia

Signature: [Signature]

This instrument was acknowledged before me on September 6, 2019, by _____, as the act and deed of said person.



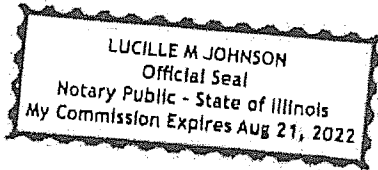
Name: [Signature]

Notary Public in and for the State of Illinois
My commission expires: 8-21-2022
(Seal of Notary)

Printed Name: Bernice Fiduccia

Signature: [Signature]

This instrument was acknowledged before me on Sept 6, 2019, by _____, as the act and deed of said person.



Name: [Signature]

Notary Public in and for the State of Illinois
My commission expires: 8-21-2022
(Seal of Notary)

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)


Annex I

Registered Voters – Electors
Address: 17W116 Bryn Mawr, Bensenville, IL

Printed Name: Wojciech Grabowski

Signature: Wojciech Grabowski


This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

 Myles N. Tlusty
Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: Joanna G. Grabowski

Signature: J. Grabowski

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

 Myles N. Tlusty
Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

Annex I

Registered Voters – Electors
Address: 17W034 Bryn Mawr, Bensenville, IL

Printed Name: Harvey V. Hoyer

Signature: Harvey V. Hoyer

This instrument was acknowledged before me on June 24, 2019, by Harvey V. Hoyer, as the act and deed of said person.

Name: Peter Kritikos

Notary Public in and for the State of Illinois
My commission expires: Nov 6, 2021
(Seal of Notary)



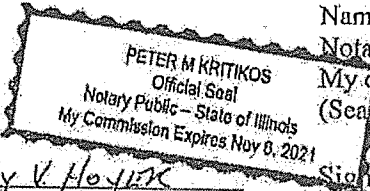
Printed Name: Jacqueline E. Hoyer

Signature: Jacqueline E. Hoyer

This instrument was acknowledged before me on June 24, 2019, by Jacqueline E. Hoyer, as the act and deed of said person.

Name: Peter Kritikos

Notary Public in and for the State of Illinois
My commission expires: Nov 6, 2021
(Seal of Notary)



Printed Name: Harvey V. Hoyer

Signature: Harvey V. Hoyer

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____

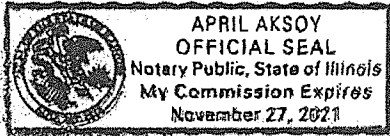
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Annex I
Registered Voters – Electors
Address: 17W053 Ardmore, Bensenville, IL

Printed Name: Steve Johnson

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 8, 2019, by April AKSOY, as the act and deed of said person.

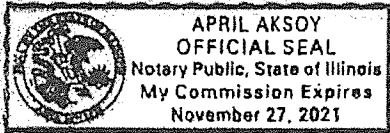


Name: April Aksoy
Notary Public in and for the State of IL
My commission expires: 11/27/21
(Seal of Notary)

Printed Name: Lucille Johnson

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 8, 2019, by April AKSOY, as the act and deed of said person.



Name: April Aksoy
Notary Public in and for the State of IL
My commission expires: 11/27/21
(Seal of Notary)

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Annex I
Registered Voters – Electors
Address: 7N028 Pine, Bensenville, Illinois

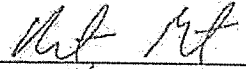
Printed Name: **Irfan Karmadwala**

Signature: 

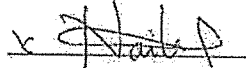
This instrument was acknowledged before me on Sept. 12, 2019, by Irfan Karmadwala, as the act and deed of said person.



(Seal of Notary)


Name: Karrsten Goettel
Notary Public in and for the State of _____
My commission expires: _____

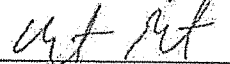
Printed Name: **Naila Ahmed**

Signature: 

This instrument was acknowledged before me on Sept. 12, 2019, by Naila Ahmed, as the act and deed of said person.



(Seal of Notary)


Name: Karrsten Goettel
Notary Public in and for the State of _____
My commission expires: _____

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

(Seal of Notary)

Name: _____
Notary Public in and for the State of _____
My commission expires: _____

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

(Seal of Notary)

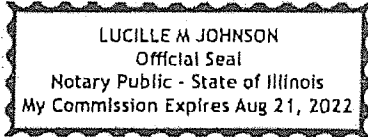
Name: _____
Notary Public in and for the State of _____
My commission expires: _____

Annex I
Registered Voters – Electors
Address: 7N014 Pine, Bensenville, IL

Printed Name: Stephen J. Kreutzer

Signature: Stephen J. Kreutzer

This instrument was acknowledged before me on Sept 8, 2019, by Lucille M Johnson, as the act and deed of said person.

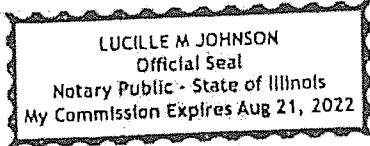


Name: Lucille M Johnson
Notary Public in and for the State of IL
My commission expires: 8-21-2022
(Seal of Notary)

Printed Name: Kathy A. Kreutzer

Signature: Kathy A Kreutzer

This instrument was acknowledged before me on Sept 8, 2019, by Lucille M Johnson, as the act and deed of said person.



Name: Lucille M Johnson
Notary Public in and for the State of IL
My commission expires: 8-21-2022
(Seal of Notary)

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____ Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

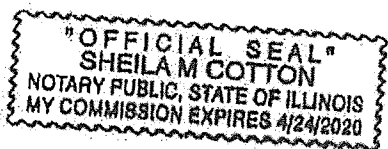
Annex I

Registered Voters – Electors
Address: 7N019 Pine, Bensenville, IL

Printed Name: Carl Lange

Signature: Carl Lange

This instrument was acknowledged before me on 9/4, 2019, by Carl Lange, as the act and deed of said person.

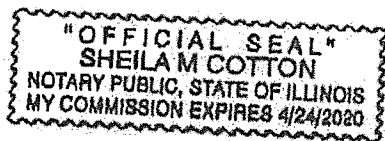


Name: Sheila M Cotton
Notary Public in and for the State of IL
My commission expires: _____
(Seal of Notary)

Printed Name: Dorothy Lange

Signature: Dorothy Lange

This instrument was acknowledged before me on 9/4, 2019, by Dorothy Lange, as the act and deed of said person.



Name: Sheila M Cotton
Notary Public in and for the State of IL
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____

(Seal of Notary)

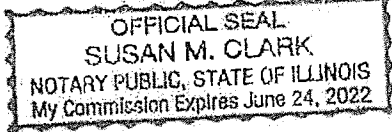
Annex I

Registered Voters – Electors
Address: 17W052 Bryn Mawr, Bensenville, IL

Printed Name: Tomasz Palasz

Signature: Tomasz Palasz

This instrument was acknowledged before me on SEPTEMBER 4, 2019, by TOMASZ PALASZ, as the act and deed of said person.



Name: Susan M. Clark
Notary Public in and for the State of ILLINOIS
My commission expires: 6-24-2022
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

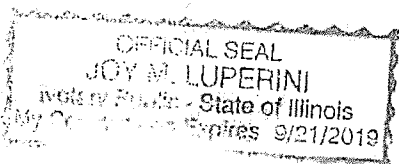
Annex I

Registered Voters – Electors
Address: 7N079 Pine, Bensenville, IL

Printed Name: LEO D. PILATI

Signature: [Handwritten Signature]

This instrument was acknowledged before me on September 5, 2019, by LEO D. PILATI, as the act and deed of said person.



Joy M. Luperini
Name: _____
Notary Public in and for the State of the
My commission expires: 9/21/19
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Annex I

Registered Voters - Electors

Address: 17W040 Ardmore, Bensenville, IL *Not applicable for both.*

Printed Name: Luis Rivera

N/A Signature: *Luis Rivera*
Luis Rivera

This instrument was acknowledged before me on *September 10th*, 2019, by *Luis Rivera*, as the act and deed of said person.



Ricardo Laurean
Name: *Ricardo Laurean*
Notary Public in and for the State of *IL*
My commission expires: *01/08/2023*
(Seal of Notary)

Printed Name: Ernesto Rivera de Jesus

Signature: *Ernesto Rivera de Jesus*
by Luis Rivera as Attorney In Fact

This instrument was acknowledged before me on *September 10th*, 2019, by *Ernesto Rivera de Jesus*, as the act and deed of said person.



N/A *Ricardo Laurean*
Name: *Ricardo Laurean*
Notary Public in and for the State of *IL*
My commission expires: *01/08/2023*
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Annex I

Registered Voters – Electors

Address: 17W070 Ardmore, Bensenville, IL NOT A REGISTERED VOTER.

Printed Name: Steve Sadowski

Signature: Steve Sadowski

This instrument was acknowledged before me on September 10th 2019, by Steven Sadowski, as the act and deed of said person.

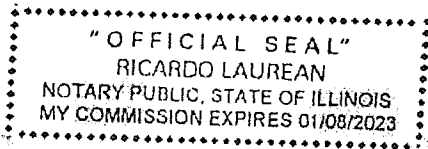


Ricardo Laurean
Name: Ricardo Laurean
Notary Public in and for the State of IL
My commission expires: 01/08/2023
(Seal of Notary)

Printed Name: Ara Sadowski

Signature: Ara Sadowski

This instrument was acknowledged before me on September 10th 2019, by Ara Sadowski, as the act and deed of said person.



Ricardo Laurean
Name: Ricardo Laurean
Notary Public in and for the State of IL
My commission expires: 01/08/2023
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____

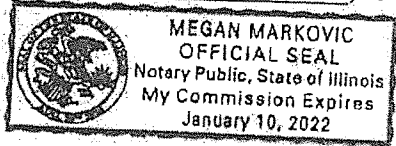
Annex I

Registered Voters – Electors
Address: 17W083 Ardmore, Bensenville, IL

Printed Name: Thomas Schesvold

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Aug 31, 2019, by Thomas Schesvold, as the act and deed of said person.

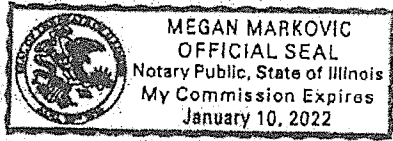


Name: megan markovic
Notary Public in and for the State of IL
My commission expires: Jan 10, 2022
(Seal of Notary)

Printed Name: Deborah Schesvold

Signature: Deborah Schesvold

This instrument was acknowledged before me on Aug 31, 2019, by Deborah Schesvold, as the act and deed of said person.



Name: megan markovic
Notary Public in and for the State of IL
My commission expires: Jan 10, 2022
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____

Annex I

Registered Voters – Electors

Address: 17W080 Bryn Mawr, Bensenville, IL

Printed Name: Massimilian Taldone

Signature: [Handwritten Signature]

This instrument was acknowledged before me on 9-11, 2019, by Massimilian Taldone, as the act and deed of said person.



Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: Angela Taldone

Signature: [Handwritten Signature]

This instrument was acknowledged before me on 9-11, 2019, by Angela Taldone, as the act and deed of said person.



Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: Domenick Taldone

Signature: [Handwritten Signature]

This instrument was acknowledged before me on _____, 2019, by Domenick Taldone, as the act and deed of said person.



Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

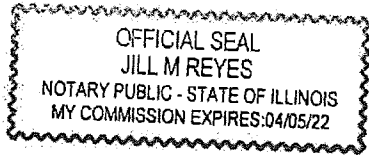
Annex I

Registered Voters – Electors
Address: 17W108 Ardmore, Bensenville, IL

Printed Name: Ronald J. Trovato

Signature: [Handwritten Signature]

This instrument was acknowledged before me on 9/6, 2019, by Ronald J. Trovato, as the act and deed of said person.

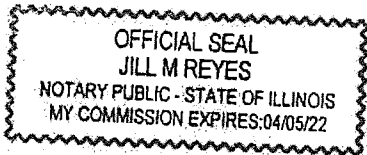


Jill M Reyes
Name: Jill M. Reyes
Notary Public in and for the State of IL
My commission expires: 4/5/22
(Seal of Notary)

Printed Name: Andrea M. Trovato

Signature: [Handwritten Signature]

This instrument was acknowledged before me on 9/6, 2019, by Andrea M. Trovato, as the act and deed of said person.



Jill M Reyes
Name: Jill M. Reyes
Notary Public in and for the State of IL
My commission expires: 4/5/22
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name:
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name:
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

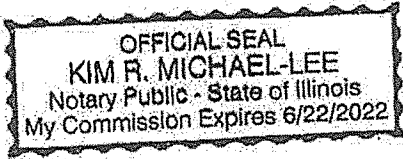
Annex I

Registered Voters - Electors
Address: 17W039 Ardmore, Bensenville, IL

Printed Name: Jeffrey Wojciechowski

Signature: Jeffrey Wojciechowski

This instrument was acknowledged before me on Sept 6, 2019, by Jeffrey Wojciechowski as the act and deed of said person.



Kim Michael Lee

Name:
Notary Public in and for the State of IL
My commission expires: 6/22/22
(Seal of Notary)

Printed Name: Tammy Jo Wojciechowski

Signature: Tammy Jo Wojciechowski

This instrument was acknowledged before me on Sept 6, 2019, by Tammy Jo Wojciechowski as the act and deed of said person.



Kim Michael Lee

Name:
Notary Public in and for the State of IL
My commission expires: 6/22/22
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name:
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name:
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Annex I

Registered Voters – Electors
Address: 17W023 Ardmore, Bensenville, IL

Printed Name: Danny Woodson

Signature: X Danny Woodson

This instrument was acknowledged before me on September 10th, 2019, by Danny Woodson, as the act and deed of said person.



Ricardo Laurean
Name: Ricardo Laurean
Notary Public in and for the State of IL
My commission expires: 01/08/2023
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

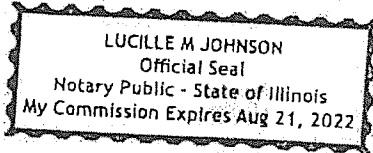
Annex I

Registered Voters - Electors
Address: 17W135 Ardmore, Bensenville, IL

Printed Name: Ho Yeal Yu

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 7, 2019, by _____, as the act and deed of said person.

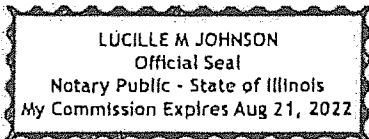


Name: [Handwritten Name]
Notary Public in and for the State of IL
My commission expires: 8-21-22
(Seal of Notary)

Printed Name: Maryalice Yu

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 7, 2019, by _____, as the act and deed of said person.



Name: [Handwritten Name]
Notary Public in and for the State of IL
My commission expires: 8-21-22
(Seal of Notary)

Printed Name: Tyler Yu

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 7, 2019, by _____, as the act and deed of said person.

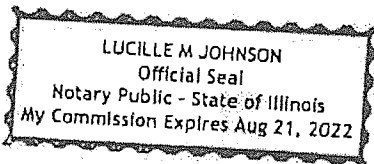


Name: [Handwritten Name]
Notary Public in and for the State of IL
My commission expires: 8-21-22
(Seal of Notary)

Printed Name: Tammy Yu

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 7, 2019, by _____, as the act and deed of said person.



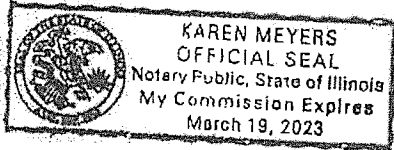
Name: [Handwritten Name]
Notary Public in and for the State of IL
My commission expires: 8-21-22
(Seal of Notary)

Annex I
Registered Voters – Electors
Address: 17W101 Ardmore, Bensenville, IL

Printed Name: John Zalecki

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 4th, 2019, by _____, as the act and deed of said person.

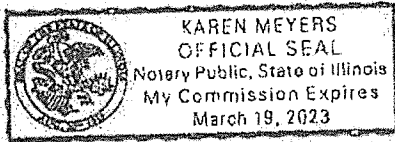


Name: Karen Meyers
Notary Public in and for the State of IL
My commission expires: 3/19/2023
(Seal of Notary)

Printed Name: Susan Zalecki

Signature: [Handwritten Signature]

This instrument was acknowledged before me on Sept 4, 2019, by _____, as the act and deed of said person.



Name: Karen Meyers
Notary Public in and for the State of IL
My commission expires: 3/19/2023
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Printed Name: _____

Signature: _____

This instrument was acknowledged before me on _____, 2019, by _____, as the act and deed of said person.

Name: _____
Notary Public in and for the State of _____
My commission expires: _____
(Seal of Notary)

Date: _____, 2019

EXHIBIT B
PLAT OF ANNEXATION

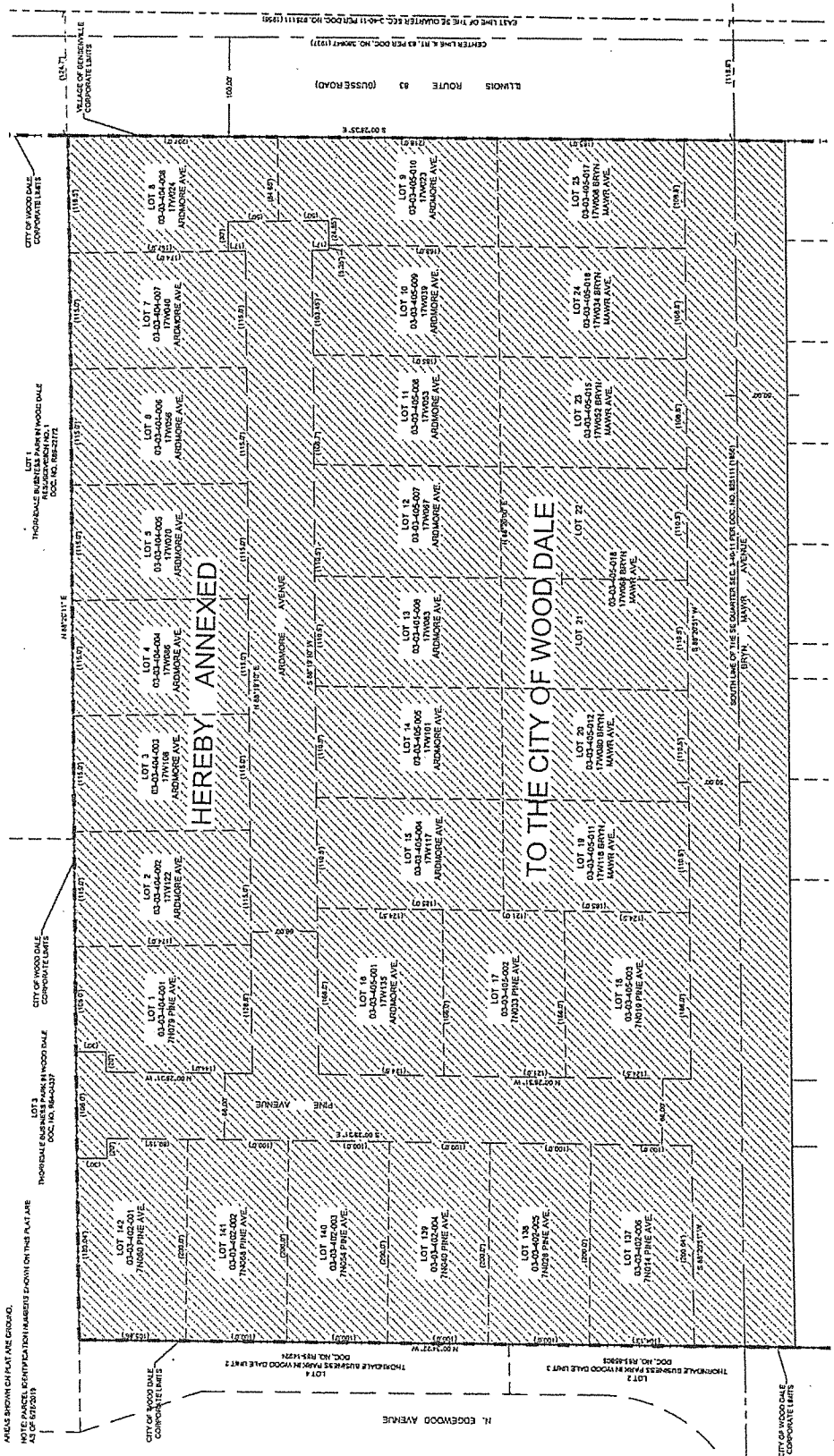
Exhibit C

PLAT OF ANNEXATION

TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS
 AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, AND ALL OF BRYN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83
 (BUSSE ROAD), ALL IN BRANIGAR'S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD
 PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS,
 CONTAINING 19.549 ACRES, MORE OR LESS.

SCALES AND DISTANCES SHOWN HEREON REFER TO THE
 LINES & BOUNDARIES OF THE PLAT. THE CENTER OF THE
 EARTH IS TAKEN AS THE POINT OF ORIGIN FOR ALL
 CALCULATIONS. DISTANCES ARE GIVEN IN FEET AND
 DECIMALS THEREOF. DISTANCES SHOWN BY THE
 DIMENSION LINES ARE TO BE CONSIDERED AS THE
 TRUE DISTANCES UNLESS OTHERWISE SPECIFIED.

UNITS: RECORD DIMENSIONS
 AREA: 100 SQUARE FEET
 DISTANCES AND DISTANCES SHOWN HEREON REFER TO THE
 LINES & BOUNDARIES OF THE PLAT. THE CENTER OF THE
 EARTH IS TAKEN AS THE POINT OF ORIGIN FOR ALL
 CALCULATIONS. DISTANCES ARE GIVEN IN FEET AND
 DECIMALS THEREOF. DISTANCES SHOWN BY THE
 DIMENSION LINES ARE TO BE CONSIDERED AS THE
 TRUE DISTANCES UNLESS OTHERWISE SPECIFIED.



UNITS: RECORD DIMENSIONS
 AREA: 100 SQUARE FEET
 DISTANCES AND DISTANCES SHOWN HEREON REFER TO THE
 LINES & BOUNDARIES OF THE PLAT. THE CENTER OF THE
 EARTH IS TAKEN AS THE POINT OF ORIGIN FOR ALL
 CALCULATIONS. DISTANCES ARE GIVEN IN FEET AND
 DECIMALS THEREOF. DISTANCES SHOWN BY THE
 DIMENSION LINES ARE TO BE CONSIDERED AS THE
 TRUE DISTANCES UNLESS OTHERWISE SPECIFIED.

UNITS: RECORD DIMENSIONS
 AREA: 100 SQUARE FEET
 DISTANCES AND DISTANCES SHOWN HEREON REFER TO THE
 LINES & BOUNDARIES OF THE PLAT. THE CENTER OF THE
 EARTH IS TAKEN AS THE POINT OF ORIGIN FOR ALL
 CALCULATIONS. DISTANCES ARE GIVEN IN FEET AND
 DECIMALS THEREOF. DISTANCES SHOWN BY THE
 DIMENSION LINES ARE TO BE CONSIDERED AS THE
 TRUE DISTANCES UNLESS OTHERWISE SPECIFIED.

OWNER'S CERTIFICATE
 I, OI REALTY, TRUSTEE OF THE CITY OF WOOD DALE, hereby
 certify that the center of the earth is the point of
 origin for all calculations of distances shown on this
 plat and that the distances shown by the dimension
 lines are to be considered as the true distances
 unless otherwise specified.

NOTARIAL CERTIFICATE
 I, _____, Notary Public,
 do hereby certify that _____,
 County Recorder,
 is the duly authorized representative of the City of Wood Dale,
 Illinois, and that the foregoing plat and records are
 correct and true copies of the original records on file
 in the office of the County Recorder,
 DuPage County, Illinois, and that the same have been
 approved by the Council of the City of Wood Dale on
 this _____ day of _____, 2020.

CITY COUNCIL CERTIFICATE
 I, _____, Mayor,
 do hereby certify that _____,
 County Recorder,
 is the duly authorized representative of the City of Wood Dale,
 Illinois, and that the foregoing plat and records are
 correct and true copies of the original records on file
 in the office of the County Recorder,
 DuPage County, Illinois, and that the same have been
 approved by the Council of the City of Wood Dale on
 this _____ day of _____, 2020.

CITY CLERK
 I, _____, City Clerk,
 do hereby certify that _____,
 County Recorder,
 is the duly authorized representative of the City of Wood Dale,
 Illinois, and that the foregoing plat and records are
 correct and true copies of the original records on file
 in the office of the County Recorder,
 DuPage County, Illinois, and that the same have been
 approved by the Council of the City of Wood Dale on
 this _____ day of _____, 2020.

COUNTY RECORDER
 I, _____, County Recorder,
 do hereby certify that _____,
 Mayor,
 is the duly authorized representative of the City of Wood Dale,
 Illinois, and that the foregoing plat and records are
 correct and true copies of the original records on file
 in the office of the County Recorder,
 DuPage County, Illinois, and that the same have been
 approved by the Council of the City of Wood Dale on
 this _____ day of _____, 2020.

THIS PLAT IS BEING SUBMITTED BY:
 NAME: _____
 ADDRESS: _____
 CITY: _____

FORWARDED TO THE CITY OF WOOD DALE
 BY _____, _____
 DATE: _____

FORWARDED TO THE COUNTY RECORDER
 BY _____, _____
 DATE: _____

FORWARDED TO THE COUNTY RECORDER
 BY _____, _____
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FORWARDED TO THE COUNTY RECORDER
 BY _____, _____
 DATE: _____

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

PLANT DESIGN/DELIVER
 Pinnacle Engineering Group
 1111 W. Lake Street, Suite 100
 Chicago, IL 60606
 Tel: 773.344.1111
 Fax: 773.344.1112
 Email: info@pinnacle-eng.com

BRANIGAR'S MOHAWK MANOR
 WOOD DALE, IL

PART OF
 BRANIGAR'S MOHAWK MANOR
 WOOD DALE, IL

PLAT OF
 ANNEXATION

TO THE CITY OF WOOD DALE

HEREBY ANNEXED

TO THE CITY OF WOOD DALE

TO THE CITY OF WOOD DALE

TO THE CITY OF WOOD DALE

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RESOLUTION NO. R-19-59

**A RESOLUTION APPROVING THE FINAL PLAT OF SUBDIVISION
TO CONSOLIDATE LOTS FOR PROPERTY COMMONLY KNOWN AS
BRYN MAWR AVENUE ADDITION TO WOOD DALE
WOOD DALE, ILLINOIS 60191**

WHEREAS, the City of Wood Dale (the "City") is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C. ("Petitioner") is the Petitioner in Case No. 2019-CDC-11; and is the owner of the property to be identified (upon annexation) as 800 N. IL Route 83, Wood Dale ("Subject Property"); and

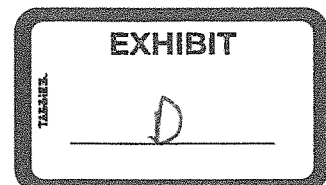
WHEREAS, the Petitioner has requested approval of a Final Plat of Subdivision to consolidate thirty-one (31) lots of record plus certain adjacent streets into one zoning lot for the improvement of the Subject Property collectively being described as:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, AND ALL OF PINE AVENUE, LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, ALL OF ARDMORE AVENUE LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF PINE AVENUE AND THE NORTH 33.91 FEET OF BRYN MAWR AVENUE LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 83 , ALL IN BRANIGAR'S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BRANIGAR'S MOHAWK MANOR, RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS

WHEREAS, the application for said lot consolidation was made under Case No. 2019-CDC-11 and was discussed by the Community Development Commission on October 21, 2019, at which time the Community Development Commission recommended approval of the requested lot consolidation; and

WHEREAS, the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale reviewed the findings made by the Community Development Commission, and concurred with its recommendation for approval, and referred this matter to the Corporate Authorities for consideration; and

WHEREAS, the Corporate Authorities of the City of Wood Dale received the recommendation of the Planning, Zoning and Building Committee and of the Community Development Commission, and reviewed the findings made relative to the application, and upon its consideration, determined to approve the Final Plat of Subdivision.



NOW, THEREFORE, BE IT RESOLVED BY THE CORPORATE AUTHORITIES OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS as follows:

SECTION ONE: The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

SECTION TWO: That the Final Plat of Subdivision for the Bryn Mawr Avenue Addition to Wood Dale, located at 800 N. IL Route 83, Wood Dale, Illinois, 60191 is hereby approved, as part of the approval of the Special Use, Planned Unit Development, for the redevelopment of the Subject Property and conditions set forth relative thereto.

SECTION THREE: That the Mayor, City Clerk, City Treasurer and Community Development Commission Chairman are authorized and directed to sign the Final Plat of Subdivision (attached as Exhibit A) by and on behalf of the City.

SECTION FOUR: That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Resolution are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That this Resolution shall be in full force and effect from and after its adoption in the manner provided by law.

PASSED this 21st day of November, 2019

AYES: 7

NAYS: 0

ABSENT: 1

APPROVED this 21st day of November, 2019

SIGNED: Annunziato Pulice
Annunziato Pulice, Mayor

ATTEST: Maura Man... [Signature]
City Clerk

EXHIBIT A
FINAL PLAT OF SUBDIVISION

ORDINANCE NO. O-19-037

AN ORDINANCE VACATING ARDMORE AVENUE, AND A PORTION OF
PINE AVENUE AND BRYN MAWR AVENUE
(ALL LOCATED GENERALLY BETWEEN ILLINOIS ROUTE 83
AND EDGEWOOD AVENUE)
IN THE CITY OF WOOD DALE, ILLINOIS, 60191

WHEREAS, the City of Wood Dale (the "City") is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, on November 21, 2019, the Corporate Authorities of the City authorized the annexation of certain property ("Subject Property") to the City described as follows:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, ALL OF ARDMORE AVENUE, ALL OF PINE AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, AND ALL OF BRYN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83 (BUSSE ROAD), ALL IN BRANIGAR'S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS,

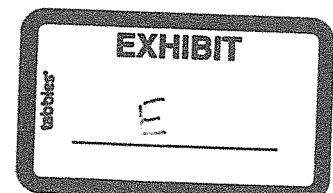
Consisting of PINs: 03-03-402-001, -002, -003, -004, 005, and -006; and 03-03-404-001, -002, -003, -004, -005, -006, -007, and -008; and 03-03-405-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -015, -016, -017, and -018; and

WHEREAS, in annexing the Subject Property, the City also annexed all or parts of right of ways commonly identified as Ardmore Avenue, Pine Avenue and Bryn Mawr Avenue, which provide ingress/egress to the Subject Property identified herein; and

WHEREAS, Section 11-91-1 of the Illinois Municipal Code, 65 ILCS 5/11-91-1, provides that the Corporate Authorities of a municipality may by ordinance vacate any street or alley, or part thereof, within their jurisdiction after determining that the public interest will be subserved by said vacation; and

WHEREAS, Section 11-91-2 of the Illinois Municipal Code, 65 ILCS 5/11-91-2, provides that upon the vacation of a street, or any part thereof, by virtue of any ordinance of any municipality, title to the land included therein will vest in the then owners of the land abutting thereon; and

WHEREAS, CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C. ("Owner"), is the owner of the Subject Property, all of which abuts both sides of Ardmore Avenue and that part of Pine Avenue and the north side of Bryn Mawr Avenue to be vacated; and



WHEREAS, the Owner has petitioned the City to vacate Ardmore Avenue, generally from Illinois Route 83 to Pine Avenue, a portion of Pine Avenue from Bryn Mawr Avenue to the northern edge of the Subject Property and the north 33.91 feet of the width of Bryn Mawr Avenue from Illinois Route 83 to Edgewood Avenue, thus reducing its width from 100 feet to 66.09 feet, all as part of its rezoning and redevelopment of the Subject Property upon annexation to permit construction of a single industrial building, construction of which incorporates the land upon which Ardmore and Pine Avenues exist, and abuts that part of Bryn Mawr Avenue to be vacated; and

WHEREAS, said vacations will not materially impair access to any property owner; and

WHEREAS, the City Council finds that Ardmore Avenue and that part of Pine Avenue to be vacated are of no further use to the City upon construction of the industrial building as planned; and

WHEREAS, the City Council finds vacation of a part of Bryn Mawr Avenue, decreasing its current width from one (100) hundred feet to an effective width of sixty-six (66) feet, still comports with City requirements for street width, and that the part of Bryn Mawr Avenue to be vacated is of no further use to the City; and

WHEREAS, the City Council finds that the public interest will be subserved by vacating the rights of way as described herein, particularly when such vacation will serve to allow a major redevelopment of the Subject Property encompassing the rights of way at issue; and

WHEREAS, the City Council finds that the City and its residents will benefit from the redevelopment of the Subject Property and that the development of the Subject Property as proposed will bring in property tax revenue and employment, and that this benefit is just and adequate compensation for the benefit which will accrue to the Owner by reason of the vacation of Ardmore Avenue and the designated parts of Pine Avenue and Bryn Mawr Avenue.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS as follows:

SECTION ONE: That the recitals set forth herein are incorporated herein by reference.

SECTION TWO: That this Ordinance is hereby passed by the affirmative vote, the "ayes" and "nays" being called, of three-fourths of all the aldermen then holding office (6 of 8) of the City of Wood Dale, at a duly called meeting of the City Council.

SECTION THREE: That by this vote, the City Council hereby vacates the northern 33.91 feet of Bryn Mawr Avenue from Illinois Route 83 to Edgewood Avenue, thus reducing the width of Bryn Mawr Avenue from one hundred (100) feet to an effective sixty-six (66) feet, subject to the terms set forth in this Ordinance and given that the Subject Property described herein abuts said northern portion of Bryn Mawr Avenue, and vacates the portion of Pine Avenue north of Bryn Mawr Avenue to the northern terminus of the Property, and vacates

Ardmore Avenue, all as shown on the Final Plat of Subdivision of the Bryn Mawr Avenue Addition to Wood Dale, Illinois.

SECTION FOUR: Upon vacation of Ardmore Avenue and those parts of Pine Avenue and Bryn Mawr Avenue described herein, title to the property on which that portion of the rights of way described herein are located shall vest in CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C. While the land abutting the rights of way to be vacated has been approved for consolidation into one lot of record, the current permanent index numbers, and addresses of the land abutting the rights of way as described herein are currently as follows:

03-03-402-001	7N080 Pine Avenue
03-03-402-002	7N068 Pine Avenue
03-03-402-003	7N054 Pine Avenue
03-03-402-004	7N040 Pine Avenue
03-03-402-005	7N028 Pine Avenue
03-03-402-006	7N014 Pine Avenue
03-03-404-001	7N079 Pine Avenue
03-03-404-002	17W122 Ardmore Avenue
03-03-404-003	17W108 Ardmore Avenue
03-03-404-004	17W086 Ardmore Avenue
03-03-404-005	17W070 Ardmore Avenue
03-03-404-006	17W056 Ardmore Avenue
03-03-404-007	17W040 Ardmore Avenue
03-03-404-008	17W024 Ardmore Avenue
03-03-405-001	17W135 Ardmore Avenue
03-03-405-002	7N033 Pine Avenue
03-03-405-003	7N019 Pine Avenue
03-03-405-004	17W117 Ardmore Avenue
03-03-405-005	17W101 Ardmore Avenue
03-03-405-006	17W083 Ardmore Avenue
03-03-405-007	17W067 Ardmore Avenue
03-03-405-008	17W053 Ardmore Avenue
03-03-405-009	17W039 Ardmore Avenue
03-03-405-010	17W023 Ardmore Avenue
03-03-405-011	17W116 Bryn Mawr Avenue
03-03-405-012	17W080 Bryn Mawr Avenue
03-03-405-018	17W068 Bryn Mawr Avenue
03-03-405-015	17W052 Bryn Mawr Avenue
03-03-405-016	17W034 Bryn Mawr Avenue
03-03-405-017	17W008 Bryn Mawr Avenue

SECTION FIVE: That the vacation of Ardmore Avenue and those parts of Pine Avenue and Bryn Mawr Avenue as depicted on the Final Plat of Subdivision, approved by the Corporate Authorities of the City as Resolution No. R-19___, is approved and said Final Plat shall serve to memorialize the vacation of the rights-of-way as authorized herein.

SECTION SIX: That the City Clerk of the City of Wood Dale is hereby directed to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and published, and also to file in the Office of the Recorder of DuPage County, Illinois and the Office of the County Clerk, a certified copy of this Ordinance.

SECTION SEVEN: That all ordinances or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, hereby repealed.

SECTION EIGHT: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in the manner provided by law.

PASSED this 21st day of November, 2019

AYES: 7

NAYS: 0

ABSENT: 1

APPROVED this 21 day of Nov., 2019

SIGNED: Annunziato Pulice
Annunziato Pulice, Mayor

ATTEST: Maura Mantalini
City Clerk

Published in pamphlet form 11/21, 2019

ORDINANCE NO. O-19-036

**AN ORDINANCE REZONING LAND FROM R-1 ESTATE RESIDENTIAL
TO I-1 LIGHT INDUSTRIAL (800 N. IL ROUTE 83)**

WHEREAS, the City of Wood Dale (the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C., by and through an agent (“Applicant”), has filed an application for rezoning of property upon annexation, said property (the “Subject Property”) being described as:

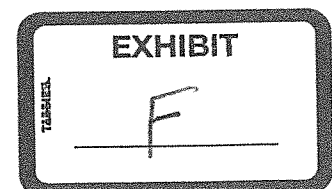
LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, ALL OF ARDMORE AVENUE, ALL OF PINE AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, AND THE NORTHERN 33.91 FEET OF BRYN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83 (BUSSE ROAD), ALL IN BRANIGAR’S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS

Consisting of PINs: 03-03-402-001, -002, -003, -004, 005, and -006; and 03-03-404-001, -002, -003, -004, -005, -006, -007, and -008; and 03-03-405-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -015, -016, -017, and -018 ; and

WHEREAS, notice of public hearing on the proposed rezoning of the Subject Property under Case Number 2019-CDC-11 was published in the Daily Herald in the time required by law, and all other notice required by law was made, as required by the ordinances of the City and the Statutes of the State of Illinois; and

WHEREAS, on October 21, 2019, the Community Development Commission held a public hearing on the proposed rezoning, and related application for a Special Use Permit for a Planned Unit Development; and

WHEREAS, the Community Development Commission considered the facts and testimony for Case Number 2019-CDC-11 and determined that the rezoning of the Subject Property from R-1 Estate Residential to I-1 Light Industrial District zoning as requested by the Applicant, upon annexation to the City, meets the standards of approval for rezoning, and in making its determination, the Community Development Commission adopted the findings of fact provided by staff within the staff memorandum dated October 21, , 2019, attached hereto and incorporated by reference as Exhibit A as the findings of the Community Development Commission, and recommended to the City Council approval of Case No. 2019-CDC-11.



NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

SECTION TWO: The Subject Property, as described herein is hereby zoned from R-1 Estate Residential District to I-1 Light Industrial District Zoning.

SECTION THREE: That the findings of fact of the Community Development Commission previously incorporated as Exhibit A, be and the same hereby are adopted as the findings of fact of the City Council.

SECTION FOUR: That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 21 day of Nov., 2019

AYES: 7

NAYS: 0

ABSENT: 1

APPROVED this _____ day of _____, 2019

SIGNED: Annunziato Pulice
Annunziato Pulice, Mayor

ATTEST: Maura Manolagas
City Clerk

Published in pamphlet form Nov. 21, 2019

EXHIBIT A

STAFF MEMORANDUM DATED October 21, 2019

CITY OF WOOD DALE

Community Development



MEMO

DATE: October 21, 2019
TO: Community Development Commission
FROM: Gosia Pociecha, Planner and Ed Cage, Community Development Director
SUBJECT: Case No. 2019-CDC-11, Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review for the redevelopment of Bryn Mawr Ave Properties, 800 N. Route 83

REQUEST

An application has been submitted requesting a Rezoning from R-1 Estate Residential, upon annexation, to I-1 Light Industrial District, and for Special Use for a Planned Unit Development – Final Development Plan and Major Site Plan Review and for approval of a Final Plat of Subdivision to annex and redevelop the Bryn Mawr Avenue Properties.

The public hearing for this petition was originally scheduled for September 30, 2019, however it had to be rescheduled as the number of individuals in attendance exceeded the meeting room occupancy limit.

PROPERTY INFORMATION

New Address: 800 N. Route 83 (upon annexation)
Existing Address: Multiple
PINs: 03-03-402-001, 002, 003, 004, 005, 006
03-03-404-001, 002, 003, 004, 005, 006, 007, 008
03-03-405-001, 002, 003, 004, 005, 006, 007, 008, 009, 010, 011, 012, 015, 016, 017, 018
Property Size: 17.726 Acres (417,881 square feet)
Existing Land Use: Residential
Future Land Use: Industrial Business Park
Existing Zoning: R-3 Single-Family Residential District (DuPage County)

Surrounding Land Use & Zoning

North: Corporate Main Street Subarea of TCC, with I-1, Industrial
 South: R-3 Single-Family Residential District (DuPage County)
 East: I-2, General Industrial District (Bensenville)
 West: Corporate Main Street Subarea of TCC, with I-1, Industrial

ANALYSIS

Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Community Development Commission & Annexation Application
- Special Warranty Deed
- Petitioner Narrative & Responses to Standards (Exhibit A)
- ALTA/NSPS Land Title Survey (Exhibit B)
- Plat of Annexation (Exhibit C)
- Plat of Subdivision (Exhibit D)
- Engineering Improvement Plans (Exhibit E)
 - Landscaping Plans
 - Photometric Plan
- Stormwater Management Report
- Wetland Delineation Report
- Building Floor Plan & Elevations (Exhibit F)
- Conceptual colored site plan (Exhibit G)
- Traffic Impact Study
- Fire-Truck and Semi-Trailer Turning Exhibits
- Engineer's Opinion of Probable Construction Cost
- Sanitary Sewer Flow Analysis
- Consultation for Endangered Species Protection and Natural Areas Preservation

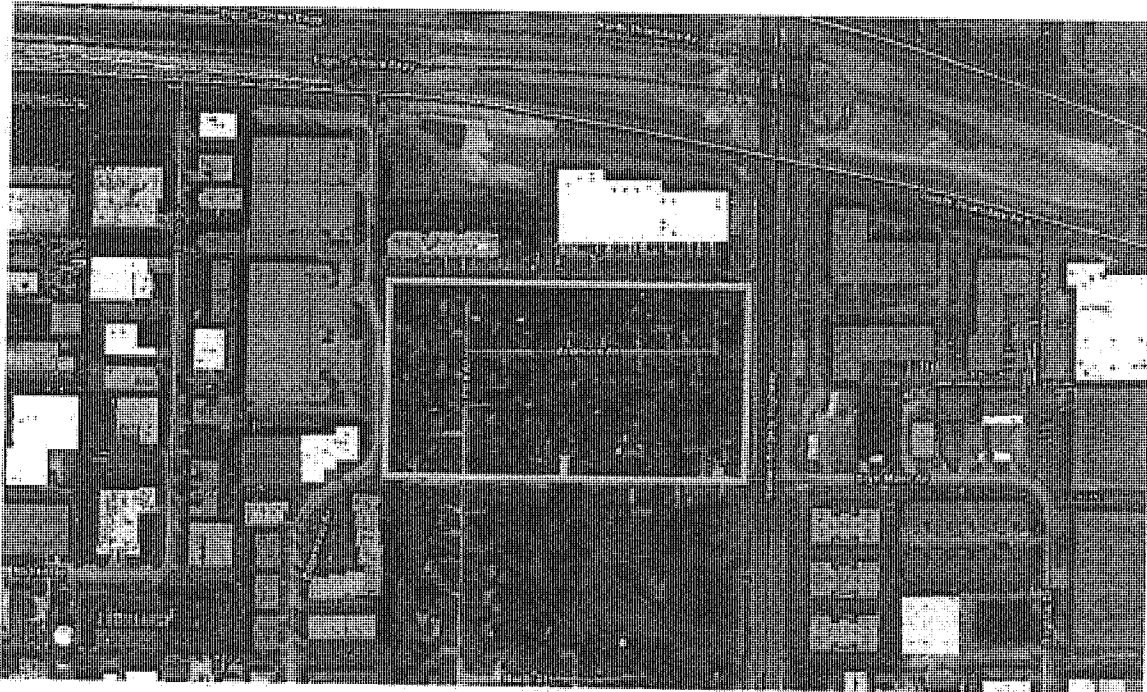
Project Description

The subject property is 17.726-acres and consists of residential lots and the Ardmore and Pine Avenue right-of-ways (see Exhibit B). The property is located on the west side of IL Route 83 (Busse Road) and to the north of Bryn Mawr Avenue (see image on next page). The proposal includes a partial vacation of Bryn Mawr Avenue, which will be reduced in width from 100 to 66 feet in the vicinity of the development project. The subject property is located within unincorporated DuPage County. The subject property will be annexed (see Exhibit C) and rezoned from unincorporated DuPage County residential R-3 to the City of Wood Dale I-1, Light industrial zoning.

The property will be re-subdivided to consolidate 30 lots into 1, as depicted in Exhibit D. The 30 vacant residences will be demolished to make way for one new 301,075 square foot light

industrial building. The building elevations and architectural site plan and are provided as Exhibits F and G. The site address will be 800 N. Route 83.

The proposed building will be occupied by Nippon Express U.S.A., Inc. This company is a current Wood Dale global logistics business that occupies two buildings and is consolidating operations and relocating their corporate headquarters as well. In addition to the corporate headquarter office space, the company will use the majority of the building for warehousing with limited truck traffic.



The petitioners are anticipating demolition of existing structures to commence shortly after the final City's approval, anticipated for November 2019. Per the petitioner's narrative (see Exhibit A) the construction is proposed to take approximately 12 months with substantial completion projected by year-end 2020.

Compliance with the Comprehensive Plan

The subject property is designated as Industrial/Business Park and Sites Likely to Experience Development Pressure in the Future Land Use Map of the Comprehensive Plan.

The subject property is proposed to redevelop to a new industrial building and is consistent with the land uses surrounding the subject property to the west, north and east. The subject property is currently in unincorporated DuPage County. One of the goals of the City Council is to annex on a voluntary basis any available properties that abut the City. Per the plan, "The City is expected to continue building on its current strengths with the business park and manufacturing and distribution industries." This is clearly achieved with the annexation and redevelopment of the subject property into an Industrial type use.

As such, the proposed development would support the following Goals and Objectives (with a brief description of how they are being met):

- Goal 1: Connect Wood Dale Citizens to:
 - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale.*
 - The project will provide employment for approximately 210 people.
- Goal 2: Build Community Capacity:
 - *Objective 1: Seek opportunities for economic development.*
 - The Special Use and PUD process will support the redevelopment and annexation of the subject property which is currently unincorporated and provides limited value to the City in its current state.
 - *Objective 2: Expand job opportunities in the community.*
 - The project will further strengthen the City's industrial base and will establish a corporate headquarters office for a global logistics company.
 - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational facilities.*
 - *The project will add value to the City through the creation of new tax revenues and local jobs.*
- Goal 3: Embrace Small-Town Charm:
 - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas.*
 - With the use of attractive building design and extensive landscaping, the project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.
 - *Objective 3: Support and enhance existing businesses in wood Dale through outreach efforts that build and strengthen partnerships.*
 - The project is a substantial investment in the city and represents a major expansion for an existing Wood Dale employer.
- Goal 4: Keep Wood Dale Diverse:
 - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life.*
 - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary industrial uses that can be located in the City and complement existing industries."
- Goal 5: Protect Land Values:
 - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents.*
 - The Project is consistent with the City's stated strategy to "Balance land use decisions to maintain strong tax base and minimize property tax burden on residents."

Compliance with the Unified Development Ordinance (UDO)

The subject property, when annexed, will be rezoned to I-1, Light Industrial zoning district. While the proposed site is located adjacent to the Thorndale Corridor Corporate Overlay District, it was not addressed or included in the original Thorndale Corridor Master Plan, therefore, it is not being brought into the overlay. The subject property is not located within a floodplain but wetlands are present adjacent to the proposed development. The property, as proposed, will be annexed and is proposed to be re-subdivided into one lot.

Subdivision

The subject property will be subdivided into one lot – for the proposed building. The proposed one lot will exceed the minimum lot area of two acres, as depicted on Exhibit D. Street trees will be provided in accordance with Sec. 17.703.D.2.d of the Municipal Code.

Allowable Uses

The proposed user will be a warehouse and distribution type user with an ancillary corporate office. Warehouse and distribution, as the principal use, is a permitted use in the I-1 Light Industrial zoning district.

A PUD is allowed as a Special Use in the I-1, Light Industrial, Zoning District per the Table of Permitted Uses in Sec. 17.503.P of the Municipal Code. As such, the standards for Special Use, PUD and Major Site Plan Review have been evaluated and are provided for consideration later within this report.

Lot Development Standards

Being proposed in the I-1 Light Industrial zoning district, Type 14 Building regulations apply. The following table summarizes the regulations and how the redevelopment meets code requirements. See Exhibits E for detailed plans. Note that regulations **bold** indicate where deviations are being requested.

Regulation Type	Required/Allowed	Proposed
Lot coverage	80% (max.)	73%
Build to Line	40-feet	300-feet
Corner side setback	20-feet	90-feet
Side setback	20-feet	47-feet
Rear setback	20-feet	200-feet
Maximum height	45-feet	43'-6"
Building use	Ground floor: Office/ manufacturing/ storage	Office/ manufacturing/ storage
	Upper floor: Office/ storage	Office/ storage

Parking and Traffic

Per the submitted plans, the proposed development will be served by 280 off-street parking spaces. Per Sec. 17.607.E.6, Table of Parking Requirements, a total of 275 parking spaces are required; therefore the parking requirements are met. In addition the site will provide 31

trailer stalls along the north property line, with potential for additional 14 future trailer parking spaces.

Building footprint: 301,075 sf	Required Ratio	Required Parking
Office: 25,000 sf (1 st floor: 15,000 sf & 2 nd floor: 10,000 sf)	1 space / 333 sf	75
Warehouse: 286,075 sf	1 space / 1430 sf	200
Total:		275

Access to the redeveloped and proposed annexed site is via four driveways, which will also provide emergency access on all four sides of the proposed building. The northwestern and southwestern driveways, would provide access mainly for semi-truck access to the loading dock doors. This is emphasized by the use of "heavy duty", essentially thicker asphalt pavement planned for semi-truck access for that area. The remaining two driveways on the south and southeast side of the lot are planned essentially for automobiles and provide access to the off-street parking spaces. This is emphasized by the use of "light duty" asphalt, which is essentially regular asphalt thickness, which is more appropriate for automobile vehicles.

Pedestrian traffic can traverse the building with a proposed sidewalk along the south and east building frontage. As this is a proposed newly annexed property, the City is planning an engineering study to determine if pedestrian paths are appropriate along IL Route 83 and the newly improved Bryn Mawr Avenue.

It has been recommended and the applicant has illustrated that a typical 66-foot right-of-way be dedicated to the Bryn Mawr Avenue in the form of right-of-way. This would make the Bryn Mawr Avenue right-of-way consistent with other City street right-of-ways, inclusive of street surface, curb and gutter and infrastructure.

A Traffic Impact Study (TIS) was conducted to evaluate the potential impact on adjacent roadways. The summarized findings from that report include the following:

- The proposed development will generate a low volume of traffic during the peak hours and will have a low traffic impact on the surrounding roadway network.
- Traffic on IL Route 83 and South Thorndale Avenue will decrease for Year 2025 due to the extension of IL Route 390, this will reduce the delays experienced by the traffic along these roadways.
- The results of the capacity analysis indicate that the proposed development traffic will not have a significant impact on the area roadways.
- The proposed access system with access on IL Route 83, Bryn Mawr Avenue and Edgewood Avenue will be adequate in accommodating site traffic and will ensure that a flexible access system is provided.
- The proposed extension of Bryn Mawr Avenue to Edgewood Avenue will reduce the truck traffic at the intersection of IL Route 83 with Bryn Mawr Avenue.
- Based on the projected traffic volumes, a southbound right-turn lane will not be warranted on IL Route 83 at either its intersection with Bryn Mawr Avenue.

Landscaping

The petitioner has submitted a high-quality landscape plan which is depicted in Exhibit E. Street trees are being provided along the IL Route 83 and Bryn Mawr Avenue and there is a landscape buffer provided across 100% of the south parking lot located across from the existing residential properties. The tree preservation and replacement regulations do not apply to this project as any existing trees will be removed prior to annexation. Nonetheless, the petitioners are proposing to plant over 186 new trees including delicious, evergreen and ornamental trees. The submitted plans meet or exceed the code requirements.

Lighting

A photometric plan has been submitted by the applicant. There are a few minor comments that will be addressed prior to final approval during permitting process, but overall the plans are in compliance with the UDO requirements. The site is illuminated by mainly wall mounted light fixtures on the proposed building and light poles that are utilized within the proposed parking lot.

Stormwater Management

The proposed plan calls for a wetland style stormwater facility located to the east of the proposed building along IL Route 83. The City Consultant Engineers have reviewed the stormwater plans and calculations but few comments still need to be addressed prior to final approval. The approval of this petition will be conditioned on the final engineering approval.

Public Utilities

The development will be served by a looped water main and has been approved by the City Consultant Engineer subject to some minor review comments. According to the City's utility atlas, there is a dead-end 8" water main to the north of the proposed site. A connection will be added between the existing water main and the proposed looped water main to improve water flow and water quality.

Public Safety

The Wood Dale Fire Protection District has reviewed the proposed redevelopment and determined that there is sufficient access for emergency vehicles in and around the site. In order to verify the adequacy of fire flows, the petitioner shall provide fire flow calculations prior to issuance of any permit. The number of provided fire hydrants shall be verified in order to ensure that it meets the water needs for Fire District's apparatus. The Wood Dale Fire Protection District has reviewed the proposed plans and have no further comments, at this time.

PUD and Subdivision Process

The petitioner is requesting a combined concept, preliminary and final development plan/plat to facilitate construction commencement immediately upon approval. The requested Special Use, PUD, Final Plat of Subdivision and Major Site Plan Review is consistent with the UDO.

PUD Requested Deviations

There are a number of requested deviations requested through the PUD process and these are as follows:

1. Service & Auto Curb-Cut Width: Driveway width for both service and auto driveways has been proposed to be widened to accommodate the safe and efficient flow of traffic, which is consistent with other such approved requests.
2. Elimination of Build-to-Line Requirement: The proposed building is set back further from the east property line along IL Route 83 to accommodate the natural flow of stormwater on site and to provide a detention basin with decorative fountains.
3. Elimination of Trash Enclosure: A trash compactor is proposed to be used, this will be screened by both the proposed screen wall and extensive landscaping on the site.

Deviations are often requested and required with a larger PUD development such as this requested one. The use of the PUD application requires some public benefit to be required by the City. In this case, the proposal includes a high-quality building architecture and landscaping, wetland-style stormwater detention with fountains and overall the annexation of 19.549-acres. In addition, the Bryn Mawr Avenue will be reconstructed as a separate but related project including a sidewalk and pedestrian access. This project is intended to have a positive economic effect on the city by generating new funds and will serve as a corporate headquarters with approximately 210 jobs once fully operational.

Neighborhood Comment

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO. Staff has received several inquiries about the project seeking more information on the proposed development. At least three individuals have come into our office to review the application documents. Comments received varied between concerns with the increased truck traffic as well as support for the commercial development.

The public hearing for this petition was originally scheduled for September 30, 2019, however it had to be rescheduled as the number of individuals in attendance exceeded the meeting room occupancy limit. The public hearing notices were posted, published and mailed out with the revised meeting date and location.

Findings of Fact

The Community Development Commission may recommend approval of a Special Use, Planned Unit Development and Major Site Plan Review if evidence is presented to establish that the application meets the standards. The standards are as follows (*staff comments italicized*):

Special Use Standards

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

The proposed special use will allow the redevelopment of the subject property, which will in turn allow a new Industrial building to be constructed. This building will create new jobs for the City. Therefore, the proposed special use meets the standards set forthwith.

2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

The proposed special use will allow for the redevelopment of the subject property to allow a new industrial building at this location. The proposed new building will be consistent with the surrounding properties to the east, north and west, which are also industrial in use and also in zoning. Per the Traffic Impact Study, the proposed development will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways. Therefore, the proposed special use meets the standards set forthwith.

3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

The proposed redevelopment project will allow adjacent property owners to operate in accordance with existing zoning regulations and will promote future investment in the area and ultimately enhance area property values. Therefore, the proposed special use meets the standards set forthwith.

4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

The proposed redevelopment project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of new materials and architectural design along with extensive landscaping should promote investment in the adjacent properties. Therefore, the proposed special use meets the standards set forthwith.

5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

The proposed redevelopment project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties. Therefore, the proposed special use meets the standards set forthwith.

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

The subject property has ready access to existing City utilities nearby. The proposed utility connections have been submitted on the applicant's engineering plans. Therefore, the proposed special use meets the standards set forthwith.

7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets;

Parking for the project is appropriate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped greenway buffer will be established along Bryn Mawr Avenue and a detention basin with decorative fountains will be established along IL Route 83. The proposed access points to the property have been designed to minimize traffic hazards. Therefore, the proposed special use meets the standards set forthwith.

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

The standards for PUDs are evaluated below, per Section 17.405 of the UDO. This standard is met.

General Standards and Criteria for Planned Unit Developments (PUD)

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

The subject property is designated as Industrial/Business Park in the future land use map and the project is consistent with the type of redevelopment occurring within the Industrial zoned area within the City. The proposed development is planned to be a high-image addition to the City's industrial inventory and will not injure or damage the use, value and enjoyment of the adjacent properties or discourage the development of surrounding properties. Therefore, the proposed PUD meets the standards set forthwith.

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

The preliminary project schedule targets City approval in November with demolition of the existing structures, occurring soon thereafter. Vertical construction of the proposed building is anticipated to take approximately twelve months with substantial completion projected by year-end 2020. Therefore, the proposed PUD meets the standards set forthwith.

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

The entire property is owned by a single-entity and therefore it meets the standard. Therefore, the proposed PUD meets the standards set forthwith.

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

Given that the proposed single building and consolidation of multiple lots into one, Covenants Conditions and Restriction's (CCR's) will not be required of this project. All proposed public utility easements will be reviewed and approved by the City. Therefore, the proposed PUD meets the standards set forthwith.

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.

The subject property has available and ready access to existing utilities. The utility requirements of the proposed project shall not reduce the capacity for existing developments nor overload City facilities beyond capacity. Therefore, the proposed PUD meets the standards set forthwith.

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.

The proposed project is compatible with surrounding land uses within the City and will incorporate substantial site landscaping, inclusive of heavily landscaped greenway buffer that will be established along Bryn Mawr Avenue. Therefore, the proposed PUD meets the standards set forthwith.

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

The proposed project is compatible with the surrounding area and will be a quality addition to the City's Industrial base. The use of an attractive building design, extensive landscaping will enhance the surrounding area. Therefore, the proposed PUD meets the standards set forthwith.

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

The proposed project is a high quality industrial building that conforms with the general design standards of the district and is consistent with the type of proposed redevelopment occurring within the industrial zoned areas of the City. Therefore, the proposed PUD meets the standards set forthwith.

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

The proposed project conforms with the City's designation as an Industrial/Business Park on the future land use map of the Comprehensive Plan. Therefore, the proposed PUD meets the standards set forthwith.

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

The proposed project is a high quality industrial building that conforms with the general design standards of the district it is proposed to be located within. It is not inconsistent with the public general welfare and does not conflict with this standard. Therefore, the proposed PUD meets the standards set forthwith.

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.

The proposed project features extensive site landscaping and also includes greenway buffer that is planned along and abutting Bryn Mawr and detention basin with decorative fountains along IL Route 83. Therefore, the proposed PUD meets the standards set forthwith.

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the

proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

Based upon the Traffic Impact Study (TIS) the proposed access system for the development will be sufficient for accommodating the traffic that is planned to be generated by the proposed project. Furthermore, the TIS concludes that the proposed project will generate a low volume of traffic during the peak hours and will not have a significant impact on the area roadways. Therefore, the proposed PUD meets the standards set forthwith.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

There are no dwelling units proposed in the PUD. Off-street parking spaces are located conveniently adjacent to the proposed building and will meet the landscaping screening requirements of the code. Therefore, the proposed PUD meets the standards set forthwith.

14. A pedestrian circulation network is provided.

An internal circulation network will be provided on-site to connect the auto parking to future office areas. Therefore, the proposed PUD meets the standards set forthwith.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

All utilities to be provided as outlined in the utility plan shall be in accordance with the requirements and regulations of the City. Therefore, the proposed PUD meets the standards set forthwith.

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

The proposed project will support the following objectives as outlined in Section B:

- *Objective 3: functional and beneficial use of open space by providing better connectivity to existing properties and by providing a heavily landscape greenway buffer along the primary street frontage.*

- *Objective 4: preservation of natural landscape features of the site by providing an improved and enhanced buffer for the off-site wetland located on the eastern border.*
- *Objective 5: provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by creating and maintaining a heavily landscaped greenway buffer along Bryn Mawr Avenue, enhanced connectivity within and around the site and high-quality building design.*
- *Objective 6: rational and economic development in relation to public services by establishing a proposed project that conforms with future land use plans, creates a value-added annexation opportunity that has limited impact on the required public services.*

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

The proposed project provides for improved and enhanced buffering for the critical wetland located on the eastern border of the subject property. Therefore, the proposed PUD meets the standards set forthwith.

Standards For Site Plan Review:

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan.

The proposed project conforms to the future land use plan and is consistent with goals and many of the objectives within the Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17.

The proposed project has been designed to increase pedestrian mobility on-site. Furthermore, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrians and vehicle traffic. Therefore, the proposed Site Plan meets the standards set forthwith.

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements.

The proposed project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements. Therefore, the proposed Site Plan meets the standards set forthwith.

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code.

Detailed engineering plans have been submitted for review by the City Consultant Engineer. The Fire District and Public Works Department has also been asked to review the associated plans and provide comments. Therefore, the proposed Site Plan meets the standards set forthwith.

5. That the proposed use(s) is/are permitted in the district in which the property is located.

The proposed project and use is consistent with the subject property's designation as Industrial/Business Park in the future land use map of the City's Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles.

The proposed project is planned to be a high quality and high image industrial with office facility that is compatible with adjacent land uses and employs sound planning and zoning principles. Therefore, the proposed Site Plan meets the standards set forthwith.

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

The planned project provides for an efficient separation of automobile and truck traffic. Per the TIS, the proposed access points will be sufficient to serve the planned project with a low traffic impact on the surrounding roadway network. Therefore, the proposed Site Plan meets the standards set forthwith.

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage is planned as part of the planned project. Therefore, the proposed Site Plan meets the standards set forthwith.

Standards for Final Plat:

The Community Development Commission shall recommend approval and the City Council shall approve a Final Plat unless it makes written findings specifying the manner in which *(staff comments in italicized)*:

1. The design and layout of the subdivision does not conform to the provisions of the UDO.

The design and layout of the proposed subdivision does conform to the provisions of the Unified Development Ordinance (UDO). Therefore, the proposed Site Plan meets the standards set forthwith.

2. The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.

The applicant has made adequate provisions to install improvements required by both the CDC and/or City Council under the authority of the UDO. Therefore, the proposed Site Plan meets the standards set forthwith.

3. The Final Plat fails to comply with an approved Preliminary Plat.

This standard does not apply because the applicant is applying for a combined Concept, Preliminary and Final Plat concurrently. Therefore, the proposed Site Plan meets the standards set forthwith.

4. The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.

The Final Plat of Subdivision conforms with the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, all applicable City Ordinances and planning policies of the City. Therefore, the proposed Site Plan meets the standards set forthwith.

RECOMMENDATION

The Community Development Department finds that the request for a Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to redevelop the property known as Bryn Mawr Industrial Redevelopment is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review meet the standards of approval and are consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo dated October 21 2019 as the findings of the Community Development Commission, and recommend to the City Council approval of Rezoning to I-1, upon annexation, Special Use for a Planned Unit Development – Final Development Plan and Major Site Plan Review and for approval of a Final Plat of Subdivision for the Bryn Mawr Industrial Redevelopment at 800 N Route 83 in Case No. 2019-CDC-11 subject to the following conditions:

1. The Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated October 21, 2019 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
2. Final engineering approval.



200 West Madison Street
Suite 1200
Chicago, IL 60606
Phone: 312.881.7000
transwesterndevelopment.com

September 24, 2019

Mr. Ed Cage
Community Development Director
City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191

Exhibit A

Re: Redevelopment of Bryn Mawr Avenue and Busse Road

Dear Mr. Cage:

CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C. ("Owner") has acquired the thirty (30) parcels located at Bryn Mawr Avenue and Busse Road, which is commonly known as Lots 1-25 & 137-142 of Branigar's Mohawk Manor in Unincorporated DuPage County ("Property"). In its capacity as development manager for the Owner, TDC Logistics Company, L.L.C. (a Transwestern Development Company entity) is proposing the voluntary annexation, rezone and subdivision (including street vacations) of the approximately 19.6-acre Property for a transformative 301,075 SF light industrial redevelopment ("Project") in the City of Wood Dale ("City"). The Project will serve as the headquarters for global logistics company and existing City of Wood Dale employer Nippon Express U.S.A., Inc. ("NEU").

Located at the intersection of Bryn Mawr Avenue and Busse Road, the Project is consistent with the City's future land use plan and will serve as a natural addition to the local industrial base. With a focus on high-image building design and extensive landscaping that is representative of a corporate headquarters, the Project will further strengthen the City's reputation as a premier location for high-image industrial users. The Project will create positive economic impacts for the City and will generate new funds that will directly support funding for local schools, fire safety, roads, parks and other critical services that allow the City to attract and retain residents. Moreover, once fully operational NEU is expected to employ approximately 210 people at the new facility which will further strengthen the City's ability to support additional commercial and retail amenities for the community.

We're confident that the Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan, including creating opportunities for economic development, expanding job opportunities in the community and pursuing annexation of sites that add value to the City. We look forward to an opportunity to discuss this Project and the many benefits it will provide to the City.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Mohoney', written over a horizontal line.

Kevin Mohoney
Vice President
Transwestern Development Company

Project Overview

The Property is located near the City's primary industrial business park south of Illinois 390 and is surrounded by industrial buildings to the north and west. To the east of the Property is Busse Road and to the south is additional unincorporated residential. The Property is currently improved with thirty (30) residential homes which were primarily constructed before 1980. Due to the unincorporated nature of the parcels, water and sewer is provided individually to the homes by private well and septic systems. In total, the Property comprises approximately 19.6-acres (inclusive of the proposed vacated portions of Ardmore Avenue and Pine Street and partially vacated Bryn Mawr Avenue).

As further outlined in the detailed plans accompanying this submittal, the annexed Property is intended to accommodate the construction of a state-of-the-art light industrial building with a footprint totaling 301,075 square feet. The Project will be a high-image headquarters facility that is constructed of precast concrete, glass and steel, is consistent with the City's future land use plan and will serve as a natural addition to the area's high-image industrial base.

The following requested deviations are necessary to provide a building that meets modern design standards and while maximizing potential economic benefits to the City:

- 1) *Service and Auto Drive Curb-Cut Width:* driveway width for both service and auto drives has been widened to accommodate the safe and efficient flow of traffic;
- 2) *Build-To Line Requirement:* the Project features an expanded eastern setback to better manage the natural flow of stormwater on site and to provide a high-image detention basin with decorative fountains along the main thoroughfare of Busse Road.
- 3) *Elimination of Required Trash Enclosure:* in lieu of a dedicated enclosed refuse collection area, it is anticipated that NEU will utilize a trash compactor at an existing exterior dock door which will be adequately screened from the right-of-way by a 14-foot screen wall on the east end of the dock area and substantial site landscaping throughout the dock areas.

The preliminary Project schedule targets City approval in November with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately twelve (12) months with substantial completion projected by year-end 2020.

As detailed in the enclosed application, the Owner is requesting the following:

- Annexation into the City of Wood Dale pursuant to an annexation agreement
- Rezoning to I-1 Light Industrial
- Vacation of Ardmore Avenue and Pine Street and partial vacation of Bryn Mawr Avenue
- Final Plat of Subdivision to consolidate lots
- Special Use to allow a Planned Unit Development (PUD)
- PUD – Final Development Plan with deviations

Comprehensive Plan

The Property is designated as Industrial/Business Park in the future land use map of the City's comprehensive plan which was adopted on August 2, 2018. The Project would support the following Goals and Objectives as outlined in the comprehensive plan:

- **GOAL 1: Connect Wood Dale Citizens to...**
 - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale*
 - Once fully operational, NEU is expected to employ approximately 210 people as part of the Project.

- **GOAL 2: Build Community Capacity**
 - *Objective 1: Seek opportunities for economic development*
 - The special use and PUD process will support the redevelopment and annexation of the Property which is currently unincorporated and, as low-density residential, provides limited value to the City in its current state.

 - *Objective 2: Expand job opportunities in the community*
 - The Project will further strengthen the City's industrial base and will establish a headquarters facility for a global logistics services company.

 - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational function.*
 - The Project will add value to the City through the creation of new tax revenues and local jobs.

- **GOAL 3: Embrace Small-Town Charm**
 - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas*
 - With the use of attractive building design and extensive landscaping, the Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.

 - *Objective 3: Support and enhance existing businesses in Wood Dale through outreach efforts that build and strengthen partnerships.*
 - The Project is a substantial investment in the City and represents a major expansion for an existing Wood Dale employer.

- **GOAL 4: Keep Wood Dale Diverse**
 - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life*
 - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary industrial uses that can be located in the city and complement existing industries."

- **GOAL 5: Protect Land Values**
 - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents*
 - The Project is consistent with the City's stated strategy to "Balance land use decisions to maintain strong tax base and minimize property tax burden on residents."

Special Use Standards

1. **The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;**

The Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction, will add value to the City through the establishment of new tax revenues and will encourage the creation of jobs for residents.

2. **The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;**

The Project will further strengthen the City's industrial base by greatly enhancing an underutilized site that is not currently within the City's jurisdiction. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties. Additionally, as outlined in the enclosed traffic study, the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

3. **The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;**

The Project will allow adjacent property owners to continue to operate in accordance with existing zoning regulations and will serve to promote future investment in the area and ultimately enhance area property valuations.

4. **The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;**

The Project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties.

5. **The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;**

The Project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties.

6. **Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;**

The Property has ready access to existing City utilities. The proposed utility connections as outlined in the enclosed utility plan shall be reviewed and approved by the City.

7. **Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and**

Parking for the Project complies with code and is adequate for the number of employees projected by NEU once the facility is fully operational. A heavily landscaped greenway buffer has been established along Bryn Mawr Avenue and a

high-image detention basin with decorative fountains has been established along Busse Road. Further, the proposed access points to the Property have been designed to minimize traffic hazards.

PUD Standards

1. **The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.**

The Property is designated as Industrial/Business Park in the future land use map and the Project is consistent with the type of redevelopment occurring within the industrial zoned areas within the City. The Project will be a high-image addition to the City's industrial base and will not injure or damage the use, value and enjoyment of adjacent properties or discourage the development of surrounding properties.

2. **The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.**

The preliminary Project schedule targets City approval in November with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately twelve (12) months with substantial completion projected by year-end 2020.

3. **The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.**

The Property is owned by CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C.

4. **The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.**

Given the proposed single building and consolidation of multiple lots into one, it is applicant's understanding that Covenants, Conditions and Restrictions (CCRs) will not be necessary. Any proposed public utility easements would be identified on the enclosed Final Plat to be approved by the City.

5. **Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.**

The Property has ready access to existing utilities. The utility requirements of the Project shall not reduce capacity for existing developments nor overload local facilities beyond capacity.

6. **The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.**

The Project is compatible with surrounding land uses and will incorporate substantial site landscaping, including a heavily landscaped greenway buffer that is to be established along Bryn Mawr Avenue.

7. **The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.**

The Project is compatible with the surrounding area and will be a high-image addition to the City's industrial base. The use of attractive building design and extensive landscaping should enhance the surrounding area.

8. **The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is consistent with the type of redevelopment occurring within the industrial zoned areas within the City.

9. **The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.**

The Project conforms to the City's designation as Industrial/Business Park in the future land use map of the comprehensive plan.

10. **Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is not inconsistent with the public general welfare. The minimal deviations requested are minor in nature and are warranted to create a building that will support NEU's operations without negative impact to the surrounding street network and nearby properties while maximizing economic development within the City.

11. **Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.**

As outlined in the enclosed landscaping plan, the Project features extensive site landscaping and includes a heavily landscaped greenway buffer that is to be established along Bryn Mawr Avenue and a high-image detention basin with decorative fountains along the main thoroughfare of Busse Road.

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

Based on the enclosed Traffic Impact Study (TIS), the proposed access system for the development will be adequate in accommodating the traffic to be generated by the Project. Further, the TIS concludes that the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

There are no dwelling units within the PUD.

14. A pedestrian circulation network is provided.

An internal circulation network will be provided on-site to connect the auto parking to the future office area.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

All utilities to be provided for the Project as outlined in the enclosed utility plan shall be in accordance with the requirements and regulations of the City.

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

The Project will support the following objectives as outlined in subsection B:

- *Objective 3:* functional and beneficial use of open space by providing better connectivity to existing properties and by providing a heavily landscaped greenway buffer along the primary street frontage.
- *Objective 4:* preservation of natural landscape features of the site by providing an improved and enhanced buffer for the off-site wetland located on the eastern border.
- *Objective 5:* provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by maintaining and creating a heavily landscaped greenway buffer along Bryn Mawr Avenue, enhanced connectivity within and around the site and high-quality building design.
- *Objective 6:* rational and economic development in relation to public services by establishing a Project that conforms with future land use plans, creates a value-add annexation opportunity and has limited impact on public services required.

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

As previously noted, the Project provides for improved and enhanced buffering for the off-site wetland located on the eastern border of the site.

Standards for Major Site Plan Review

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;

The Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan.

2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17;

The Project has been designed to increase pedestrian mobility on-site and the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrian and vehicle traffic.

3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;

The Project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements.

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code;

Detailed engineering plans are enclosed for review and comment by City staff.

5. That the proposed use(s) is/are permitted in the district in which the property is located;

The Project is consistent with the Property's designation as Industrial/Business Park in the future land use map of the City's comprehensive plan.

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;

The Project will be a high-image light industrial corporate headquarters building that is compatible with adjacent land uses and employs sound planning principles.

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well; and

The Project provides for efficient separation of auto and truck traffic. Per the TIS, the proposed access points will be adequate to serve the Project with a low traffic impact on the surrounding roadway network.

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage is planned as part of the Project.

Standards for Final Plat

1. The design and layout of the subdivision does not conform to the provisions of the UDO.

The design and layout of the subdivision does conform to the provisions of the UDO.

2. The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.

The applicant has made adequate provisions to install improvements required by the CDC or City Council under authority of the UDO.

3. The Final Plat fails to comply with an approved Preliminary Plat.

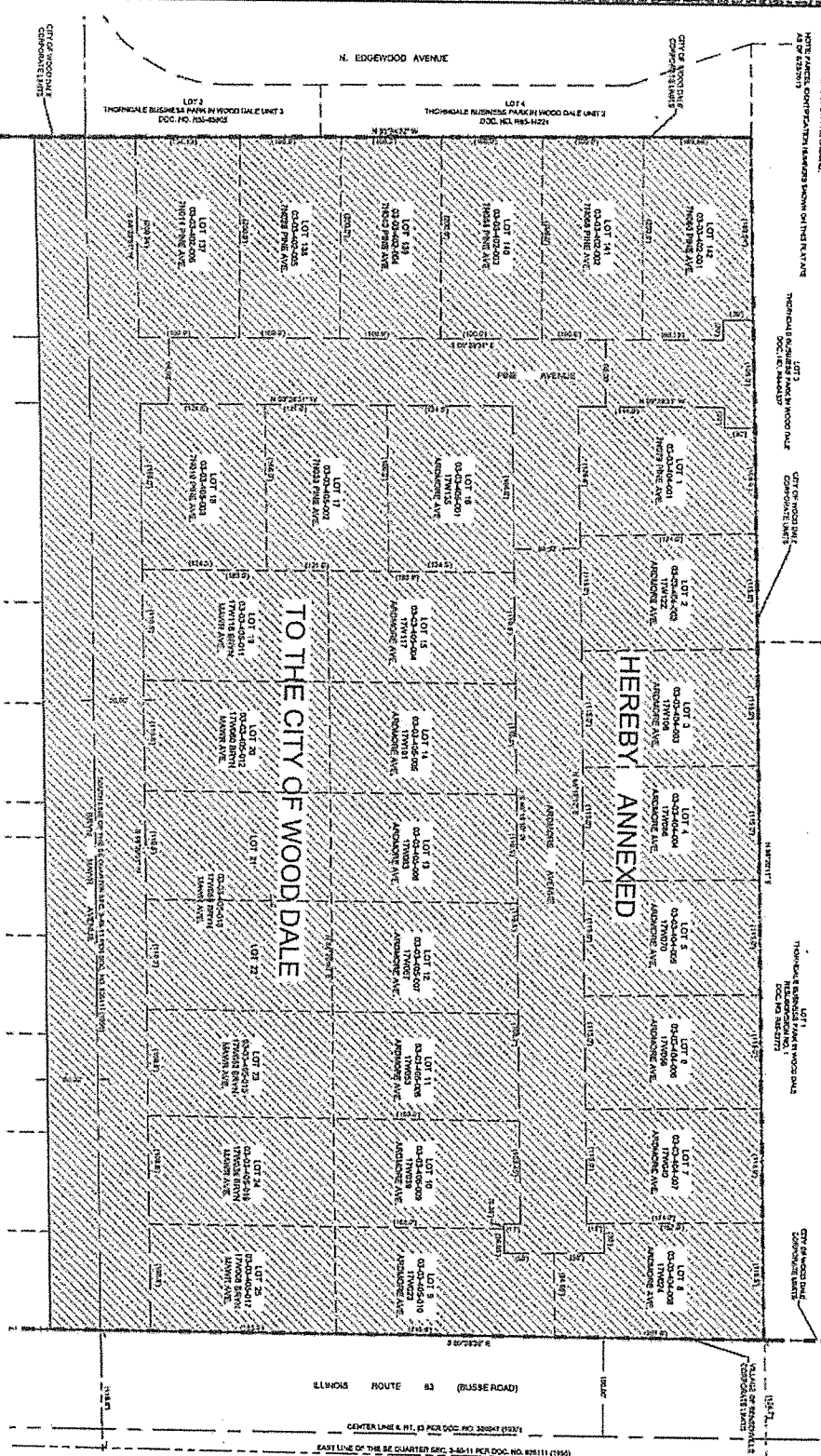
Not applicable as the applicant is applying for a combined Concept, Preliminary and Final Plat approval process.

4. The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.

The Final Plat of Subdivision conforms to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, applicable City ordinances and planning policies of the City.

PLAT OF ANNEXATION

TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS
 LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142 ALL OF ARDMORE AVENUE, ALL OF PINE
 AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRUN MAWR AVENUE, AND ALL OF BRUN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83
 PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS.
 CONTAINING 19.5469 ACRES, MORE OR LESS.



LEGEND

- SUBDIVISION BOUNDARY
- ADJACENT TOWNSHIP
- ADJACENT COUNTY LINE
- RIGHT-OF-WAY
- CENTER OF RIGHT-OF-WAY
- EXISTING COOPERATIVE LOTS

(18") RECORD DIMENSION

NOTES

1. ALL LOTS ARE TO BE CONVEYED TO THE CITY OF WOOD DALE, ILLINOIS, BY DEED.

2. THE CITY OF WOOD DALE, ILLINOIS, IS THE SUCCESSOR TO THE CITY OF WOOD DALE, ILLINOIS, AS FORMERLY KNOWN.

3. THE CITY OF WOOD DALE, ILLINOIS, IS THE SUCCESSOR TO THE CITY OF WOOD DALE, ILLINOIS, AS FORMERLY KNOWN.

4. THE CITY OF WOOD DALE, ILLINOIS, IS THE SUCCESSOR TO THE CITY OF WOOD DALE, ILLINOIS, AS FORMERLY KNOWN.

PINNACLE ENGINEERING GROUP
 1500 W. WOOD DALE AVENUE
 WOOD DALE, ILLINOIS 60191
 TEL: 630-584-1100
 FAX: 630-584-1101
 WWW.PINNACLE-ENGR.COM

BRANIGAR'S MOHAWK MANOR
 PART OF
 WOOD DALE, IL

PLAT OF
 ANNEXATION

NO.	DATE	DESCRIPTION
1	11/28/2011	AS SHOWN
2	11/28/2011	AS SHOWN
3	11/28/2011	AS SHOWN
4	11/28/2011	AS SHOWN
5	11/28/2011	AS SHOWN
6	11/28/2011	AS SHOWN
7	11/28/2011	AS SHOWN
8	11/28/2011	AS SHOWN
9	11/28/2011	AS SHOWN
10	11/28/2011	AS SHOWN
11	11/28/2011	AS SHOWN
12	11/28/2011	AS SHOWN
13	11/28/2011	AS SHOWN
14	11/28/2011	AS SHOWN
15	11/28/2011	AS SHOWN
16	11/28/2011	AS SHOWN
17	11/28/2011	AS SHOWN
18	11/28/2011	AS SHOWN
19	11/28/2011	AS SHOWN
20	11/28/2011	AS SHOWN
21	11/28/2011	AS SHOWN
22	11/28/2011	AS SHOWN
23	11/28/2011	AS SHOWN
24	11/28/2011	AS SHOWN
25	11/28/2011	AS SHOWN

BRANIGAR'S MOHAWK MANOR
 PART OF
 WOOD DALE, IL

PLAT OF
 ANNEXATION

REVISIONS

SHEET 1 OF 1

Exhibit C



GRAPHICAL SCALE (1"=100')

ONMILL ESTIMATE
 1. LOT 141 HAS NOT BEEN CHECKED BY THE CITY OF WOOD DALE, ILLINOIS, AND IS NOT BEING ANNEXED TO THE CITY OF WOOD DALE, ILLINOIS, AS SHOWN ON THE PLAT HEREBY SUBMITTED.

APPROVED BY THE CITY OF WOOD DALE, ILLINOIS, AS SHOWN ON THE PLAT HEREBY SUBMITTED.

APPROVED BY THE CITY OF WOOD DALE, ILLINOIS, AS SHOWN ON THE PLAT HEREBY SUBMITTED.

APPROVED BY THE CITY OF WOOD DALE, ILLINOIS, AS SHOWN ON THE PLAT HEREBY SUBMITTED.

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APPROVED BY THE CITY OF WOOD DALE, ILLINOIS, AS SHOWN ON THE PLAT HEREBY SUBMITTED.

APPROVED BY THE CITY OF WOOD DALE, ILLINOIS, AS SHOWN ON THE PLAT HEREBY SUBMITTED.

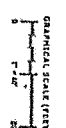
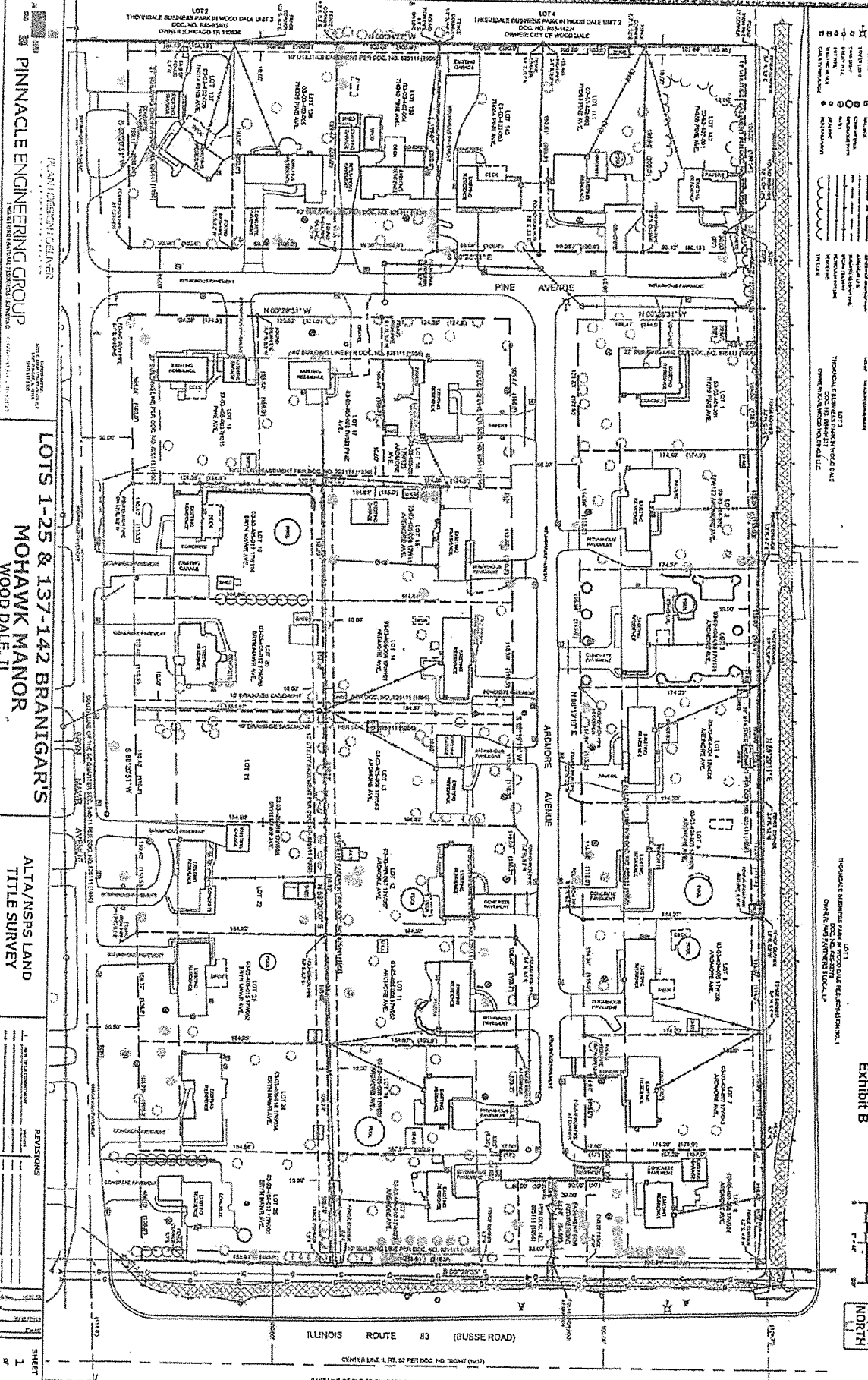
ALTA/NSPS LAND TITLE SURVEY

LEGEND OF SYMBOLS

○	RECORDED
●	UNRECORDED
□	UTILITY
△	ADJACENT PROPERTY
◇	ADJACENT INTEREST
◇	CURTAIN WALL
◇	CONCRETE
◇	STEEL
◇	WOOD
◇	MASONRY
◇	GLASS
◇	OTHER MATERIAL
◇	FOUNDATION
◇	ROOF
◇	PAVEMENT
◇	GRASS
◇	ASPHALT DRIVE
◇	ASPHALT DRIVE
◇	GRAVEL DRIVE
◇	CONCRETE DRIVE
◇	OTHER DRIVE
◇	UTILITY
◇	LAND TITLE

LEGEND OF LINES

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	ADJACENT INTEREST LINE
---	CURTAIN WALL
---	CONCRETE
---	STEEL
---	WOOD
---	MASONRY
---	GLASS
---	OTHER MATERIAL
---	FOUNDATION
---	ROOF
---	PAVEMENT
---	GRASS
---	ASPHALT DRIVE
---	ASPHALT DRIVE
---	GRAVEL DRIVE
---	CONCRETE DRIVE
---	OTHER DRIVE
---	UTILITY



FINAL PLAT OF SUBDIVISION BRYN MAWR AVENUE ADDITION TO WOOD DALE BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 34-0-11, DUPAGE COUNTY, ILLINOIS.

Pinnacle Engineering Group
 Pinnacle Engineering Group
 1111 W. Wood Dale Ave.
 Wood Dale, IL 60191
 (630) 261-1111
 www.pinnacle-eng.com

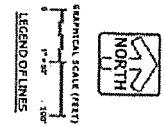
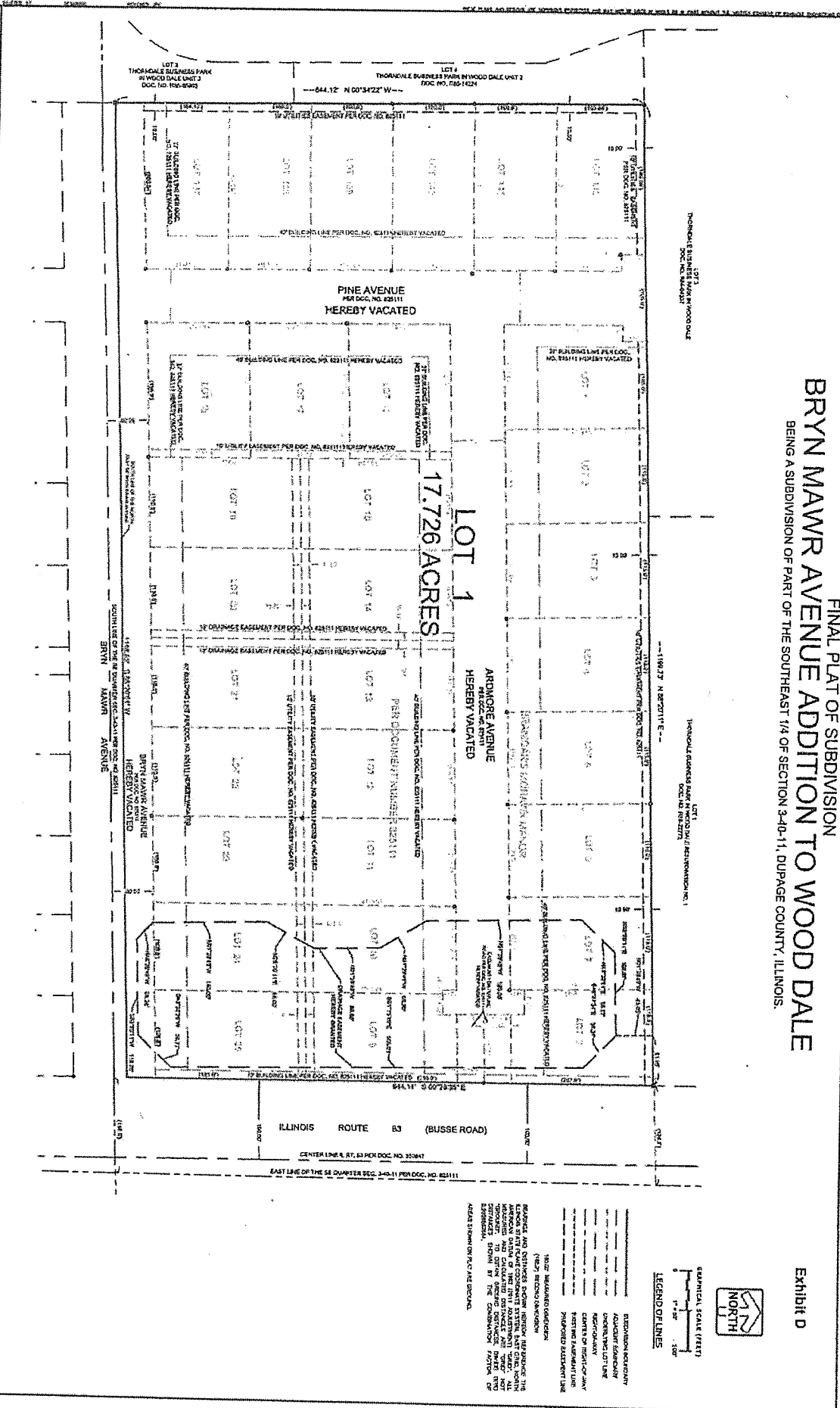
Bryn Mawr Avenue Addition to Wood Dale
 Bryn Mawr Avenue Addition to Wood Dale
 Wood Dale, IL

Final Plat of Subdivision
 Final Plat of Subdivision

NO.	DATE	REVISIONS
1	11/11/2011	PRELIMINARY PLAT
2	11/11/2011	FINAL PLAT

SHEET	NO.
1	1
2	2

SURVEY



LEGEND OF LINES

- RECORD BOUNDARY
- PROPOSED SUBDIVISION LINE
- PROPOSED EASEMENT LINE
- PROPOSED ALLEYS
- PROPOSED RIGHT-OF-WAY
- PROPOSED EASEMENT LINE

ENGINEER AND SURVEYOR HAVE REVIEWED THE SURVEY AND CERTIFY THAT THE SAME IS ACCURATE AND CORRECT AND THAT THE BOUNDARIES AND AREAS SHOWN THEREON ARE TRUE TO THE BEST OF THEIR KNOWLEDGE AND BELIEF. THE ENGINEER AND SURVEYOR HAVE ALSO REVIEWED THE RECORDS OF THE SURVEY AND CERTIFY THAT THE SAME ARE CORRECT AND ACCURATE.

FINAL PLAT OF SUBDIVISION BRYN MAWR AVENUE ADDITION TO WOOD DALE BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3-10-11, DUPAGE COUNTY, ILLINOIS

STATE OF ILLINOIS

BEFORE ME, the undersigned authority, on this _____ day of _____, 20____, personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and official seal this _____ day of _____, 20____.

Notary Public in and for the State of Illinois

RECORDS INFORMATION:
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

ADDITIONAL INFORMATION:
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

NEIGHBORING OWNERS:
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

PLANNING AND DESIGN:
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

PINNACLE ENGINEERING GROUP
1111 WOOD DALE AVENUE, SUITE 100
WOOD DALE, ILLINOIS 60191
TEL: 630-584-1111
WWW.PINNACLE-ENG.COM

**BRYN MAWR AVENUE ADDITION
TO WOOD DALE
WOOD DALE, IL**

**FINAL PLAT OF
SUBDIVISION**

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

SHEET
2 of 2
2

COMMISSIONER OF LAND
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

PLAT APPROVED BY THE COMMISSIONER OF LAND
DATE OF APPROVAL: _____

COMMISSIONER OF LAND
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

PLAT APPROVED BY THE CITY COMMISSIONER OF THE CITY OF WOOD DALE, ILL.
DATE OF APPROVAL: _____

PLAT APPROVED BY THE CITY COMMISSIONER OF THE CITY OF WOOD DALE, ILL.
DATE OF APPROVAL: _____

NEIGHBORING OWNERS:
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

PLANNING AND DESIGN:
STATE OF ILLINOIS 118
COUNTY OF DUPAGE 118

SURVEY

PINNACLE ENGINEERING GROUP
 ARCHITECTURAL ENGINEERING
 1000 N. WOOD DALE AVENUE, SUITE 100
 WOOD DALE, ILLINOIS 60097
 TEL: 847.261.1100
 FAX: 847.261.1101
 WWW.PINNACLE-ENGR.COM

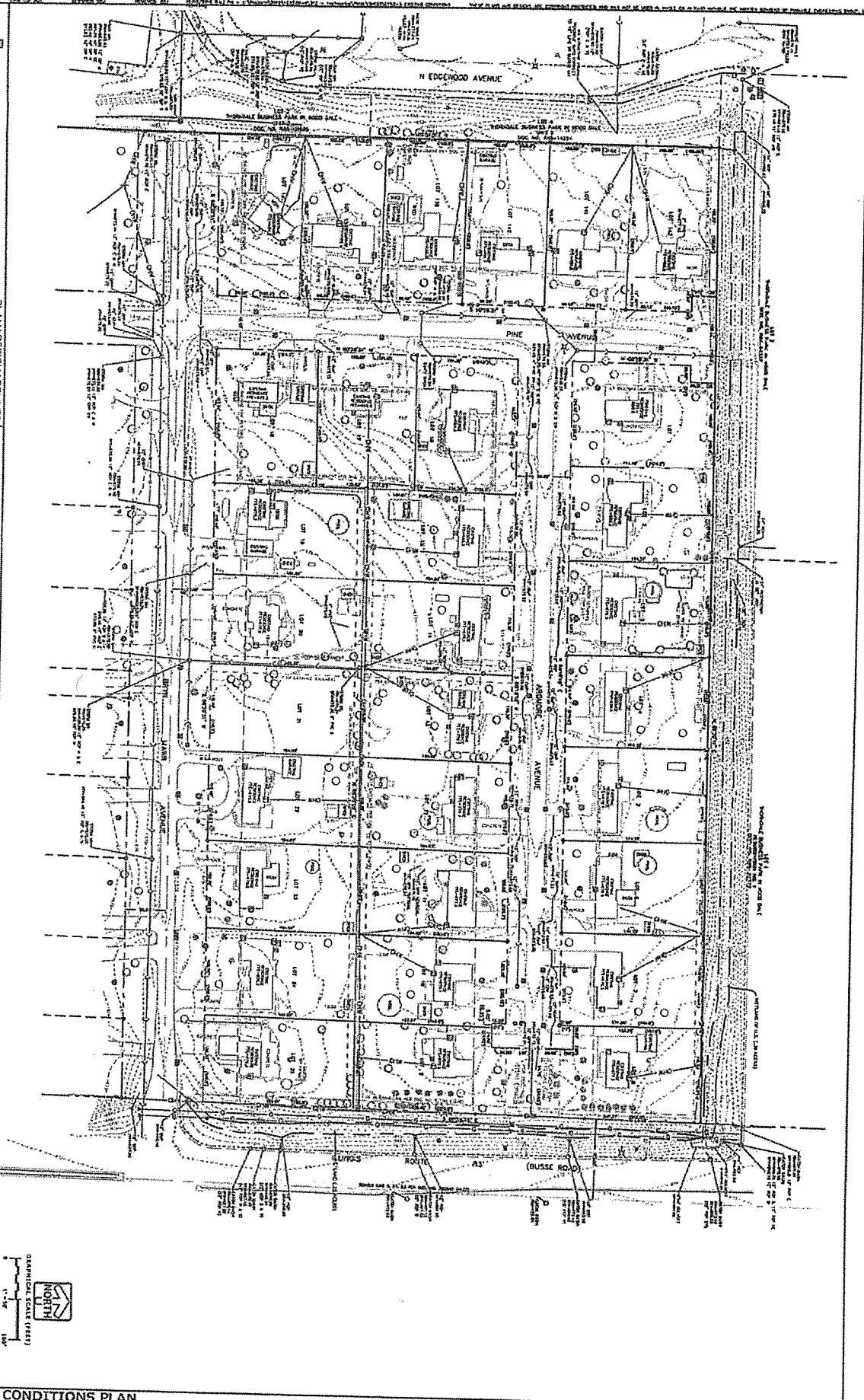
BRYN MAWR INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS

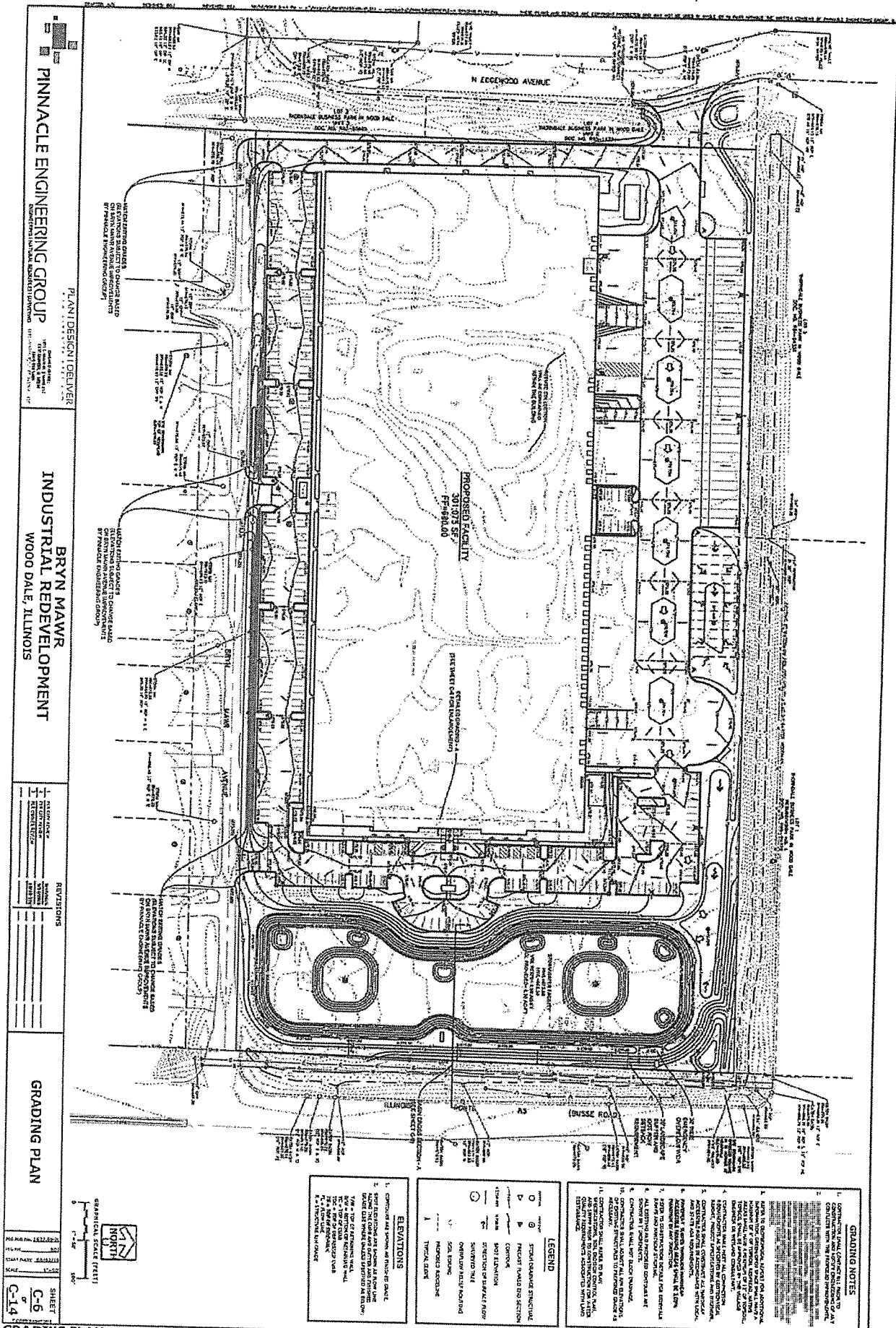
NO.	DATE	DESCRIPTION

EXISTING CONDITIONS PLAN

SHEET
C-3
 OF
C-14



EXISTING CONDITIONS PLAN



PINNACLE ENGINEERING GROUP
 PLANNING DESIGN | DELIVER
 1100 W. WASHINGTON ST. SUITE 200
 CHICAGO, IL 60606
 TEL: 312.467.1000
 WWW.PINNACLE-ENGR.COM

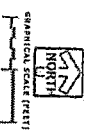
BRYN MAWR INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS

NO.	DATE	DESCRIPTION

GRADING PLAN

SHEET
C-6
 OF
C-14



ELEVATIONS

1. CONTIGUOUS AND SHOWN AS FINISH TO GRADE.
2. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
3. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
4. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
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9. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
10. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.

LEGEND

- 1. STAIR (SHOWN AS STRUCTURAL)
- 2. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE
- 3. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE
- 4. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE
- 5. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE
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- 10. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE

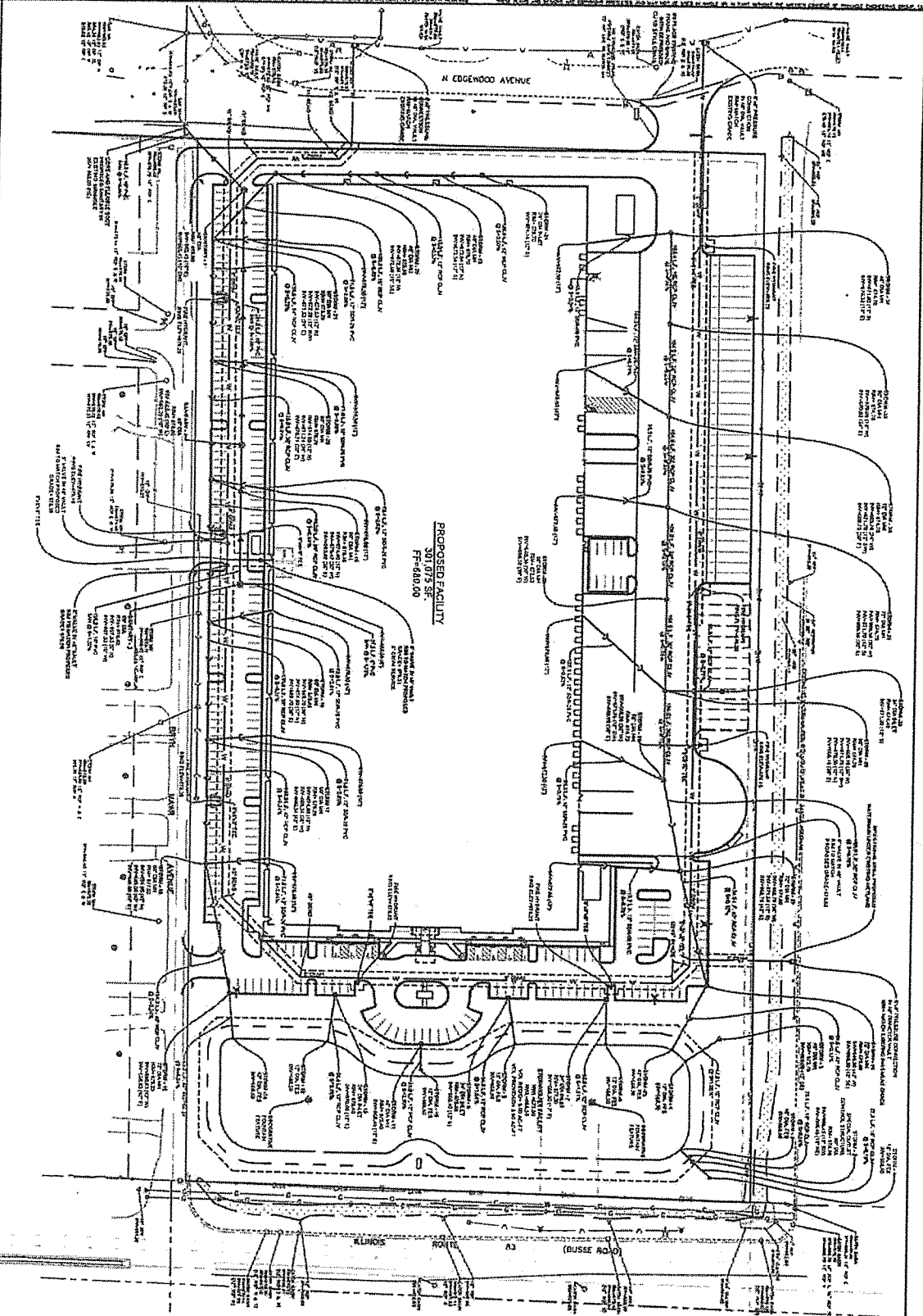
GRADING NOTES

1. CONTIGUOUS AND SHOWN AS FINISH TO GRADE.
2. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
3. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
4. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
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8. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
9. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.
10. FINISH TO GRADE AND SHOWN AS FINISH TO GRADE.

REVISIONS

NO.	DATE	DESCRIPTION
1	01/14/14	ISSUED FOR PERMITS
2	01/14/14	ISSUED FOR PERMITS
3	01/14/14	ISSUED FOR PERMITS
4	01/14/14	ISSUED FOR PERMITS
5	01/14/14	ISSUED FOR PERMITS
6	01/14/14	ISSUED FOR PERMITS
7	01/14/14	ISSUED FOR PERMITS
8	01/14/14	ISSUED FOR PERMITS
9	01/14/14	ISSUED FOR PERMITS
10	01/14/14	ISSUED FOR PERMITS

UTILITY PLAN

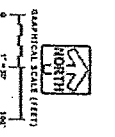


PROPOSED FACILITY
 301 075 SE
 FOX 680 00

LEGEND

SYMBOL	DESCRIPTION
○	WATER MAIN
○	SEWER MAIN
○	GAS MAIN
○	ELECTRIC MAIN
○	STORM MAIN
○	WATER MAIN
○	SEWER MAIN
○	GAS MAIN
○	ELECTRIC MAIN
○	STORM MAIN
○	WATER MAIN
○	SEWER MAIN
○	GAS MAIN
○	ELECTRIC MAIN
○	STORM MAIN

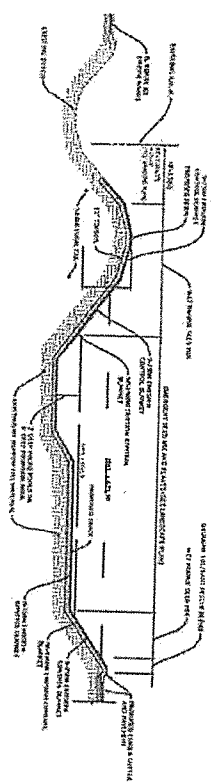
- UTILITY NOTES**
1. EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 2. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED BY THE CONTRACTOR.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
 4. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ILLINOIS STATE CODES AND REGULATIONS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN.
 6. ALL UTILITIES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 48 INCHES.
 7. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ILLINOIS STATE CODES AND REGULATIONS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
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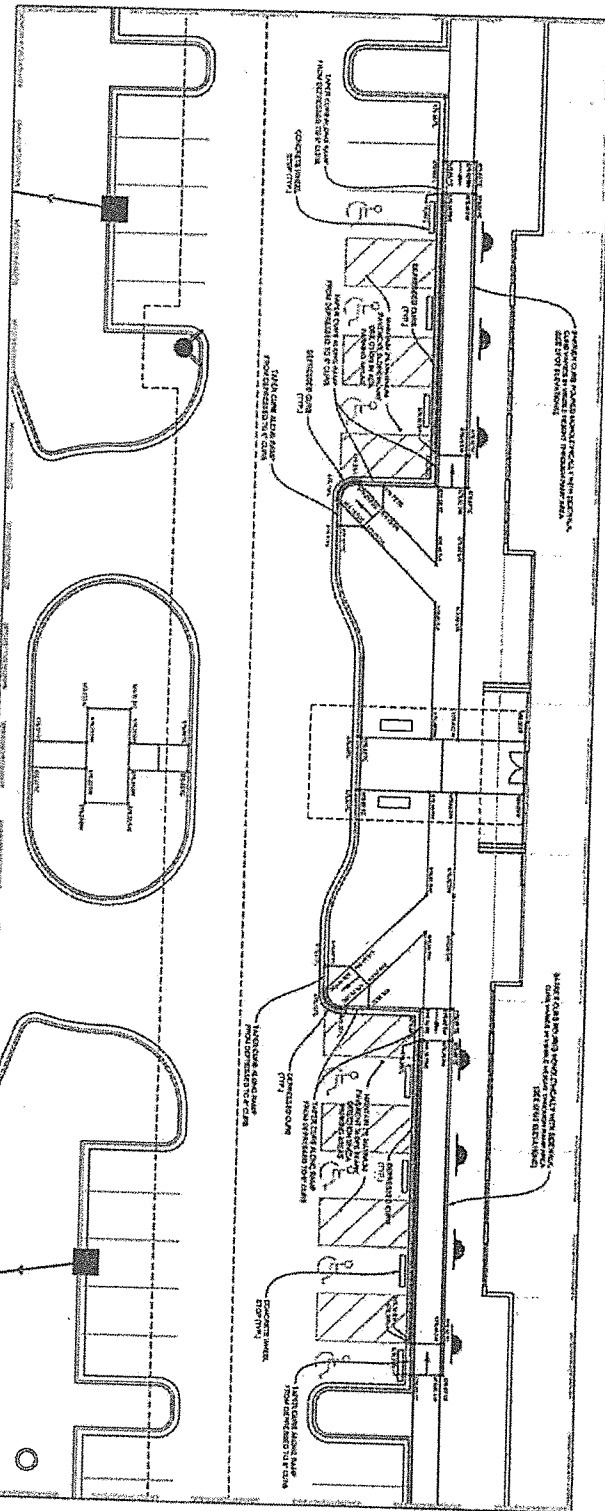
NO.	REVISIONS

DETAILED GRADING AND CROSS SECTIONS

BASIN CROSS SECTION - A
NOT TO SCALE



DETAILED GRADING - A
SCALE: 1" = 10'



- ELEVATIONS
- 1. CONCRETE AND SLOPE AT FINISHED GRADE.
 - 2. EXISTING GRADE (AS SHOWN).
 - 3. PROPOSED GRADE (AS SHOWN).
 - 4. PROPOSED GRADE (AS SHOWN).
 - 5. PROPOSED GRADE (AS SHOWN).
 - 6. PROPOSED GRADE (AS SHOWN).
 - 7. PROPOSED GRADE (AS SHOWN).
 - 8. PROPOSED GRADE (AS SHOWN).

PINNACLE ENGINEERING GROUP
 1000 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 (954) 575-1100
 www.pinnacle-engr.com

INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

PLANT DESIGN DELIVER

CONSTRUCTION STANDARDS

REVISIONS

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
2		ISSUED FOR CONSTRUCTION

TEMPORARY CONCRETE WALL

WALLOUT WALL - STAIN

SHEET C-10 OF C-14

INLET PROTECTION

TEMPORARY PERFORATED RISER FOR WET BASINS

- THE PERFORATED RISER IS TO BE INSTALLED AT EACH OF THE DOWNSTREAM BASIN PROTECTIVE WALLS REMAINING TO BE CONSTRUCTED.
- THE FABRIC SHALL BE SECURED TO THE PERFORATED RISER WITH STAPLES OR CONNECTING BRACKETS.
- WALL HEIGHT SHALL BE AS LOW AS POSSIBLE TO MAINTAIN PROPER FLOW CHARACTERISTICS.
- PERFORATED RISERS SHALL BE THE SIZE OF THE DOWNSTREAM BASIN.

EROSION BLANKET PLAN

INLET PROTECTION - PAVED AREAS

EROSION BLANKET PLAN

EROSION BLANKET PLAN

ROLLED EROSION CONTROL PRODUCTS

TEMPORARY TOPSOIL STOCKPILE

www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP

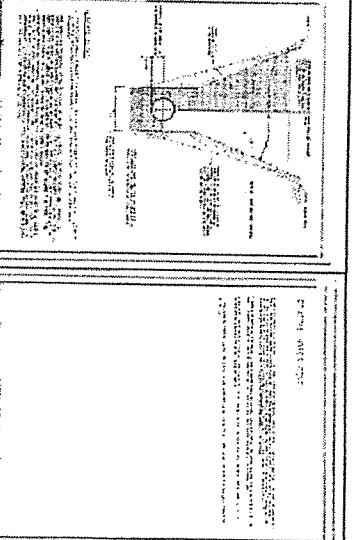
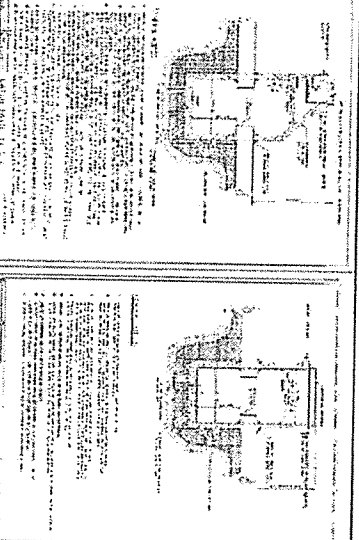
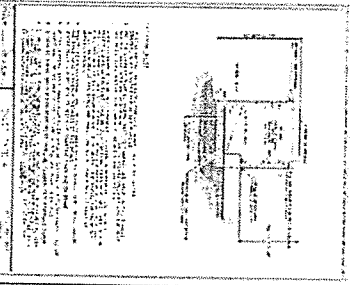
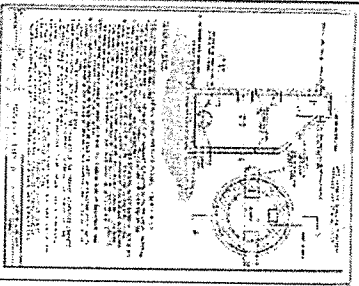
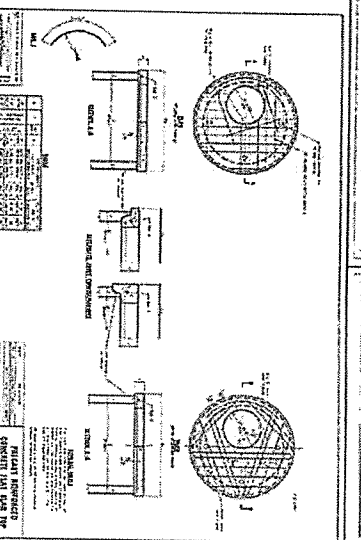
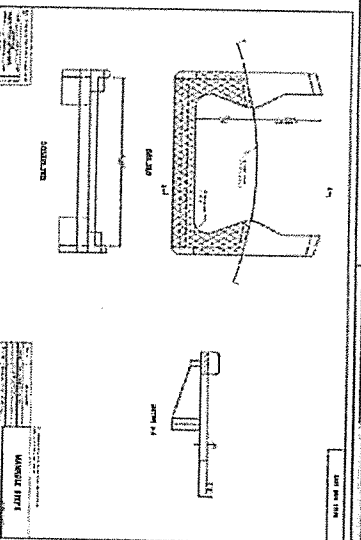
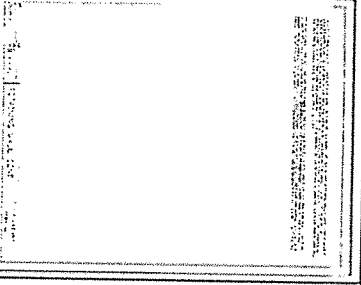
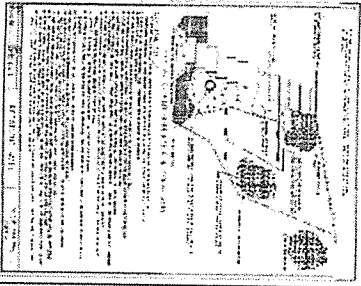
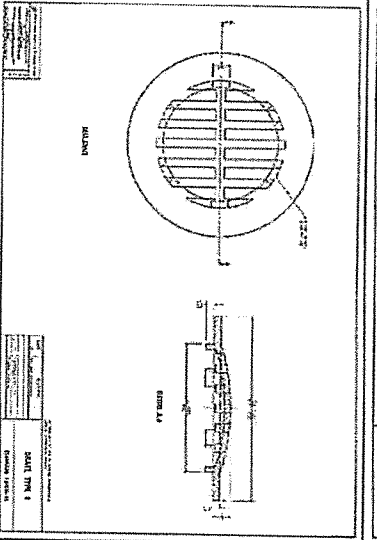
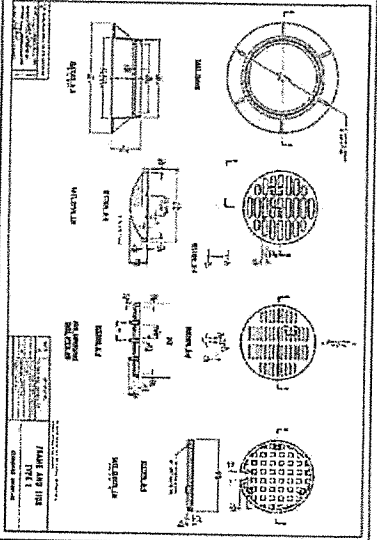
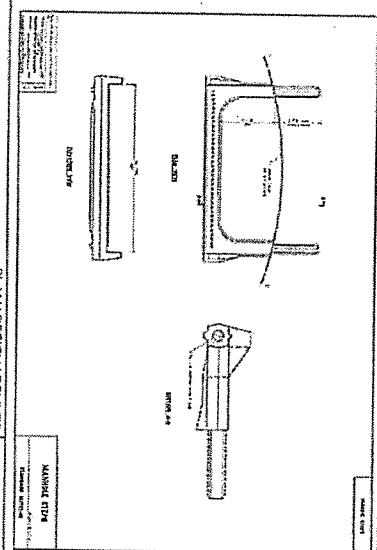
PLANNING DESIGN DELIVER

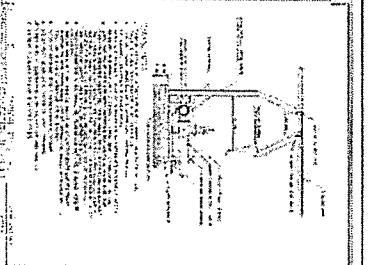
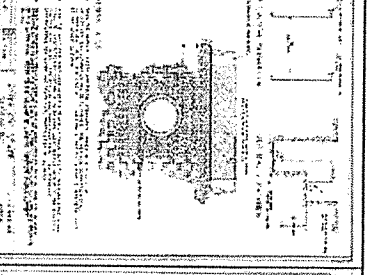
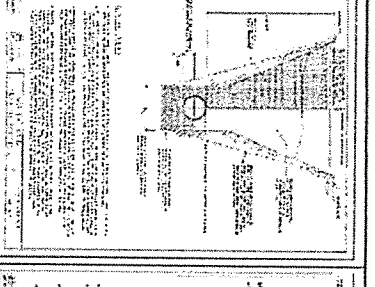
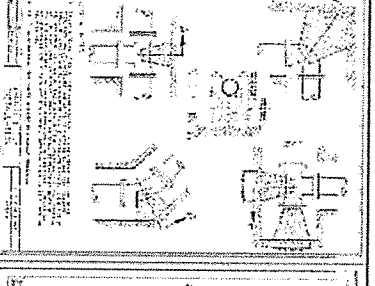
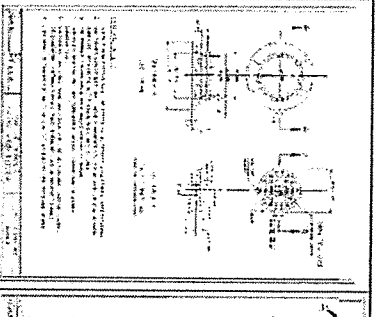
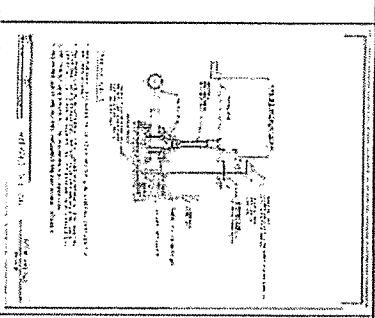
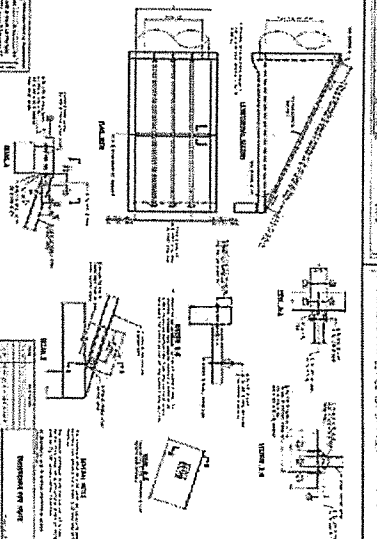
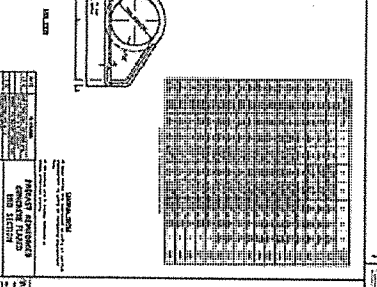
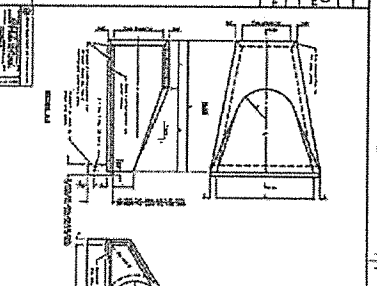
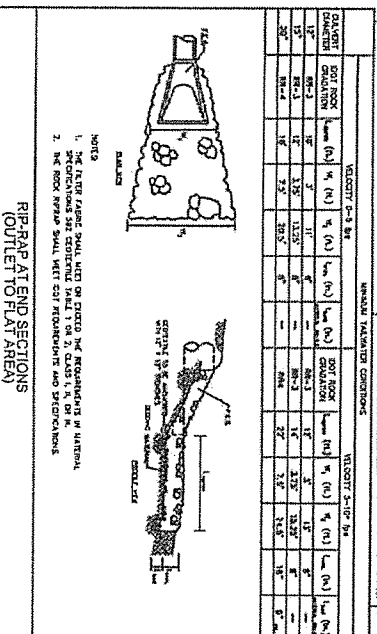
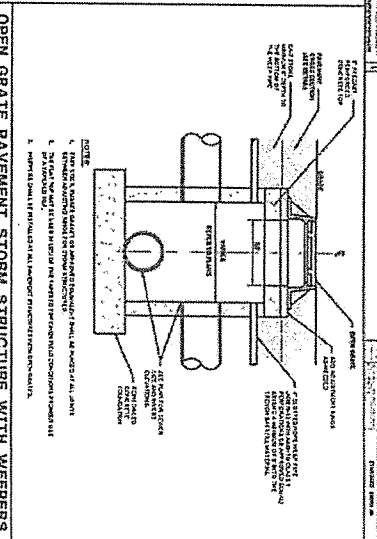
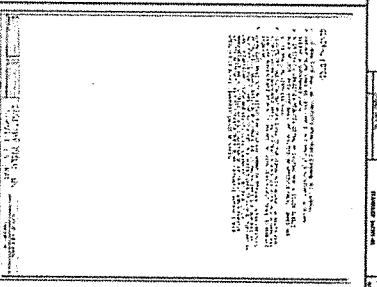
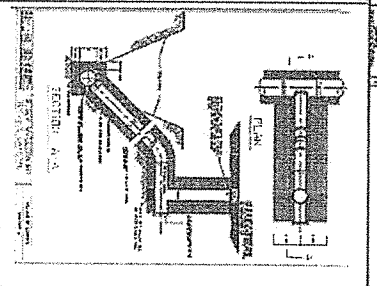
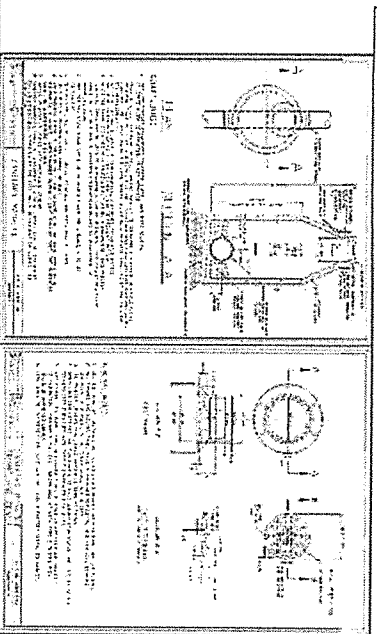
BRYAN MAWR INDUSTRIAL REDEVELOPMENT

WOOD DALE, ILLINOIS

CONSTRUCTION STANDARDS

SHEET C-11 OF C-14



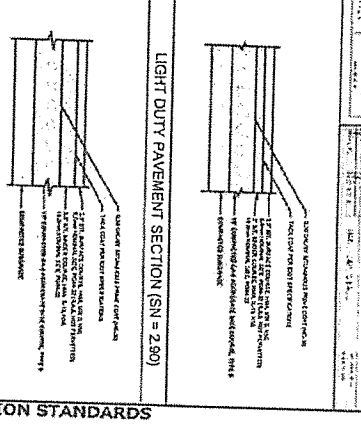
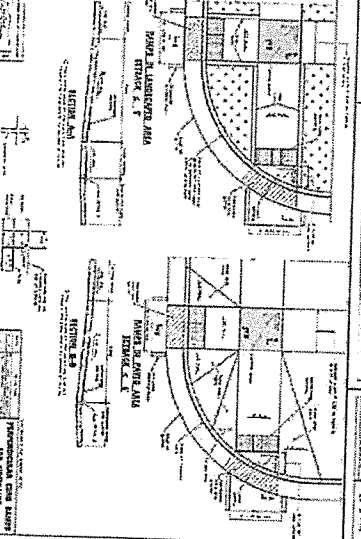
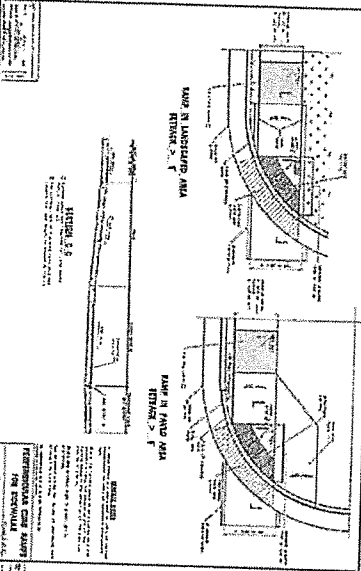
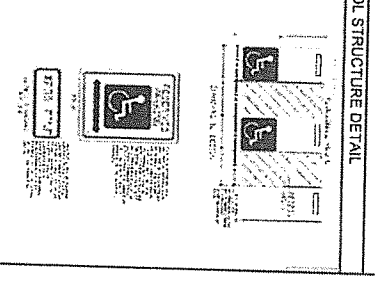
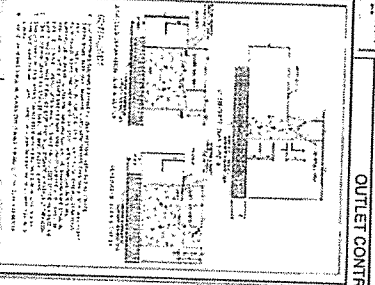
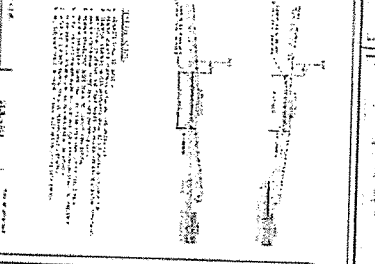
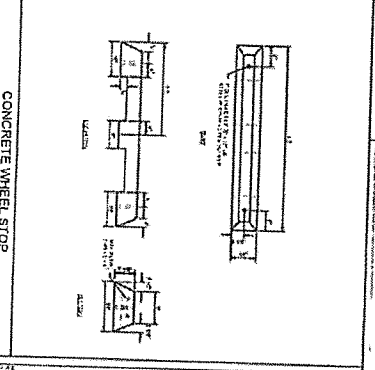
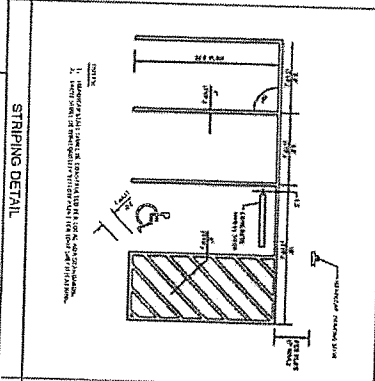
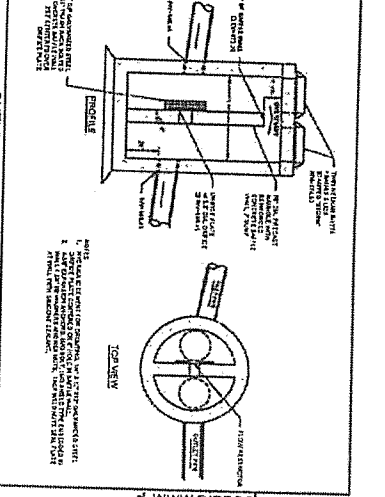
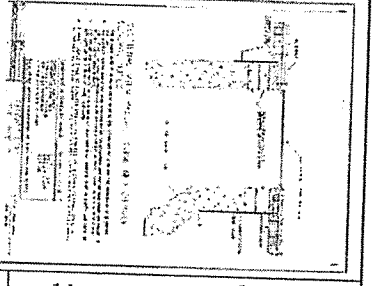
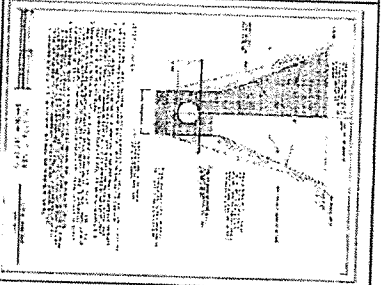
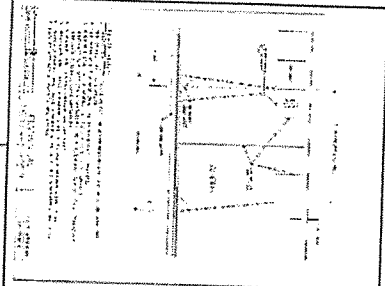


SECTION 2-1.1.1

DIAMETER	SOFT ROCK	LENGTH	NO. (A)	NO. (B)	NO. (C)	NO. (D)	NO. (E)	NO. (F)	NO. (G)	NO. (H)
12"	100-2	10'	10'	10'	10'	10'	10'	10'	10'	10'
18"	100-1	10'	10'	10'	10'	10'	10'	10'	10'	10'
24"	100-1	10'	10'	10'	10'	10'	10'	10'	10'	10'

NOTES

- THE RIP-RAP SHALL BE PLACED ON A 6" MIN. THICKNESS OF GRANULAR SUBGRADE.
- THE RIP-RAP SHALL BE 10' WIDE FOR 10' FROM THE OUTLET TO THE FLAT AREA.



PINNACLE ENGINEERING GROUP
PLANNING DESIGN DELIVER

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WOOD DALE, ILLINOIS

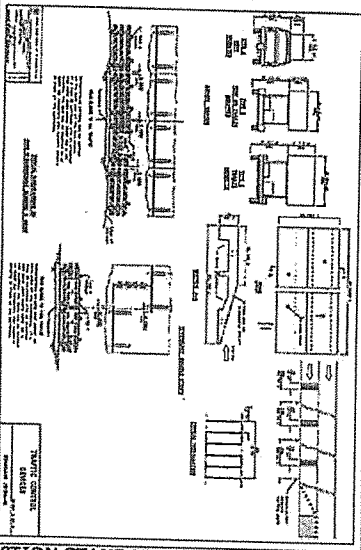
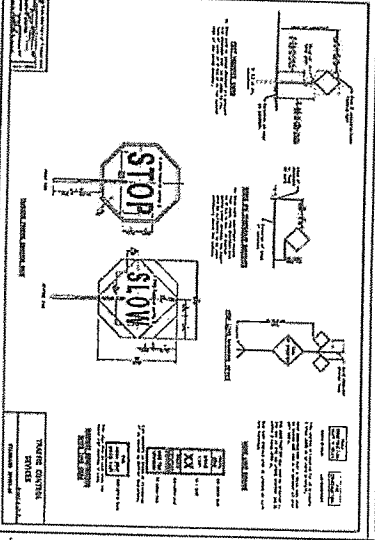
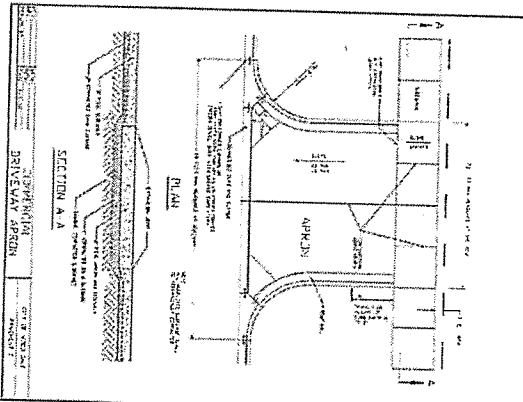
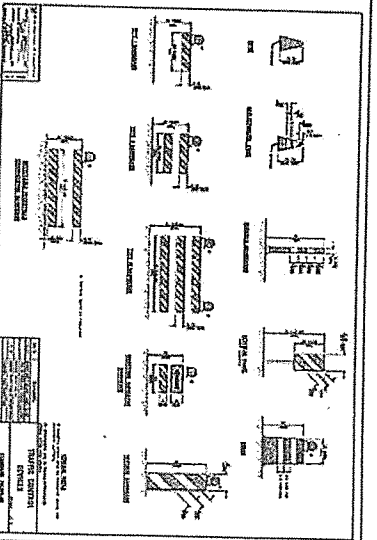
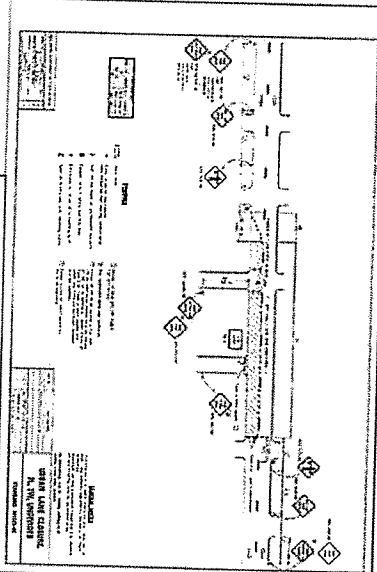
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CONSTRUCTION STANDARDS

SHEET C-13 OF C-14

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2	REVISIONS	



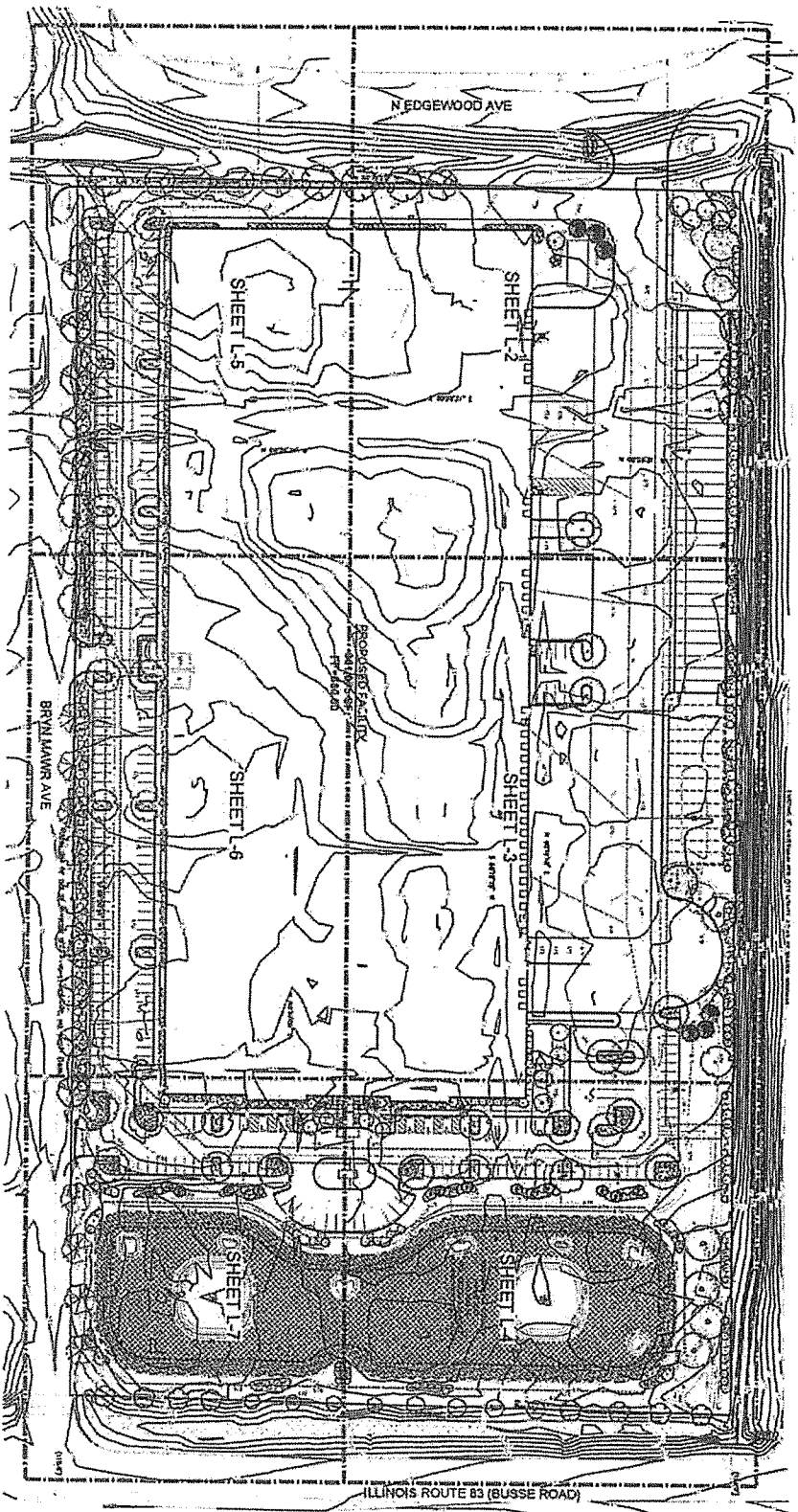
PINNACLE ENGINEERING GROUP
 1100 W. WASHINGTON ST. SUITE 100
 DEERFIELD, ILLINOIS 60015
 TEL: 847.944.8800
 FAX: 847.944.8801
 WWW.PINNACLE-ENGR.COM

BRYN MAWR INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

LANDSCAPE SHEET OVERVIEW

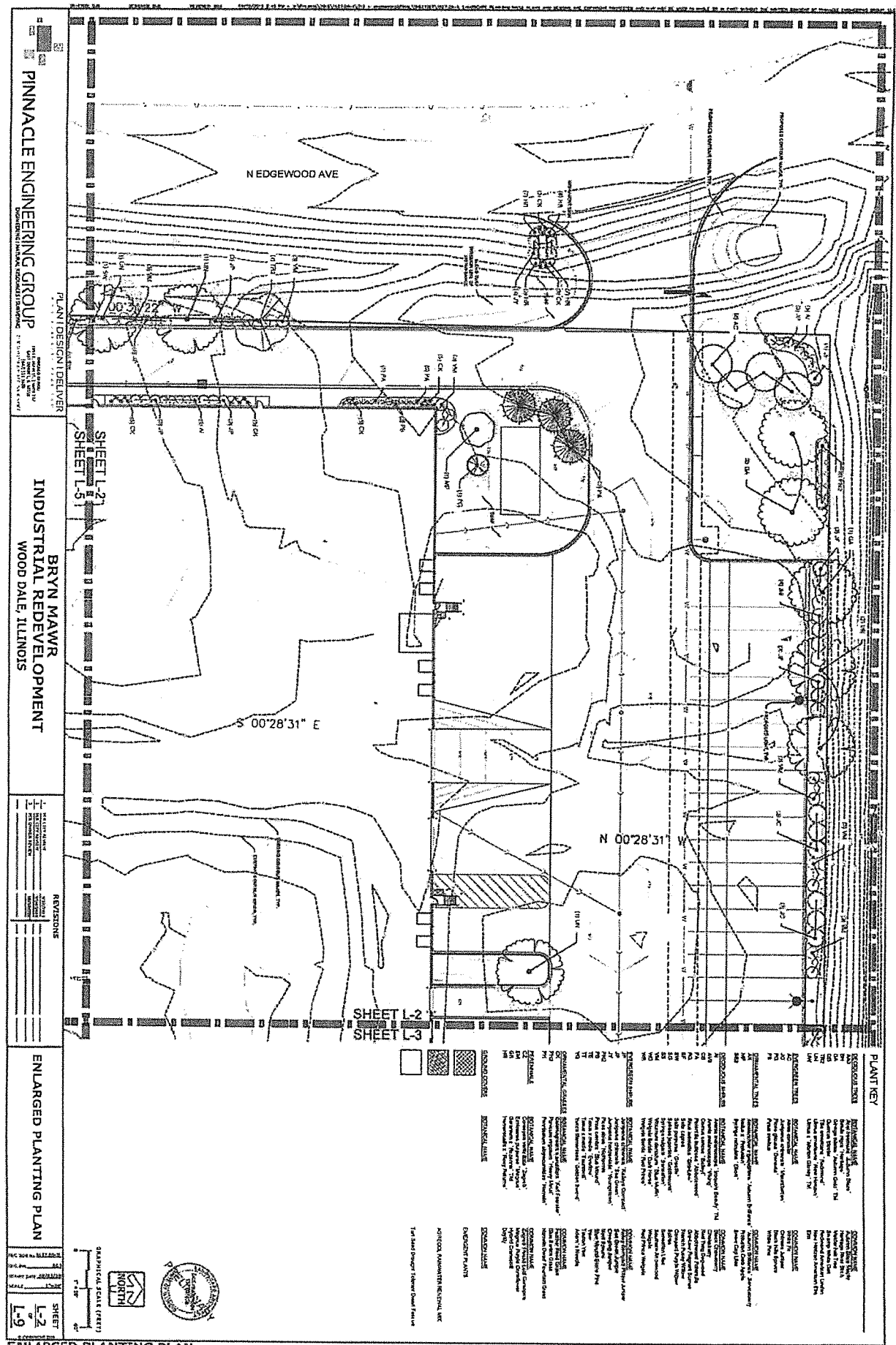
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LANDSCAPE SHEET OVERVIEW



SHEET INDEX

NO.	DESCRIPTION
1	PROPOSED LAYOUT PLAN
2	PROPOSED LAYOUT PLAN
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WOOD DALE, ILLINOIS

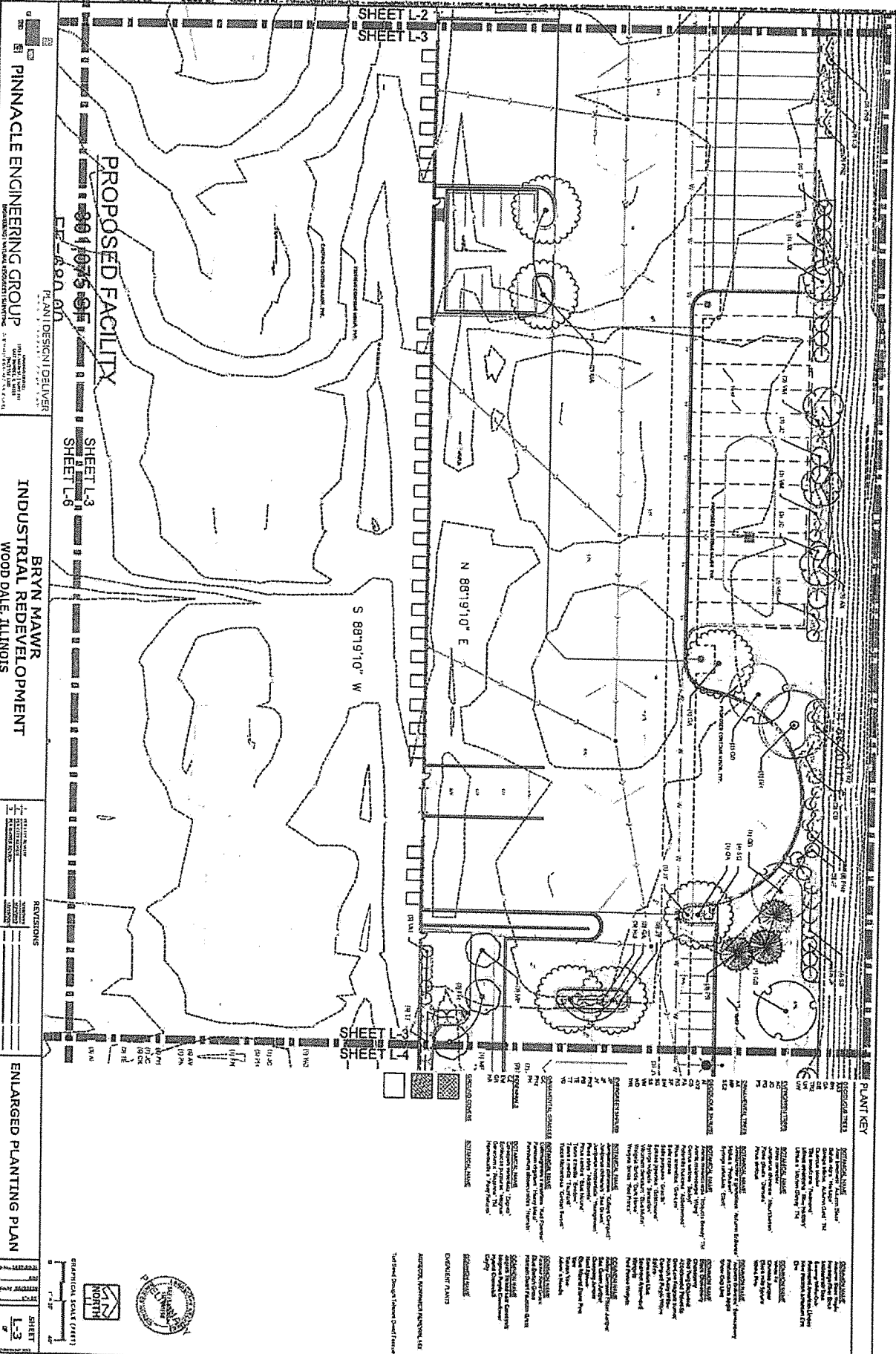
REVISIONS

NO.	DATE	DESCRIPTION

ENLARGED PLANTING PLAN

SHEET
L-2
L-9

PLANT KEY
RESPONSE ZONE 1. 10' BUFFER ZONE 2. 20' BUFFER ZONE 3. 30' BUFFER ZONE 4. 40' BUFFER ZONE 5. 50' BUFFER ZONE 6. 60' BUFFER ZONE 7. 70' BUFFER ZONE 8. 80' BUFFER ZONE 9. 90' BUFFER ZONE 10. 100' BUFFER ZONE
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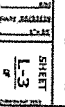
Pinnacle Engineering Group
 10000 E. 1st Avenue, Suite 100
 Denver, CO 80231
 Phone: (303) 751-1100
 Fax: (303) 751-1101
 Website: www.pinnacle-engr.com

Bryn Mawr
 Industrial Redevelopment
 Wood Dale, Illinois

REVISIONS

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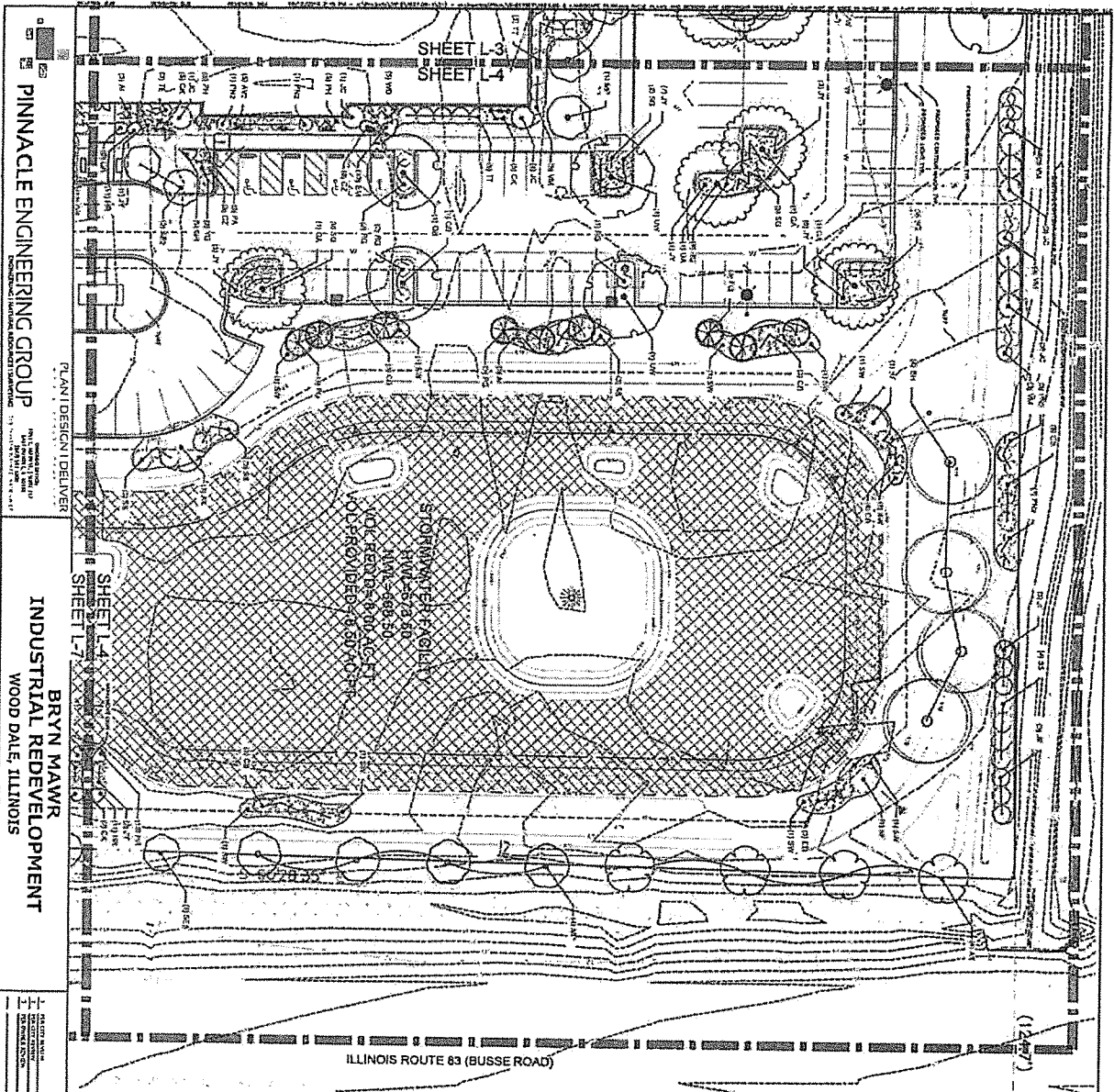
ENLARGED PLANTING PLAN
 SHEET L-3
 OF
 L-9



ENLARGED PLANTING PLAN

PLANT KEY

- PROPOSED TREES**
 - 6" DBH "Red Maple" (A1)
 - 6" DBH "White Birch" (A2)
 - 6" DBH "Black Birch" (A3)
 - 6" DBH "Paper Birch" (A4)
 - 6" DBH "Yellow Birch" (A5)
 - 6" DBH "Red Pine" (A6)
 - 6" DBH "White Pine" (A7)
 - 6" DBH "Loblolly Pine" (A8)
 - 6" DBH "Shortleaf Pine" (A9)
 - 6" DBH "Pitch Pine" (A10)
 - 6" DBH "Virginia Pine" (A11)
 - 6" DBH "Longleaf Pine" (A12)
 - 6" DBH "Slash Pine" (A13)
 - 6" DBH "Pond Pine" (A14)
 - 6" DBH "Table Mountain Pine" (A15)
 - 6" DBH "Sand Pine" (A16)
 - 6" DBH "Banksia Pine" (A17)
 - 6" DBH "Pitch Pine" (A18)
 - 6" DBH "Virginia Pine" (A19)
 - 6" DBH "Longleaf Pine" (A20)
 - 6" DBH "Slash Pine" (A21)
 - 6" DBH "Pond Pine" (A22)
 - 6" DBH "Table Mountain Pine" (A23)
 - 6" DBH "Sand Pine" (A24)
 - 6" DBH "Banksia Pine" (A25)
- PROPOSED SHRUBS**
 - 6" DBH "Red Dogwood" (B1)
 - 6" DBH "White Dogwood" (B2)
 - 6" DBH "Black Dogwood" (B3)
 - 6" DBH "Paper Dogwood" (B4)
 - 6" DBH "Yellow Dogwood" (B5)
 - 6" DBH "Red Elm" (B6)
 - 6" DBH "White Elm" (B7)
 - 6" DBH "Black Elm" (B8)
 - 6" DBH "Paper Elm" (B9)
 - 6" DBH "Yellow Elm" (B10)
 - 6" DBH "Red Oak" (B11)
 - 6" DBH "White Oak" (B12)
 - 6" DBH "Black Oak" (B13)
 - 6" DBH "Paper Oak" (B14)
 - 6" DBH "Yellow Oak" (B15)
 - 6" DBH "Red Maple" (B16)
 - 6" DBH "White Maple" (B17)
 - 6" DBH "Black Maple" (B18)
 - 6" DBH "Paper Maple" (B19)
 - 6" DBH "Yellow Maple" (B20)
- PROPOSED GROUND COVERS**
 - 6" DBH "Red Clover" (C1)
 - 6" DBH "White Clover" (C2)
 - 6" DBH "Black Clover" (C3)
 - 6" DBH "Paper Clover" (C4)
 - 6" DBH "Yellow Clover" (C5)
 - 6" DBH "Red Grass" (C6)
 - 6" DBH "White Grass" (C7)
 - 6" DBH "Black Grass" (C8)
 - 6" DBH "Paper Grass" (C9)
 - 6" DBH "Yellow Grass" (C10)



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BRYN MAWR INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS

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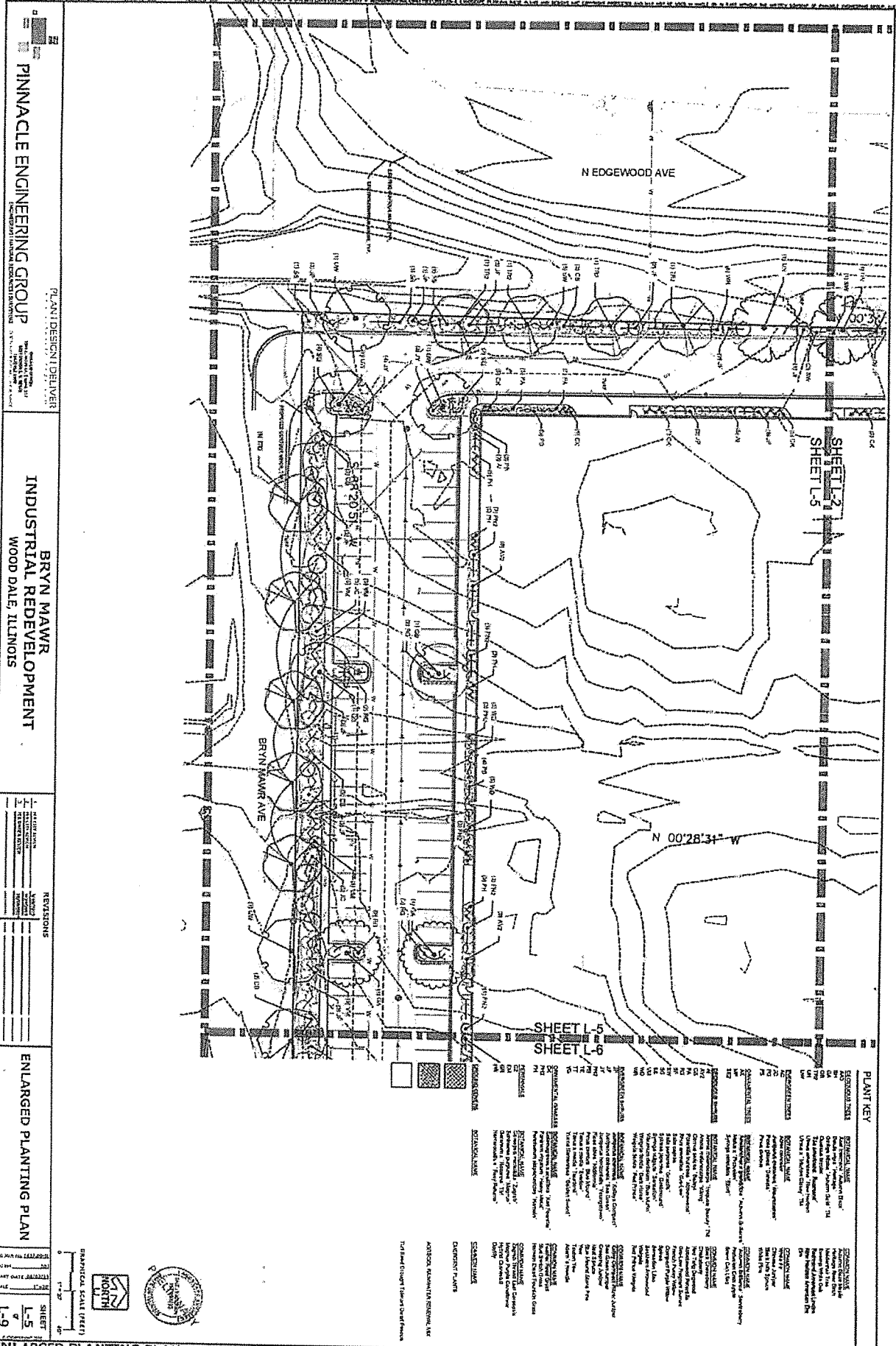
ENLARGED PLANTING PLAN

SHEET L-4
 L-9



PLANT KEY

SYMBOL	DESCRIPTION
1	SPRINGFIELD BRASS
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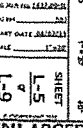
Pinnacle Engineering Group
 INCORPORATED
 1100 N. WOOD DALE AVENUE
 WOOD DALE, ILLINOIS 60097
 TEL: 815.480.1100
 FAX: 815.480.1101
 WWW.PINNACLE-ENGR.COM

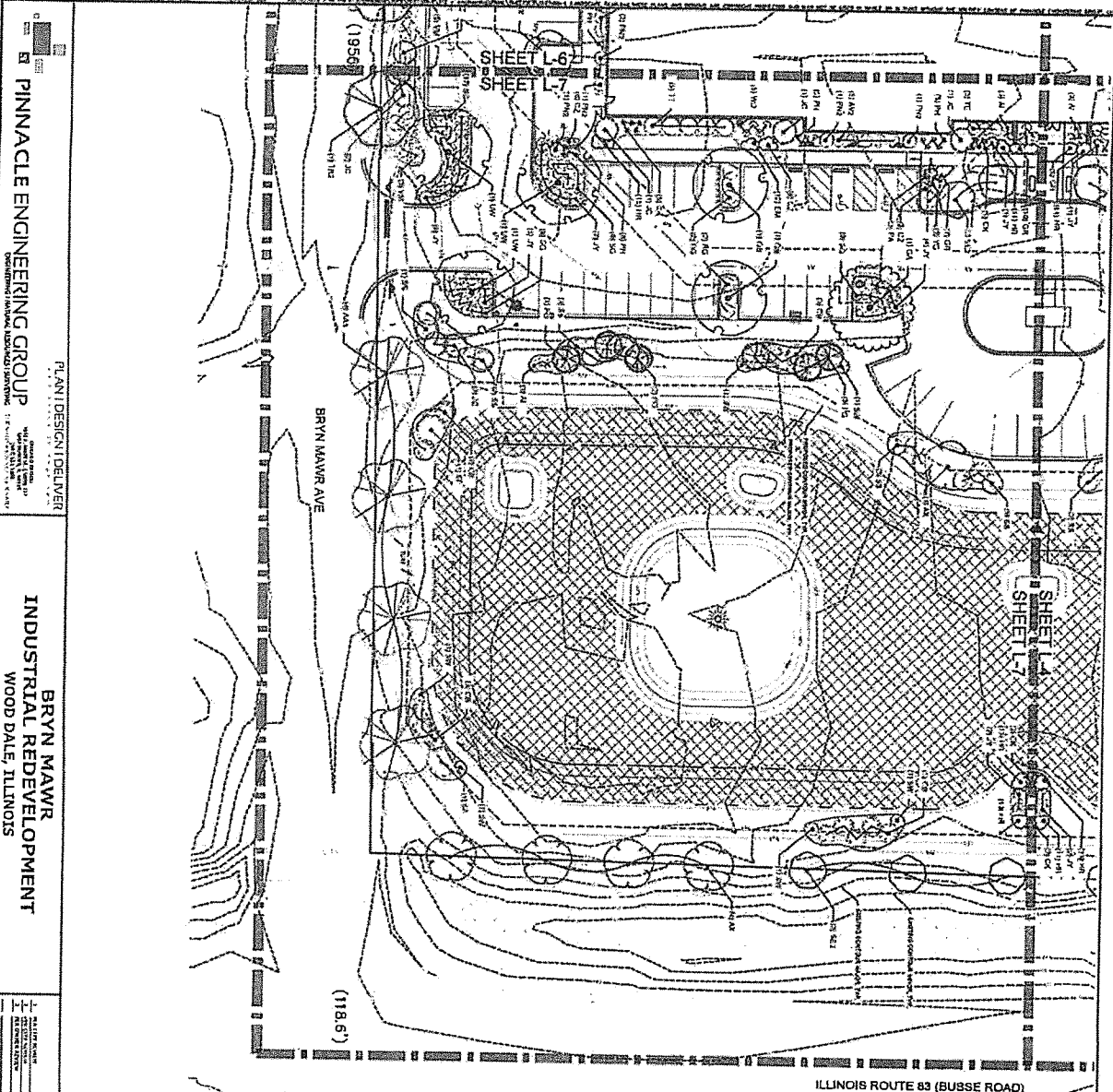
Bryn Mawr Industrial Redevelopment
 WOOD DALE, ILLINOIS

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/13	ISSUED FOR PERMITS
2	09/10/13	REVISED PER COMMENTS
3	09/10/13	REVISED PER COMMENTS
4	09/10/13	REVISED PER COMMENTS
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ENLARGED PLANTING PLAN



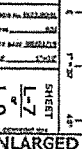


PINNACLE ENGINEERING GROUP
 ARCHITECTS & ENGINEERS
 1100 W. WOOD DALE AVENUE
 WOOD DALE, ILLINOIS 60097
 TEL: (815) 480-1100
 FAX: (815) 480-1101
 WWW.PINNACLE-ENGR.COM

PLAN DESIGN / DELIVER
 BRYN MAWR
 INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS	DATE	BY	DESCRIPTION

ENLARGED PLANTING PLAN
 SHEET L-9
 SCALE: AS SHOWN



ENLARGED PLANTING PLAN

PLANT KEY	PLANT NAME	PLANT SPECIES
1	SPRING BURNING BUSH	Euonymus alatus
2	DOGWOOD	Cornus florida
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100	DOGWOOD	Cornus florida

GENERAL PLANTING NOTES

- 1. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR...
2. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR...
3. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR...

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING...

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING...
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- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING...
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3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING...

Table with 4 columns: Year, Quarter, and other metrics. Includes a 'PLANTING NOTES' section with a circular logo and a 'PLANTING NOTES' section with a grid.

Pinnacle Engineering Group logo and contact information. Includes 'INDUSTRIAL REDEVELOPMENT WOOD DALE, ILLINOIS' and 'BRYN MAWR'.

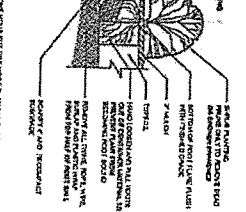
PLANT SCHEDULE

PLANT NAME	SYMBOL	QUANTITY	PLANT SPECIES
... (various plants listed)

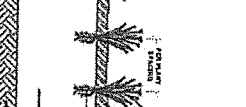
1 TREE PLANTING



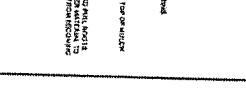
2 EVERGREEN TREE PLANTING



3 SHRUB PLANTING



4 PERENNIAL PLANTING



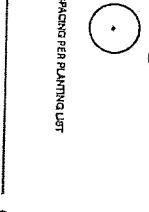
PLANT NAME	SYMBOL	QUANTITY	PLANT SPECIES
...

BRYN MAWR INDUSTRIAL REDEVELOPMENT WOOD DALE, ILLINOIS

PLANT DESIGN DELIVER



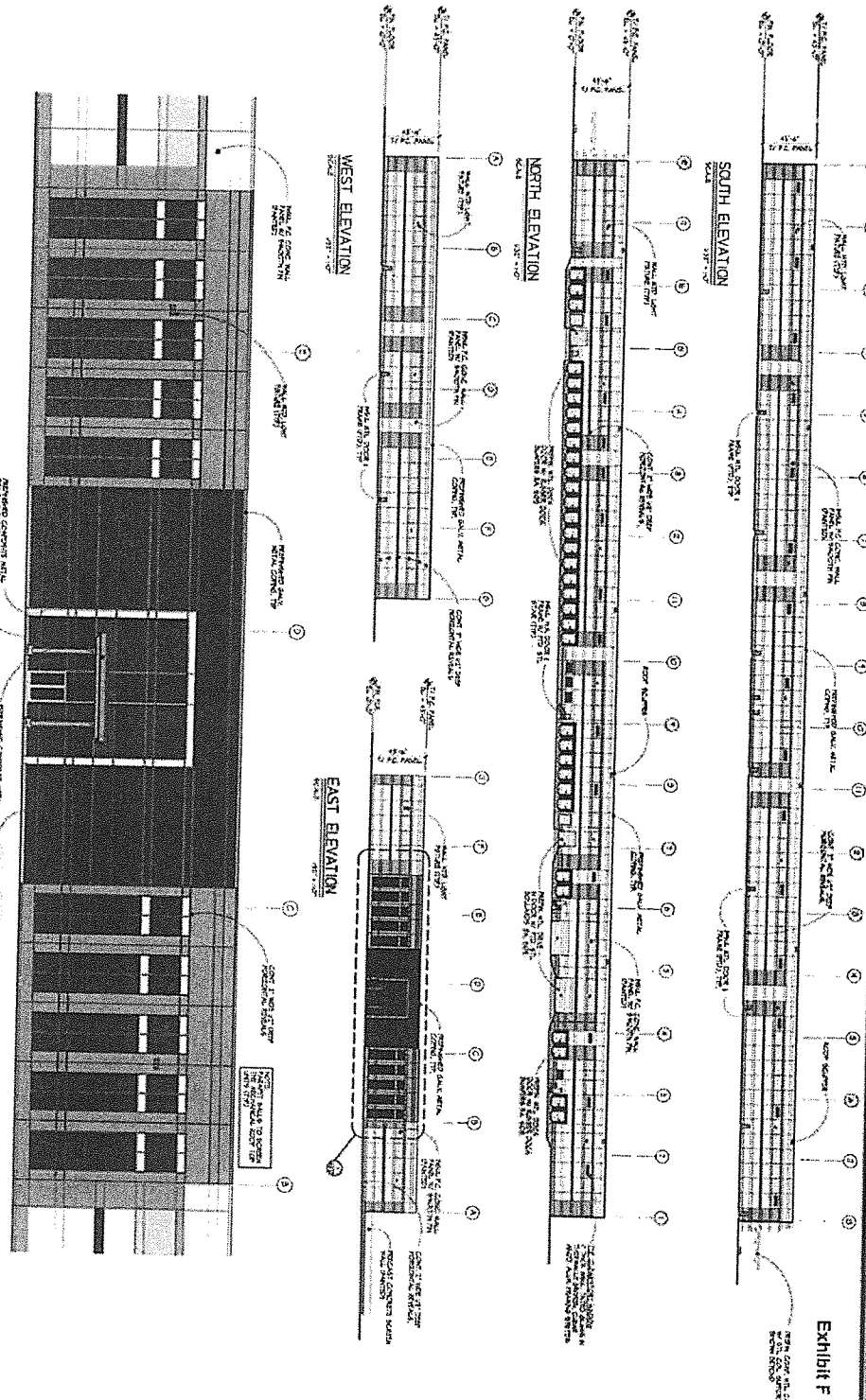
6 TRENCHED BED EDGE



6 PLANTING DETAILS & SCHEDULE

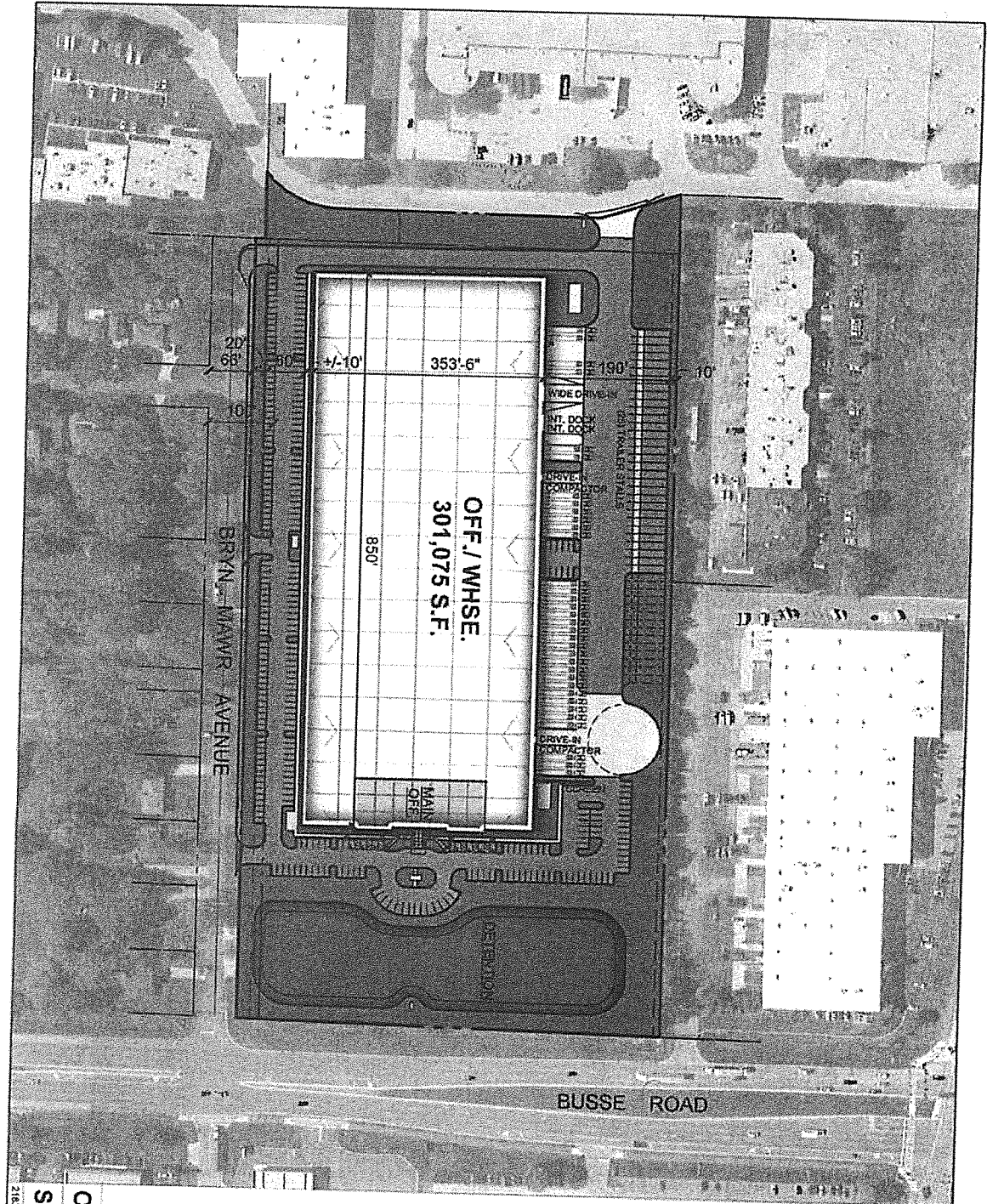
SHEET	DESCRIPTION
L-9	...
L-8	...
L-7	...
L-6	...
L-5	...

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COLOR LEGEND

██████████	CONCRETE
██████████	STEEL
██████████	GLASS
██████████	WOOD
██████████	PAINT
██████████	ROOFING
██████████	LANDSCAPE
██████████	MECHANICAL
██████████	ELECTRICAL
██████████	PLUMBING
██████████	TELEPHONE
██████████	TELEVISION
██████████	DATA
██████████	OTHER



CONCEPTUAL NEW FACILITY FOR: **Exhibit G**
NEW OFFICE/WAREHOUSE
WOOD DALE, ILLINOIS

SITE AREA (+/-18.77 AC.)	4,817,540 S.F.
DETENTION	+1,433,790 S.F.
BUILDING AREA	
1ST FLOOR MAIN OFFICE	15,000 S.F.
WAREHOUSE	286,075 S.F.
TOTAL BUILDING FOOTPRINT	301,075 S.F.
MEZZANINE	15,000 S.F.
TOTAL BUILDING AREA	316,075 S.F.
CAR PARKING PROVIDED	280 CARS
DRIVE IN OVERHEAD DOORS	
12-0" WIDE DOORS	2 DOORS
28-0" WIDE DOORS	1 DOOR
TOTAL DRIVE-IN DOORS	3 DOORS
TOTAL EXTERIOR DOCKS	34 DOCKS
OPEN EXTERIOR DOCKS (CRANE AREA)	2 DOCKS
TRAILER STALLS	31 STALLS
CLEAR HEIGHT	36'-0"

OPTION #2E14
SITE PLAN



ORDINANCE NO. O-19-038

**AN ORDINANCE APPROVING A SPECIAL USE
FOR A PLANNED UNIT DEVELOPMENT FOR
THE BRYN MAWR AVENUE ADDITION TO WOOD DALE PROPERTY
800 N. IL ROUTE 83, WOOD DALE, ILLINOIS 60191**

WHEREAS, the City of Wood Dale (the “City”) is a body politic and corporate, organized and existing pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq*; and

WHEREAS, CH REALTY VIII-TDC I CHICAGO BRYN MAWR, L.L.C. (“Petitioner”), has petitioned the City for approval of a Special Use, Planned Unit Development, for the improvement of the property, commonly identified (after annexation) as 800 N. IL Route 83, Wood Dale (the “Subject Property”), being described as:

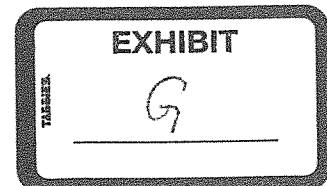
LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, AND ALL OF PINE AVENUE, LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, ALL OF ARDMORE AVENUE LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF PINE AVENUE AND THE NORTH 33.91 FEET OF BRYN MAWR AVENUE LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 83, ALL IN BRANIGAR’S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BRANIGAR’S MOHAWK MANOR, RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS

Consisting of PINs: 03-03-402-001, -002, -003, -004, 005, and -006; and 03-03-404-001, -002, -003, -004, -005, -006, -007, and -008; and 03-03-405-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -015, -016, -017, and -018 ; and

WHEREAS, a Special Use Permit to allow a Planned Unit Development is authorized under section 17.503.P of the Unified Development Ordinance (“UDO”) in the I-1 Light Industrial Zoning District; and

WHEREAS, on October 21, 2019, the Community Development Commission held a public hearing on the proposed Special Use Permit for a Planned Unit Development, following the necessary publication of a legal notice pursuant thereto, as required by law; and

WHEREAS, the Community Development Commission considered the facts and testimony for Case Number 2019-CDC-11 and determined that the proposed Final Development Plan meets the standards of approval for a Special Use Permit for a Planned Unit Development and that the Final Development Plan is consistent with the UDO and the City’s Comprehensive Plan, with the following approved deviations (as identified on the Final Development Plan) from the UDO:



(i) Service & Auto Curb-Cut Width: A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Bryn Mawr and N. Edgewood Avenue and which exceed 44 feet in width at each roadway line, as such driveway widths are depicted on the "Site Dimensional Paving Plan" (Sheet C-5), comprising a portion of the Engineering Improvement Plans of the PUD.

(ii) Elimination of Build-to-Line Requirement: Build-to-Line Requirement: A deviation from Section 17.605(c)(14) to eliminate compliance with the front build-to-line to accommodate a stormwater detention basin along the eastern property line.

(iii) Elimination of Trash Enclosure: A deviation from Section 17.502(A)(j)(3) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure requirements due to the screening provided by the Project design.

WHEREAS, in making its determination, the Community Development Commission adopted the findings of fact provided by staff within the staff memorandum dated October 21, 2019, attached hereto and incorporated by reference as Exhibit A as the findings of the Community Development Commission and recommended to the City Council approval of Case No. 2019-CDC-11 with the following conditions:

1. The Special Use Permit for a Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated October 21, 2019 and the attached exhibits, except as such plans may be modified to meet City Code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application;

2. Final engineering approval;

3. An examination of the elevation of one of the Bryn Mawr access points;

4. Consideration of the use of emergency exists/egress with traffic flow;

5. Review of the water/well concerns with demolition/pre--demolition as well as in relation to the current residential area to the south;

6. Site supervision as well as protection (safety);

7. Review of permitting by DuPage County and/or other entities (DuPage County Health Department); and

8. Consideration of an additional entrance off of Edgewood; and

WHEREAS, since the adoption of the Community Development Commission approval with conditions, City staff has worked the Petitioner to address the conditions recommended by the Community Development Commission and has addressed them in the development plan and/or has verified proper permitting will be required throughout the development of the Subject Property as approved; and

WHEREAS, the Planning, Zoning and Building Committee of the City Council of the City of Wood Dale reviewed the findings made by the Community Development Commission, and comments provided by City Staff, and voted to refer this matter to the City Council for consideration; and

WHEREAS, the City Council of the City of Wood Dale has received the recommendation of the Planning, Zoning and Building Committee and of the Community Development Commission, and has reviewed the findings made relative to the application, and upon its consideration, determined to approve the request for a Special Use Permit for a Planned Unit Development in the I-1 Light Industrial District zoning subject to stated conditions herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION ONE: The recitals set forth hereinabove are incorporated herein by reference as part of this Ordinance.

SECTION TWO: The Subject Property is hereby granted a Special Use Permit for a Planned Unit Development, pursuant to the Final Development Plan dated November 7, 2019, which identifies the following deviations to the UDO:

(i) Service & Auto Curb-Cut Width: A deviation from Section 17.607(D)(3)(c)(3)(C) to allow for driveway widths which exceed 34 feet in width at the right-of-way line of Bryn Mawr and N. Edgewood Avenue and which exceed 44 feet in width at each roadway line, as such driveway widths are depicted on the "Site Dimensional Paving Plan" (Sheet C-5), comprising a portion of the Engineering Improvement Plans of the PUD.

(ii) Elimination of Build-to-Line Requirement: Build-to-Line Requirement: A deviation from Section 17.605(c)(14) to eliminate compliance with the front build-to-line to accommodate a stormwater detention basin along the eastern property line.

(iii) Elimination of Trash Enclosure: A deviation from Section 17.502(A)(j)(3) to allow for incorporation into the Project of a trash compactor without the need for strict compliance with enclosure requirements due to the screening provided by the Project design.

Which approval is subject to the following conditions:

1. The Special Use Permit for a Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated October 21, 2019 and the attached exhibits, except as such plans may be modified to meet City Code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application, and

2. Final engineering approval.

SECTION THREE: Any use now or hereafter allowed as a permitted use under the I-1 Light Industrial District shall be permitted on the Subject Property without necessity of further hearings or zoning relief.

SECTION FOUR: That all Ordinances and Resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That the City Clerk of the City of Wood Dale be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the statutes of the State of Illinois.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this 21st day of November, 2019

AYES: 7

NAYS: 0

ABSENT: 1

APPROVED this 21st day of November, 2019

SIGNED: Annuziato Pulice
Annuziato Pulice, Mayor

ATTEST: Maura Montalvo
Deputy City Clerk

Published in pamphlet form Nov 21, 2019

EXHIBIT A

STAFF MEMORANDUM DATED OCTOBER 21, 2019

EXHIBIT A

STAFF MEMORANDUM DATED OCTOBER 21, 2019

CITY OF WOOD DALE

Community Development



MEMO

DATE: October 21, 2019

TO: Community Development Commission

FROM: Gosia Pociecha, Planner and Ed Cage, Community Development Director

SUBJECT: Case No. 2019-CDC-11, Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review for the redevelopment of Bryn Mawr Ave Properties, 800 N. Route 83

REQUEST

An application has been submitted requesting a Rezoning from R-1 Estate Residential, upon annexation, to I-1 Light Industrial District, and for Special Use for a Planned Unit Development – Final Development Plan and Major Site Plan Review and for approval of a Final Plat of Subdivision to annex and redevelop the Bryn Mawr Avenue Properties.

The public hearing for this petition was originally scheduled for September 30, 2019, however it had to be rescheduled as the number of individuals in attendance exceeded the meeting room occupancy limit.

PROPERTY INFORMATION

New Address: 800 N. Route 83 (upon annexation)

Existing Address: Multiple

PINs: 03-03-402-001, 002, 003, 004, 005, 006
03-03-404-001, 002, 003, 004, 005, 006, 007, 008
03-03-405-001, 002, 003, 004, 005, 006, 007, 008, 009, 010, 011, 012, 015, 016, 017, 018

Property Size: 17.726 Acres (417,881 square feet)

Existing Land Use: Residential

Future Land Use: Industrial Business Park

Existing Zoning: R-3 Single-Family Residential District (DuPage County)

Surrounding Land Use & Zoning

North:	Corporate Main Street Subarea of TCC, with I-1, Industrial
South:	R-3 Single-Family Residential District (DuPage County)
East:	I-2, General Industrial District (Bensenville)
West:	Corporate Main Street Subarea of TCC, with I-1, Industrial

ANALYSIS

Submittals

The analysis and recommendation provided within this memo are based on the following documents, which are on file in the Community Development Department and attached as noted:

- Community Development Commission & Annexation Application
- Special Warranty Deed
- Petitioner Narrative & Responses to Standards (Exhibit A)
- ALTA/NSPS Land Title Survey (Exhibit B)
- Plat of Annexation (Exhibit C)
- Plat of Subdivision (Exhibit D)
- Engineering Improvement Plans (Exhibit E)
 - Landscaping Plans
 - Photometric Plan
- Stormwater Management Report
- Wetland Delineation Report
- Building Floor Plan & Elevations (Exhibit F)
- Conceptual colored site plan (Exhibit G)
- Traffic Impact Study
- Fire-Truck and Semi-Trailer Turning Exhibits
- Engineer's Opinion of Probable Construction Cost
- Sanitary Sewer Flow Analysis
- Consultation for Endangered Species Protection and Natural Areas Preservation

Project Description

The subject property is 17.726-acres and consists of residential lots and the Ardmore and Pine Avenue right-of-ways (see Exhibit B). The property is located on the west side of IL Route 83 (Busse Road) and to the north of Bryn Mawr Avenue (see image on next page). The proposal includes a partial vacation of Bryn Mawr Avenue, which will be reduced in width from 100 to 66 feet in the vicinity of the development project. The subject property is located within unincorporated DuPage County. The subject property will be annexed (see Exhibit C) and rezoned from unincorporated DuPage County residential R-3 to the City of Wood Dale I-1, Light industrial zoning.

The property will be re-subdivided to consolidate 30 lots into 1, as depicted in Exhibit D. The 30 vacant residences will be demolished to make way for one new 301,075 square foot light

industrial building. The building elevations and architectural site plan and are provided as Exhibits F and G. The site address will be 800 N. Route 83.

The proposed building will be occupied by Nippon Express U.S.A., Inc. This company is a current Wood Dale global logistics business that occupies two buildings and is consolidating operations and relocating their corporate headquarters as well. In addition to the corporate headquarter office space, the company will use the majority of the building for warehousing with limited truck traffic.



The petitioners are anticipating demolition of existing structures to commence shortly after the final City's approval, anticipated for November 2019. Per the petitioner's narrative (see Exhibit A) the construction is proposed to take approximately 12 months with substantial completion projected by year-end 2020.

Compliance with the Comprehensive Plan

The subject property is designated as Industrial/Business Park and Sites Likely to Experience Development Pressure in the Future Land Use Map of the Comprehensive Plan.

The subject property is proposed to redevelop to a new industrial building and is consistent with the land uses surrounding the subject property to the west, north and east. The subject property is currently in unincorporated DuPage County. One of the goals of the City Council is to annex on a voluntary basis any available properties that abut the City. Per the plan, "The City is expected to continue building on its current strengths with the business park and manufacturing and distribution industries." This is clearly achieved with the annexation and redevelopment of the subject property into an Industrial type use.

As such, the proposed development would support the following Goals and Objectives (with a brief description of how they are being met):

- Goal 1: Connect Wood Dale Citizens to:
 - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale.*
 - The project will provide employment for approximately 210 people.
- Goal 2: Build Community Capacity:
 - *Objective 1: Seek opportunities for economic development.*
 - The Special Use and PUD process will support the redevelopment and annexation of the subject property which is currently unincorporated and provides limited value to the City in its current state.
 - *Objective 2: Expand job opportunities in the community.*
 - The project will further strengthen the City's industrial base and will establish a corporate headquarters office for a global logistics company.
 - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational facilities.*
 - *The project will add value to the City through the creation of new tax revenues and local jobs.*
- Goal 3: Embrace Small-Town Charm:
 - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas.*
 - With the use of attractive building design and extensive landscaping, the project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.
 - *Objective 3: Support and enhance existing businesses in wood Dale through outreach efforts that build and strengthen partnerships.*
 - The project is a substantial investment in the city and represents a major expansion for an existing Wood Dale employer.
- Goal 4: Keep Wood Dale Diverse:
 - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life.*
 - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary industrial uses that can be located in the City and complement existing industries."
- Goal 5: Protect Land Values:
 - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents.*
 - The Project is consistent with the City's stated strategy to "Balance land use decisions to maintain strong tax base and minimize property tax burden on residents."

Compliance with the Unified Development Ordinance (UDO)

The subject property, when annexed, will be rezoned to I-1, Light Industrial zoning district. While the proposed site is located adjacent to the Thorndale Corridor Corporate Overlay District, it was not addressed or included in the original Thorndale Corridor Master Plan, therefore, it is not being brought into the overlay. The subject property is not located within a floodplain but wetlands are present adjacent to the proposed development. The property, as proposed, will be annexed and is proposed to be re-subdivided into one lot.

Subdivision

The subject property will be subdivided into one lot – for the proposed building. The proposed one lot will exceed the minimum lot area of two acres, as depicted on Exhibit D. Street trees will be provided in accordance with Sec. 17.703.D.2.d of the Municipal Code.

Allowable Uses

The proposed user will be a warehouse and distribution type user with an ancillary corporate office. Warehouse and distribution, as the principal use, is a permitted use in the I-1 Light Industrial zoning district.

A PUD is allowed as a Special Use in the I-1, Light Industrial, Zoning District per the Table of Permitted Uses in Sec. 17:503.P of the Municipal Code. As such, the standards for Special Use, PUD and Major Site Plan Review have been evaluated and are provided for consideration later within this report.

Lot Development Standards

Being proposed in the I-1 Light Industrial zoning district, Type 14 Building regulations apply. The following table summarizes the regulations and how the redevelopment meets code requirements. See Exhibits E for detailed plans. Note that regulations **bold** indicate where deviations are being requested.

Regulation Type	Required/Allowed	Proposed
Lot coverage	80% (max.)	73%
Build to Line	40-feet	300-feet
Corner side setback	20-feet	90-feet
Side setback	20-feet	47-feet
Rear setback	20-feet	200-feet
Maximum height	45-feet	43'-6"
Building use	Ground floor: Office/ manufacturing/ storage	Office/ manufacturing/ storage
	Upper floor: Office/ storage	Office/ storage

Parking and Traffic

Per the submitted plans, the proposed development will be served by 280 off-street parking spaces. Per Sec. 17.607.E.6, Table of Parking Requirements, a total of 275 parking spaces are required; therefore the parking requirements are met. In addition the site will provide 31

trailer stalls along the north property line, with potential for additional 14 future trailer parking spaces.

Building footprint: 301,075 sf	Required Ratio	Required Parking
Office: 25,000 sf (1 st floor: 15,000 sf & 2 nd floor: 10,000 sf)	1 space / 333 sf	75
Warehouse: 286,075 sf	1 space / 1430 sf	200
Total:		275

Access to the redeveloped and proposed annexed site is via four driveways, which will also provide emergency access on all four sides of the proposed building. The northwestern and southwestern driveways, would provide access mainly for semi-truck access to the loading dock doors. This is emphasized by the use of "heavy duty", essentially thicker asphalt pavement planned for semi-truck access for that area. The remaining two driveways on the south and southeast side of the lot are planned essentially for automobiles and provide access to the off-street parking spaces. This is emphasized by the use of "light duty" asphalt, which is essentially regular asphalt thickness, which is more appropriate for automobile vehicles.

Pedestrian traffic can traverse the building with a proposed sidewalk along the south and east building frontage. As this is a proposed newly annexed property, the City is planning an engineering study to determine if pedestrian paths are appropriate along IL Route 83 and the newly improved Bryn Mawr Avenue.

It has been recommended and the applicant has illustrated that a typical 66-foot right-of-way be dedicated to the Bryn Mawr Avenue in the form of right-of-way. This would make the Bryn Mawr Avenue right-of-way consistent with other City street right-of-ways, inclusive of street surface, curb and gutter and infrastructure.

A Traffic Impact Study (TIS) was conducted to evaluate the potential impact on adjacent roadways. The summarized findings from that report include the following:

- The proposed development will generate a low volume of traffic during the peak hours and will have a low traffic impact on the surrounding roadway network.
- Traffic on IL Route 83 and South Thorndale Avenue will decrease for Year 2025 due to the extension of IL Route 390, this will reduce the delays experienced by the traffic along these roadways.
- The results of the capacity analysis indicate that the proposed development traffic will not have a significant impact on the area roadways.
- The proposed access system with access on IL Route 83, Bryn Mawr Avenue and Edgewood Avenue will be adequate in accommodating site traffic and will ensure that a flexible access system is provided.
- The proposed extension of Bryn Mawr Avenue to Edgewood Avenue will reduce the truck traffic at the intersection of IL Route 83 with Bryn Mawr Avenue.
- Based on the projected traffic volumes, a southbound right-turn lane will not be warranted on IL Route 83 at either its intersection with Bryn Mawr Avenue.

Landscaping

The petitioner has submitted a high-quality landscape plan which is depicted in Exhibit E. Street trees are being provided along the IL Route 83 and Bryn Mawr Avenue and there is a landscape buffer provided across 100% of the south parking lot located across from the existing residential properties. The tree preservation and replacement regulations do not apply to this project as any existing trees will be removed prior to annexation. Nonetheless, the petitioners are proposing to plant over 186 new trees including delicious, evergreen and ornamental trees. The submitted plans meet or exceed the code requirements.

Lighting

A photometric plan has been submitted by the applicant. There are a few minor comments that will be addressed prior to final approval during permitting process, but overall the plans are in compliance with the UDO requirements. The site is illuminated by mainly wall mounted light fixtures on the proposed building and light poles that are utilized within the proposed parking lot.

Stormwater Management

The proposed plan calls for a wetland style stormwater facility located to the east of the proposed building along IL Route 83. The City Consultant Engineers have reviewed the stormwater plans and calculations but few comments still need to be addressed prior to final approval. The approval of this petition will be conditioned on the final engineering approval.

Public Utilities

The development will be served by a looped water main and has been approved by the City Consultant Engineer subject to some minor review comments. According to the City's utility atlas, there is a dead-end 8" water main to the north of the proposed site. A connection will be added between the existing water main and the proposed looped water main to improve water flow and water quality.

Public Safety

The Wood Dale Fire Protection District has reviewed the proposed redevelopment and determined that there is sufficient access for emergency vehicles in and around the site. In order to verify the adequacy of fire flows, the petitioner shall provide fire flow calculations prior to issuance of any permit. The number of provided fire hydrants shall be verified in order to ensure that it meets the water needs for Fire District's apparatus. The Wood Dale Fire Protection District has reviewed the proposed plans and have no further comments, at this time.

PUD and Subdivision Process

The petitioner is requesting a combined concept, preliminary and final development plan/plat to facilitate construction commencement immediately upon approval. The requested Special Use, PUD, Final Plat of Subdivision and Major Site Plan Review is consistent with the UDO.

PUD Requested Deviations

There are a number of requested deviations requested through the PUD process and these are as follows:

1. Service & Auto Curb-Cut Width: Driveway width for both service and auto driveways has been proposed to be widened to accommodate the safe and efficient flow of traffic, which is consistent with other such approved requests.
2. Elimination of Build-to-Line Requirement: The proposed building is set back further from the east property line along IL Route 83 to accommodate the natural flow of stormwater on site and to provide a detention basin with decorative fountains.
3. Elimination of Trash Enclosure: A trash compactor is proposed to be used, this will be screened by both the proposed screen wall and extensive landscaping on the site.

Deviations are often requested and required with a larger PUD development such as this requested one. The use of the PUD application requires some public benefit to be required by the City. In this case, the proposal includes a high-quality building architecture and landscaping, wetland-style stormwater detention with fountains and overall the annexation of 19.549-acres. In addition, the Bryn Mawr Avenue will be reconstructed as a separate but related project including a sidewalk and pedestrian access. This project is intended to have a positive economic effect on the city by generating new funds and will serve as a corporate headquarters with approximately 210 jobs once fully operational.

Neighborhood Comment

Notice was provided to adjacent property owners in accordance with Section 17.401.D of the UDO. Staff has received several inquiries about the project seeking more information on the proposed development. At least three individuals have come into our office to review the application documents. Comments received varied between concerns with the increased truck traffic as well as support for the commercial development.

The public hearing for this petition was originally scheduled for September 30, 2019, however it had to be rescheduled as the number of individuals in attendance exceeded the meeting room occupancy limit. The public hearing notices were posted, published and mailed out with the revised meeting date and location.

Findings of Fact

The Community Development Commission may recommend approval of a Special Use, Planned Unit Development and Major Site Plan Review if evidence is presented to establish that the application meets the standards. The standards are as follows (*staff comments italicized*):

Special Use Standards

1. The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;

The proposed special use will allow the redevelopment of the subject property, which will in turn allow a new Industrial building to be constructed. This building will create new jobs for the City. Therefore, the proposed special use meets the standards set forthwith.

2. The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;

The proposed special use will allow for the redevelopment of the subject property to allow a new industrial building at this location. The proposed new building will be consistent with the surrounding properties to the east, north and west, which are also industrial in use and also in zoning. Per the Traffic Impact Study, the proposed development will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways. Therefore, the proposed special use meets the standards set forthwith.

3. The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;

The proposed redevelopment project will allow adjacent property owners to operate in accordance with existing zoning regulations and will promote future investment in the area and ultimately enhance area property values. Therefore, the proposed special use meets the standards set forthwith.

4. The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

The proposed redevelopment project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of new materials and architectural design along with extensive landscaping should promote investment in the adjacent properties. Therefore, the proposed special use meets the standards set forthwith.

5. The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;

The proposed redevelopment project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties. Therefore, the proposed special use meets the standards set forthwith.

6. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

The subject property has ready access to existing City utilities nearby. The proposed utility connections have been submitted on the applicant's engineering plans. Therefore, the proposed special use meets the standards set forthwith.

7. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets;

Parking for the project is appropriate for a typical light industrial user and has been designed to meet code requirements in terms of size, location and screening. A heavily landscaped greenway buffer will be established along Bryn Mawr Avenue and a detention basin with decorative fountains will be established along IL Route 83. The proposed access points to the property have been designed to minimize traffic hazards. Therefore, the proposed special use meets the standards set forthwith.

8. Such other standards and criteria as are established by the ordinance for a particular special use as set forth in subsections D and H of this section, if applicable, and as applied to planned unit developments as set forth in Chapter 17, Article IV, Section 17.405.

The standards for PUDs are evaluated below, per Section 17.405 of the UDO. This standard is met.

General Standards and Criteria for Planned Unit Developments (PUD)

1. The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.

The subject property is designated as Industrial/Business Park in the future land use map and the project is consistent with the type of redevelopment occurring within the Industrial zoned area within the City. The proposed development is planned to be a high-image addition to the City's industrial inventory and will not injure or damage the use, value and enjoyment of the adjacent properties or discourage the development of surrounding properties. Therefore, the proposed PUD meets the standards set forthwith.

2. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.

The preliminary project schedule targets City approval in November with demolition of the existing structures, occurring soon thereafter. Vertical construction of the proposed building is anticipated to take approximately twelve months with substantial completion projected by year-end 2020. Therefore, the proposed PUD meets the standards set forthwith.

3. The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.

The entire property is owned by a single-entity and therefore it meets the standard. Therefore, the proposed PUD meets the standards set forthwith.

4. The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.

Given that the proposed single building and consolidation of multiple lots into one, Covenants Conditions and Restriction's (CCR's) will not be required of this project. All proposed public utility easements will be reviewed and approved by the City. Therefore, the proposed PUD meets the standards set forthwith.

5. Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.

The subject property has available and ready access to existing utilities. The utility requirements of the proposed project shall not reduce the capacity for existing developments nor overload City facilities beyond capacity. Therefore, the proposed PUD meets the standards set forthwith.

6. The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.

The proposed project is compatible with surrounding land uses within the City and will incorporate substantial site landscaping, inclusive of heavily landscaped greenway buffer that will be established along Bryn Mawr Avenue. Therefore, the proposed PUD meets the standards set forthwith.

7. The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.

The proposed project is compatible with the surrounding area and will be a quality addition to the City's Industrial base. The use of an attractive building design, extensive landscaping will enhance the surrounding area. Therefore, the proposed PUD meets the standards set forthwith.

8. The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.

The proposed project is a high quality industrial building that conforms with the general design standards of the district and is consistent with the type of proposed redevelopment occurring within the industrial zoned areas of the City. Therefore, the proposed PUD meets the standards set forthwith.

9. The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.

The proposed project conforms with the City's designation as an Industrial/Business Park on the future land use map of the Comprehensive Plan. Therefore, the proposed PUD meets the standards set forthwith.

10. Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.

The proposed project is a high quality industrial building that conforms with the general design standards of the district it is proposed to be located within. It is not inconsistent with the public general welfare and does not conflict with this standard. Therefore, the proposed PUD meets the standards set forthwith.

11. Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.

The proposed project features extensive site landscaping and also includes greenway buffer that is planned along and abutting Bryn Mawr and detention basin with decorative fountains along IL Route 83. Therefore, the proposed PUD meets the standards set forthwith.

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the

proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

Based upon the Traffic Impact Study (TIS) the proposed access system for the development will be sufficient for accommodating the traffic that is planned to be generated by the proposed project. Furthermore, the TIS concludes that the proposed project will generate a low volume of traffic during the peak hours and will not have a significant impact on the area roadways. Therefore, the proposed PUD meets the standards set forthwith.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

There are no dwelling units proposed in the PUD. Off-street parking spaces are located conveniently adjacent to the proposed building and will meet the landscaping screening requirements of the code. Therefore, the proposed PUD meets the standards set forthwith.

14. A pedestrian circulation network is provided.

An internal circulation network will be provided on-site to connect the auto parking to future office areas. Therefore, the proposed PUD meets the standards set forthwith.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

All utilities to be provided as outlined in the utility plan shall be in accordance with the requirements and regulations of the City. Therefore, the proposed PUD meets the standards set forthwith.

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

The proposed project will support the following objectives as outlined in Section B:

- *Objective 3: functional and beneficial use of open space by providing better connectivity to existing properties and by providing a heavily landscape greenway buffer along the primary street frontage.*

- *Objective 4: preservation of natural landscape features of the site by providing an improved and enhanced buffer for the off-site wetland located on the eastern border.*
 - *Objective 5: provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by creating and maintaining a heavily landscaped greenway buffer along Bryn Mawr Avenue, enhanced connectivity within and around the site and high-quality building design.*
 - *Objective 6: rational and economic development in relation to public services by establishing a proposed project that conforms with future land use plans, creates a value-added annexation opportunity that has limited impact on the required public services.*
17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

The proposed project provides for improved and enhanced buffering for the critical wetland located on the eastern border of the subject property. Therefore, the proposed PUD meets the standards set forthwith.

Standards For Site Plan Review:

1. The relationship of the site plan to the policies, goals and objectives of the comprehensive plan.
The proposed project conforms to the future land use plan and is consistent with goals and many of the objectives within the Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.
2. Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17.
The proposed project has been designed to increase pedestrian mobility on-site. Furthermore, the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrians and vehicle traffic. Therefore, the proposed Site Plan meets the standards set forthwith.
3. Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements.
The proposed project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements. Therefore, the proposed Site Plan meets the standards set forthwith.

4. The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code.

Detailed engineering plans have been submitted for review by the City Consultant Engineer. The Fire District and Public Works Department has also been asked to review the associated plans and provide comments. Therefore, the proposed Site Plan meets the standards set forthwith.

5. That the proposed use(s) is/are permitted in the district in which the property is located.

The proposed project and use is consistent with the subject property's designation as Industrial/Business Park in the future land use map of the City's Comprehensive Plan. Therefore, the proposed Site Plan meets the standards set forthwith.

6. That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles.

The proposed project is planned to be a high quality and high image industrial with office facility that is compatible with adjacent land uses and employs sound planning and zoning principles. Therefore, the proposed Site Plan meets the standards set forthwith.

7. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

The planned project provides for an efficient separation of automobile and truck traffic. Per the TIS, the proposed access points will be sufficient to serve the planned project with a low traffic impact on the surrounding roadway network. Therefore, the proposed Site Plan meets the standards set forthwith.

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage is planned as part of the planned project. Therefore, the proposed Site Plan meets the standards set forthwith.

Standards for Final Plat:

The Community Development Commission shall recommend approval and the City Council shall approve a Final Plat unless it makes written findings specifying the manner in which *(staff comments in italicized)*:

1. The design and layout of the subdivision does not conform to the provisions of the UDO.

The design and layout of the proposed subdivision does conform to the provisions of the Unified Development Ordinance (UDO). Therefore, the proposed Site Plan meets the standards set forthwith.

2. The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.

The applicant has made adequate provisions to install improvements required by both the CDC and/or City Council under the authority of the UDO. Therefore, the proposed Site Plan meets the standards set forthwith.

3. The Final Plat fails to comply with an approved Preliminary Plat.

This standard does not apply because the applicant is applying for a combined Concept, Preliminary and Final Plat concurrently. Therefore, the proposed Site Plan meets the standards set forthwith.

4. The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.

The Final Plat of Subdivision conforms with the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, all applicable City Ordinances and planning policies of the City. Therefore, the proposed Site Plan meets the standards set forthwith.

RECOMMENDATION

The Community Development Department finds that the request for a Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review to redevelop the property known as Bryn Mawr Industrial Redevelopment is compatible with surrounding zoning and land use classifications, meets the requirements in the Unified Development Ordinance and is consistent with the City's Comprehensive Plan. Based on the above considerations, staff recommends that the Community Development Commission make the following motion recommending approval of this petition:

Based on the submitted petition and the testimony presented, the proposed Rezoning, Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review meet the standards of approval and are consistent with the UDO and Comprehensive Plan; and, therefore, I move that the Community Development Commission adopt the findings of fact included within the staff memo dated October 21 2019 as the findings of the Community Development Commission, and recommend to the City Council approval of Rezoning to I-1, upon annexation, Special Use for a Planned Unit Development – Final Development Plan and Major Site Plan Review and for approval of a Final Plat of Subdivision for the Bryn Mawr Industrial Redevelopment at 800 N Route 83 in Case No. 2019-CDC-11 subject to the following conditions:

1. The Special Use, Planned Unit Development, Final Plat of Subdivision and Major Site Plan Review shall substantially conform to the staff memo dated October 21, 2019 and the attached exhibits, except as such plans may be modified to meet City code requirements. Where deviations to the codes have not been requested as part of this approval, the existing codes must be met, as applicable, at the time of permit application.
2. Final engineering approval.



200 West Madison Street
Suite 1200
Chicago, IL 60606
Phone: 312.881.7000
transwesterndevelopment.com

September 24, 2019

Mr. Ed Cage
Community Development Director
City of Wood Dale
404 N. Wood Dale Road
Wood Dale, IL 60191

Exhibit A

Re: Redevelopment of Bryn Mawr Avenue and Busse Road

Dear Mr. Cage:

CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C. ("Owner") has acquired the thirty (30) parcels located at Bryn Mawr Avenue and Busse Road, which is commonly known as Lots 1-25 & 137-142 of Branigar's Mohawk Manor in Unincorporated DuPage County ("Property"). In its capacity as development manager for the Owner, TDC Logistics Company, L.L.C. (a Transwestern Development Company entity) is proposing the voluntary annexation, rezone and subdivision (including street vacations) of the approximately 19.6-acre Property for a transformative 301,075 SF light industrial redevelopment ("Project") in the City of Wood Dale ("City"). The Project will serve as the headquarters for global logistics company and existing City of Wood Dale employer Nippon Express U.S.A., Inc. ("NEU").

Located at the intersection of Bryn Mawr Avenue and Busse Road, the Project is consistent with the City's future land use plan and will serve as a natural addition to the local industrial base. With a focus on high-image building design and extensive landscaping that is representative of a corporate headquarters, the Project will further strengthen the City's reputation as a premier location for high-image industrial users. The Project will create positive economic impacts for the City and will generate new funds that will directly support funding for local schools, fire safety, roads, parks and other critical services that allow the City to attract and retain residents. Moreover, once fully operational NEU is expected to employ approximately 210 people at the new facility which will further strengthen the City's ability to support additional commercial and retail amenities for the community.

We're confident that the Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan, including creating opportunities for economic development, expanding job opportunities in the community and pursuing annexation of sites that add value to the City. We look forward to an opportunity to discuss this Project and the many benefits it will provide to the City.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Mohoney', written over a horizontal line.

Kevin Mohoney
Vice President
Transwestern Development Company

Project Overview

The Property is located near the City's primary industrial business park south of Illinois 390 and is surrounded by industrial buildings to the north and west. To the east of the Property is Busse Road and to the south is additional unincorporated residential. The Property is currently improved with thirty (30) residential homes which were primarily constructed before 1980. Due to the unincorporated nature of the parcels, water and sewer is provided individually to the homes by private well and septic systems. In total, the Property comprises approximately 19.6-acres (inclusive of the proposed vacated portions of Ardmore Avenue and Pine Street and partially vacated Bryn Mawr Avenue).

As further outlined in the detailed plans accompanying this submittal, the annexed Property is intended to accommodate the construction of a state-of-the-art light industrial building with a footprint totaling 301,075 square feet. The Project will be a high-image headquarters facility that is constructed of precast concrete, glass and steel, is consistent with the City's future land use plan and will serve as a natural addition to the area's high-image industrial base.

The following requested deviations are necessary to provide a building that meets modern design standards and while maximizing potential economic benefits to the City:

- 1) *Service and Auto Drive Curb-Cut Width:* driveway width for both service and auto drives has been widened to accommodate the safe and efficient flow of traffic;
- 2) *Build-To Line Requirement:* the Project features an expanded eastern setback to better manage the natural flow of stormwater on site and to provide a high-image detention basin with decorative fountains along the main thoroughfare of Busse Road.
- 3) *Elimination of Required Trash Enclosure:* in lieu of a dedicated enclosed refuse collection area, it is anticipated that NEU will utilize a trash compactor at an existing exterior dock door which will be adequately screened from the right-of-way by a 14-foot screen wall on the east end of the dock area and substantial site landscaping throughout the dock areas.

The preliminary Project schedule targets City approval in November with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately twelve (12) months with substantial completion projected by year-end 2020.

As detailed in the enclosed application, the Owner is requesting the following:

- Annexation into the City of Wood Dale pursuant to an annexation agreement
- Rezoning to I-1 Light Industrial
- Vacation of Ardmore Avenue and Pine Street and partial vacation of Bryn Mawr Avenue
- Final Plat of Subdivision to consolidate lots
- Special Use to allow a Planned Unit Development (PUD)
- PUD – Final Development Plan with deviations

Comprehensive Plan

The Property is designated as Industrial/Business Park in the future land use map of the City's comprehensive plan which was adopted on August 2, 2018. The Project would support the following Goals and Objectives as outlined in the comprehensive plan:

- **GOAL 1: Connect Wood Dale Citizens to...**
 - *Objective 3: Increase opportunities for Wood Dale residents to work in Wood Dale*
 - Once fully operational, NEU is expected to employ approximately 210 people as part of the Project.

- **GOAL 2: Build Community Capacity**
 - *Objective 1: Seek opportunities for economic development*
 - The special use and PUD process will support the redevelopment and annexation of the Property which is currently unincorporated and, as low-density residential, provides limited value to the City in its current state.

 - *Objective 2: Expand job opportunities in the community*
 - The Project will further strengthen the City's industrial base and will establish a headquarters facility for a global logistics services company.

 - *Objective 6: Pursue annexation of locations that can add value to the City by incorporating desired business, residential sites, or recreational function.*
 - The Project will add value to the City through the creation of new tax revenues and local jobs.

- **GOAL 3: Embrace Small-Town Charm**
 - *Objective 2: Enhance the appearance and "curb appeal" of commercial corridors and residential areas*
 - With the use of attractive building design and extensive landscaping, the Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction.

 - *Objective 3: Support and enhance existing businesses in Wood Dale through outreach efforts that build and strengthen partnerships.*
 - The Project is a substantial investment in the City and represents a major expansion for an existing Wood Dale employer.

- **GOAL 4: Keep Wood Dale Diverse**
 - *Objective 2: Manage development to create a balanced mix of land uses, promoting economic vitality and a sustainable quality of life*
 - The Project is consistent with the City's stated strategy to "Remain current on the changing real estate market's needs for contemporary industrial uses that can be located in the city and complement existing industries."

- **GOAL 5: Protect Land Values**
 - *Objective 3: Encourage investment through redevelopment and by attracting new visitors and residents*
 - The Project is consistent with the City's stated strategy to "Balance land use decisions to maintain strong tax base and minimize property tax burden on residents."

Special Use Standards

1. **The proposed special use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of the public and will contribute to the general welfare of the neighborhood or community;**

The Project will greatly enhance an underutilized site that is not currently within the City's jurisdiction, will add value to the City through the establishment of new tax revenues and will encourage the creation of jobs for residents.

2. **The proposed special use will not have a substantial adverse effect upon the adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare;**

The Project will further strengthen the City's industrial base by greatly enhancing an underutilized site that is not currently within the City's jurisdiction. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties. Additionally, as outlined in the enclosed traffic study, the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

3. **The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations within the neighborhood;**

The Project will allow adjacent property owners to continue to operate in accordance with existing zoning regulations and will serve to promote future investment in the area and ultimately enhance area property valuations.

4. **The nature, location, and size of buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;**

The Project will not impede, hinder or discourage the development of adjacent land and buildings. Further, the use of attractive building design and extensive landscaping should promote investment in the adjacent properties.

5. **The proposed special use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations;**

The Project will be a high-image industrial building that is consistent with surrounding uses and will not inhibit the development and use of neighboring properties.

6. **Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;**

The Property has ready access to existing City utilities. The proposed utility connections as outlined in the enclosed utility plan shall be reviewed and approved by the City.

7. **Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets; and**

Parking for the Project complies with code and is adequate for the number of employees projected by NEU once the facility is fully operational. A heavily landscaped greenway buffer has been established along Bryn Mawr Avenue and a

high-image detention basin with decorative fountains has been established along Busse Road. Further, the proposed access points to the Property have been designed to minimize traffic hazards.

PUD Standards

1. **The proposed development will not injure or damage the use, value and enjoyment of surrounding property nor hinder or prevent the development of surrounding property in accordance with the Wood Dale comprehensive plan.**

The Property is designated as Industrial/Business Park in the future land use map and the Project is consistent with the type of redevelopment occurring within the industrial zoned areas within the City. The Project will be a high-image addition to the City's industrial base and will not injure or damage the use, value and enjoyment of adjacent properties or discourage the development of surrounding properties.

2. **The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the applicant.**

The preliminary Project schedule targets City approval in November with demolition of existing structures to commence shortly thereafter. Vertical construction of the Project is expected to take approximately twelve (12) months with substantial completion projected by year-end 2020.

3. **The entire tract or parcel of land to be occupied by the proposed development shall be held in a single ownership, or if there are two (2) or more owners, the application for such proposed development shall be filed jointly by all such owners.**

The Property is owned by CH Realty VIII-TDC I Chicago Bryn Mawr, L.L.C.

4. **The development plan shall contain such proposed covenants, easements and other provisions relating to the bulk and location of buildings, uses and structures and public facilities as are necessary for the welfare of the planned unit development and are not inconsistent with the best interests of the city. Such covenants, easements and other provisions, when part of the approved final development, may be modified, removed or released only with the consent of the city council after a public hearing before, and recommendation by the community development commission as provided in this section.**

Given the proposed single building and consolidation of multiple lots into one, it is applicant's understanding that Covenants, Conditions and Restrictions (CCRs) will not be necessary. Any proposed public utility easements would be identified on the enclosed Final Plat to be approved by the City.

5. **Sanitary sewers, storm sewers and water supply to service the development are adequate to serve the proposed development and will not reduce existing capacity below that necessary to serve existing developments, or overload local facilities beyond design capacity.**

The Property has ready access to existing utilities. The utility requirements of the Project shall not reduce capacity for existing developments nor overload local facilities beyond capacity.

6. **The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities is compatible with the surrounding land uses, and any part of a proposed development not used for structures, parking and loading areas, or access ways, is landscaped or otherwise improved.**

The Project is compatible with surrounding land uses and will incorporate substantial site landscaping, including a heavily landscaped greenway buffer that is to be established along Bryn Mawr Avenue.

7. **The project area is adaptable to unified development and shall have within or through the area no physical features that will tend to destroy the neighborhood or community cohesiveness. There is no minimum project area for a planned unit development.**

The Project is compatible with the surrounding area and will be a high-image addition to the City's industrial base. The use of attractive building design and extensive landscaping should enhance the surrounding area.

8. **The uses permitted in the development are necessary or desirable and the need for such uses is clearly demonstrated by the applicant.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is consistent with the type of redevelopment occurring within the industrial zoned areas within the City.

9. **The dominant land use of the proposed planned unit development is consistent with the recommendations of the Wood Dale comprehensive plan for the area containing the project.**

The Project conforms to the City's designation as Industrial/Business Park in the future land use map of the comprehensive plan.

10. **Any modifications of the standards and specifications of this chapter or other regulations that would otherwise be applicable to the site are warranted by the design of the development plan, and the amenities incorporated in it, and are not inconsistent with the public general welfare.**

The Project is a high-image industrial building that conforms with the general design standards of the district and is not inconsistent with the public general welfare. The minimal deviations requested are minor in nature and are warranted to create a building that will support NEU's operations without negative impact to the surrounding street network and nearby properties while maximizing economic development within the City.

11. **Exceptional landscaping features such as larger caliper, varied species and reduced spacing of trees and additional sodding above the minimum requirements specified in section 17.606 of Chapter 17 is provided.**

As outlined in the enclosed landscaping plan, the Project features extensive site landscaping and includes a heavily landscaped greenway buffer that is to be established along Bryn Mawr Avenue and a high-image detention basin with decorative fountains along the main thoroughfare of Busse Road.

12. All proposed streets and driveways are adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned unit development. Entrance points or locations of streets and driveways upon existing public roadways shall be subject to the approval of the city, and if applicable, the DuPage County highway department, and the Illinois department of transportation. If traffic control devices are required to prevent or relieve hazards or congestion on adjacent streets and the proposed control device is not within the normal or scheduled sequence of installations, the city council may require, as a condition of approval of a proposed planned unit development, such devices to be provided at the developer's cost.

Based on the enclosed Traffic Impact Study (TIS), the proposed access system for the development will be adequate in accommodating the traffic to be generated by the Project. Further, the TIS concludes that the Project will generate a low volume of traffic during peak hours and will not have a significant impact on the area roadways.

13. Off street parking is conveniently accessible to all dwelling units and other uses in the planned unit development. Where appropriate, common driveways, parking areas, walks, and steps to parking and service areas are to be screened through ample use of trees, shrubs, hedges, landforms and walls.

There are no dwelling units within the PUD.

14. A pedestrian circulation network is provided.

An internal circulation network will be provided on-site to connect the auto parking to the future office area.

15. The planned unit development provides for underground installation of utilities (including electricity and telecommunications) in public ways and private extensions thereof. Provisions shall be made for acceptable design and construction of storm sewer facilities including grading, gutter, piping and treatment of turf to handle stormwater, prevent erosion and the formation of dust. Utilities and maintenance of facilities shall be in accordance with the requirements and regulations of the city as set forth in this chapter.

All utilities to be provided for the Project as outlined in the enclosed utility plan shall be in accordance with the requirements and regulations of the City.

16. The proposed planned unit development satisfies the applicable objectives as provided in subsection B of this section.

The Project will support the following objectives as outlined in subsection B:

- *Objective 3:* functional and beneficial use of open space by providing better connectivity to existing properties and by providing a heavily landscaped greenway buffer along the primary street frontage.
- *Objective 4:* preservation of natural landscape features of the site by providing an improved and enhanced buffer for the off-site wetland located on the eastern border.
- *Objective 5:* provision for a safe and desirable environment characterized by a sensitive and unified building and site development program by maintaining and creating a heavily landscaped greenway buffer along Bryn Mawr Avenue, enhanced connectivity within and around the site and high-quality building design.
- *Objective 6:* rational and economic development in relation to public services by establishing a Project that conforms with future land use plans, creates a value-add annexation opportunity and has limited impact on public services required.

17. Existing ponds, creeks, rivers, lakes, wetlands or fens on or adjacent to the planned unit development are enhanced and protected from development.

As previously noted, the Project provides for improved and enhanced buffering for the off-site wetland located on the eastern border of the site.

Standards for Major Site Plan Review

1. **The relationship of the site plan to the policies, goals and objectives of the comprehensive plan;**

The Project conforms to future land use plans and is consistent with each goal and many of the objectives within the comprehensive plan.

2. **Traffic and parking layout so as to minimize danger and conflicts between pedestrians and motorists, and otherwise comply with the requirements of Chapter 17;**

The Project has been designed to increase pedestrian mobility on-site and the proposed points of ingress/egress have been designed to minimize conflict with neighboring properties and associated pedestrian and vehicle traffic.

3. **Location of principal structures, accessory structures and freestanding signs, so that the location of accessory structures and freestanding signs does not impede safe and efficient traffic circulation, stormwater drainage, or otherwise adversely impact adjoining land improvements;**

The Project will not materially impede safe and efficient traffic circulation nor adversely impact stormwater drainage or adjoining land improvements.

4. **The development administrator may enlist the services of other city departments and consultants to determine compliance with the provisions of Chapter 17 and other provisions of the Municipal Code;**

Detailed engineering plans are enclosed for review and comment by City staff.

5. **That the proposed use(s) is/are permitted in the district in which the property is located;**

The Project is consistent with the Property's designation as Industrial/Business Park in the future land use map of the City's comprehensive plan.

6. **That the proposed arrangement of buildings, off street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses and employs sound site planning principles;**

The Project will be a high-image light industrial corporate headquarters building that is compatible with adjacent land uses and employs sound planning principles.

7. **That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well; and**

The Project provides for efficient separation of auto and truck traffic. Per the TIS, the proposed access points will be adequate to serve the Project with a low traffic impact on the surrounding roadway network.

8. That all outdoor storage areas are screened and are in accordance with standards specified by this chapter.

No outdoor storage is planned as part of the Project.

Standards for Final Plat

1. The design and layout of the subdivision does not conform to the provisions of the UDO.

The design and layout of the subdivision does conform to the provisions of the UDO.

2. The applicant has not made adequate provision to install improvements required by the Community Development Commission or City Council under authority of the UDO.

The applicant has made adequate provisions to install improvements required by the CDC or City Council under authority of the UDO.

3. The Final Plat fails to comply with an approved Preliminary Plat.

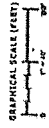
Not applicable as the applicant is applying for a combined Concept, Preliminary and Final Plat approval process.

4. The Plat does not conform to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17 (UDO), City ordinances, or established planning policies of the City.

The Final Plat of Subdivision conforms to the Comprehensive Plan, the Official Zoning Map, Article IV of Chapter 17, applicable City ordinances and planning policies of the City.

ALTA/NSPS LAND TITLE SURVEY

Exhibit B



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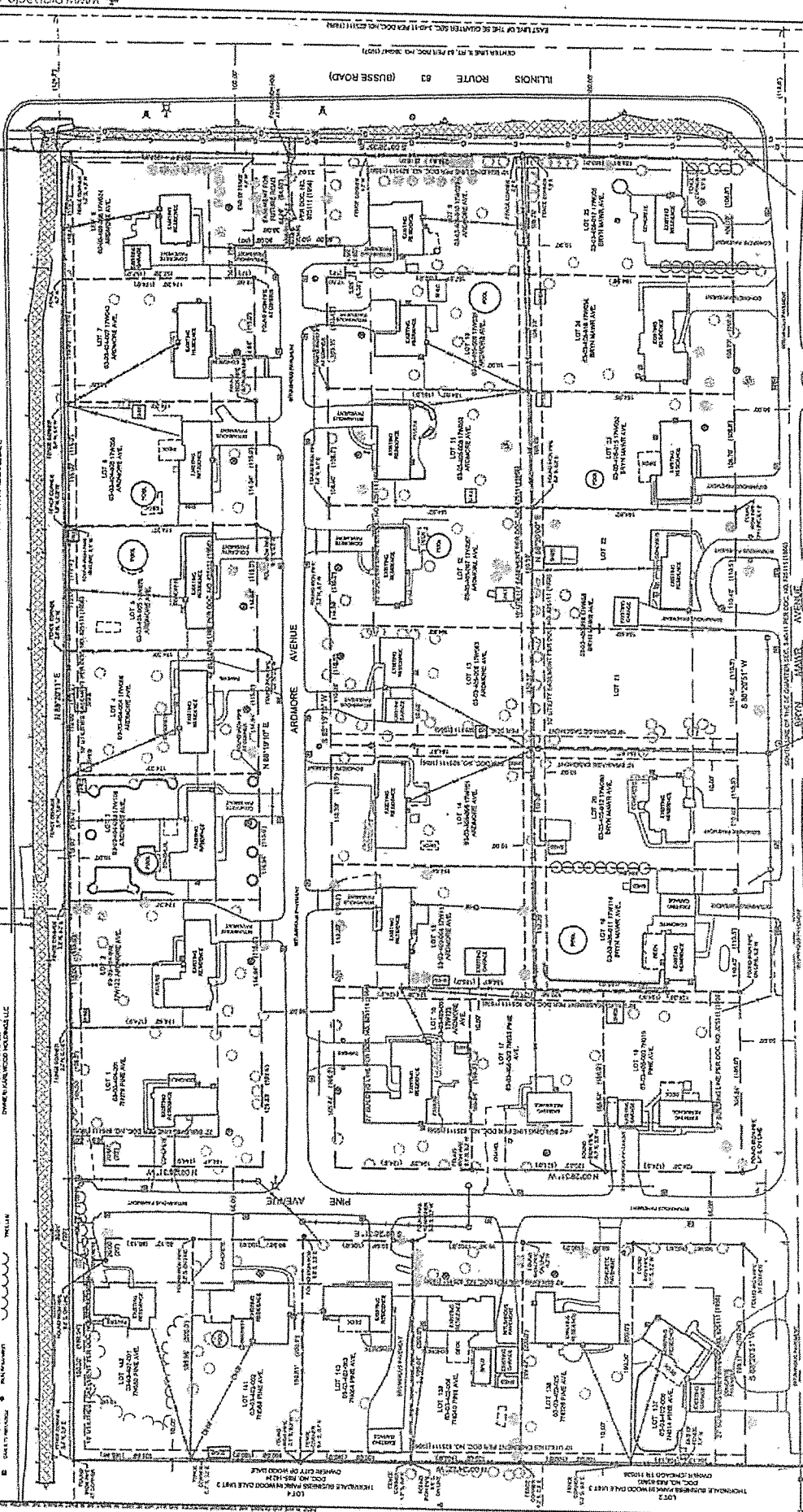
LEGEND OF LINES

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THOMAS B. BRANIGAR, JR. & SONS, INC. (PLANNING & ENGINEERING)
 1000 W. WOOD DALE AVENUE, SUITE 100
 WOOD DALE, ILLINOIS 60090
 PHONE: (708) 401-1100
 FAX: (708) 401-1101
 WWW.PINNACLE-ENG.COM

THOMAS B. BRANIGAR, JR. & SONS, INC. (PLANNING & ENGINEERING)
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 WWW.PINNACLE-ENG.COM



PLAN DESIGN/OWNER
 ALTA/NSPS LAND TITLE SURVEY
 MOHAWK MANOR
 WOOD DALE, IL

REVISIONS

NO.	DATE	DESCRIPTION
1		

PINNACLE ENGINEERING GROUP
 1000 W. WOOD DALE AVENUE, SUITE 100
 WOOD DALE, ILLINOIS 60090
 PHONE: (708) 401-1100
 FAX: (708) 401-1101
 WWW.PINNACLE-ENG.COM

PLAT OF ANNEXATION

TO THE CITY OF WOOD DALE, DUPAGE COUNTY, ILLINOIS

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 137, 138, 139, 140, 141 AND 142, ALL OF ARMORE AVENUE, ALL OF PINE AVENUE LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BRYN MAWR AVENUE, AND ALL OF BRYN MAWR AVENUE LYING WEST OF ILLINOIS ROUTE 83 (BUSSE ROAD), ALL IN BRANIGAR'S MOHAWK MANOR, BEING A SUBDIVISION IN SECTIONS 3 AND 10, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1956 AS DOCUMENT 825111, IN DUPAGE COUNTY, ILLINOIS,

CONTAINING 19.549 ACRES, MORE OR LESS.

BOUNDARIES AND DISTANCES SHOWN HEREON WERE MEASURED BY THE SURVEYOR AND FOUND TO BE CORRECT. THE DISTANCES SHOWN ON THIS PLAT ARE CALCULATED FROM THE MEASUREMENTS MADE BY THE SURVEYOR. THE DISTANCES SHOWN ON THIS PLAT ARE CALCULATED FROM THE MEASUREMENTS MADE BY THE SURVEYOR. THE DISTANCES SHOWN ON THIS PLAT ARE CALCULATED FROM THE MEASUREMENTS MADE BY THE SURVEYOR.

NOTES: ALL DISTANCES SHOWN ON THIS PLAT ARE CALCULATED FROM THE MEASUREMENTS MADE BY THE SURVEYOR. THE DISTANCES SHOWN ON THIS PLAT ARE CALCULATED FROM THE MEASUREMENTS MADE BY THE SURVEYOR. THE DISTANCES SHOWN ON THIS PLAT ARE CALCULATED FROM THE MEASUREMENTS MADE BY THE SURVEYOR.

LEGEND: SHADING INDICATES THE AREA TO BE ANNEXED TO THE CITY OF WOOD DALE. THE DISTANCES SHOWN ON THIS PLAT ARE CALCULATED FROM THE MEASUREMENTS MADE BY THE SURVEYOR.

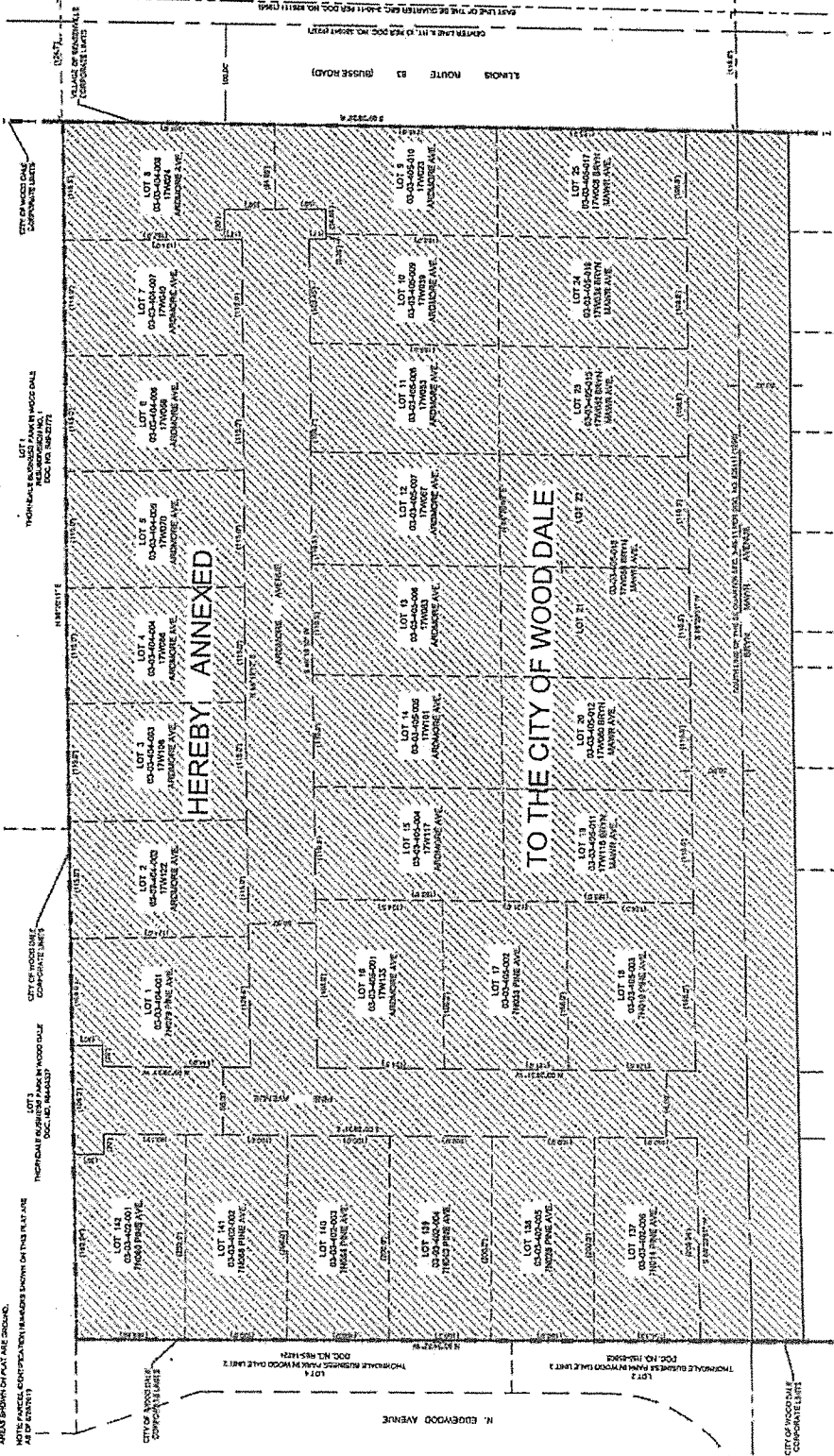


EXHIBIT C

OWNER CERTIFICATE
 I, the undersigned, being the owner of the above described property, do hereby certify that the same is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown.

CITY OF WOOD DALE
 I, the undersigned, being the Mayor of the City of Wood Dale, Illinois, do hereby certify that the above described property is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown.

CITY OF ILLINOIS
 I, the undersigned, being the Governor of the State of Illinois, do hereby certify that the above described property is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown.

CITY CLERK
 I, the undersigned, being the City Clerk of the City of Wood Dale, Illinois, do hereby certify that the above described property is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown.

CITY ENGINEER
 I, the undersigned, being the City Engineer of the City of Wood Dale, Illinois, do hereby certify that the above described property is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown.

NOTARIAL CERTIFICATE
 I, the undersigned, being a Notary Public in and for the State of Illinois, do hereby certify that the above described property is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown, and that the same is as shown on the plat hereon shown.

REVISIONS
 No. 1: CORRECTED DISTANCES
 No. 2: CORRECTED DISTANCES
 No. 3: CORRECTED DISTANCES

PLAT OF ANNEXATION

PART OF
BRANIGAR'S MOHAWK MANOR
WOOD DALE, IL

PINNACLE ENGINEERING GROUP
 1111 W. WASHINGTON ST., SUITE 100
 WOOD DALE, IL 60191
 (708) 261-1111

PLANNING DESIGN ENGINEER
 JOHN J. PAVANETTO, P.E.
 LICENSE NO. 001-001-001

PLANNING DESIGN ENGINEER
 JOHN J. PAVANETTO, P.E.
 LICENSE NO. 001-001-001

PLANNING DESIGN ENGINEER
 JOHN J. PAVANETTO, P.E.
 LICENSE NO. 001-001-001

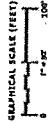
PLANNING DESIGN ENGINEER
 JOHN J. PAVANETTO, P.E.
 LICENSE NO. 001-001-001

PLANNING DESIGN ENGINEER
 JOHN J. PAVANETTO, P.E.
 LICENSE NO. 001-001-001

PLANNING DESIGN ENGINEER
 JOHN J. PAVANETTO, P.E.
 LICENSE NO. 001-001-001

FINAL PLAT OF SUBDIVISION BRYN MAWR AVENUE ADDITION TO WOOD DALE BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3-40-11, DUPAGE COUNTY, ILLINOIS.

Exhibit D

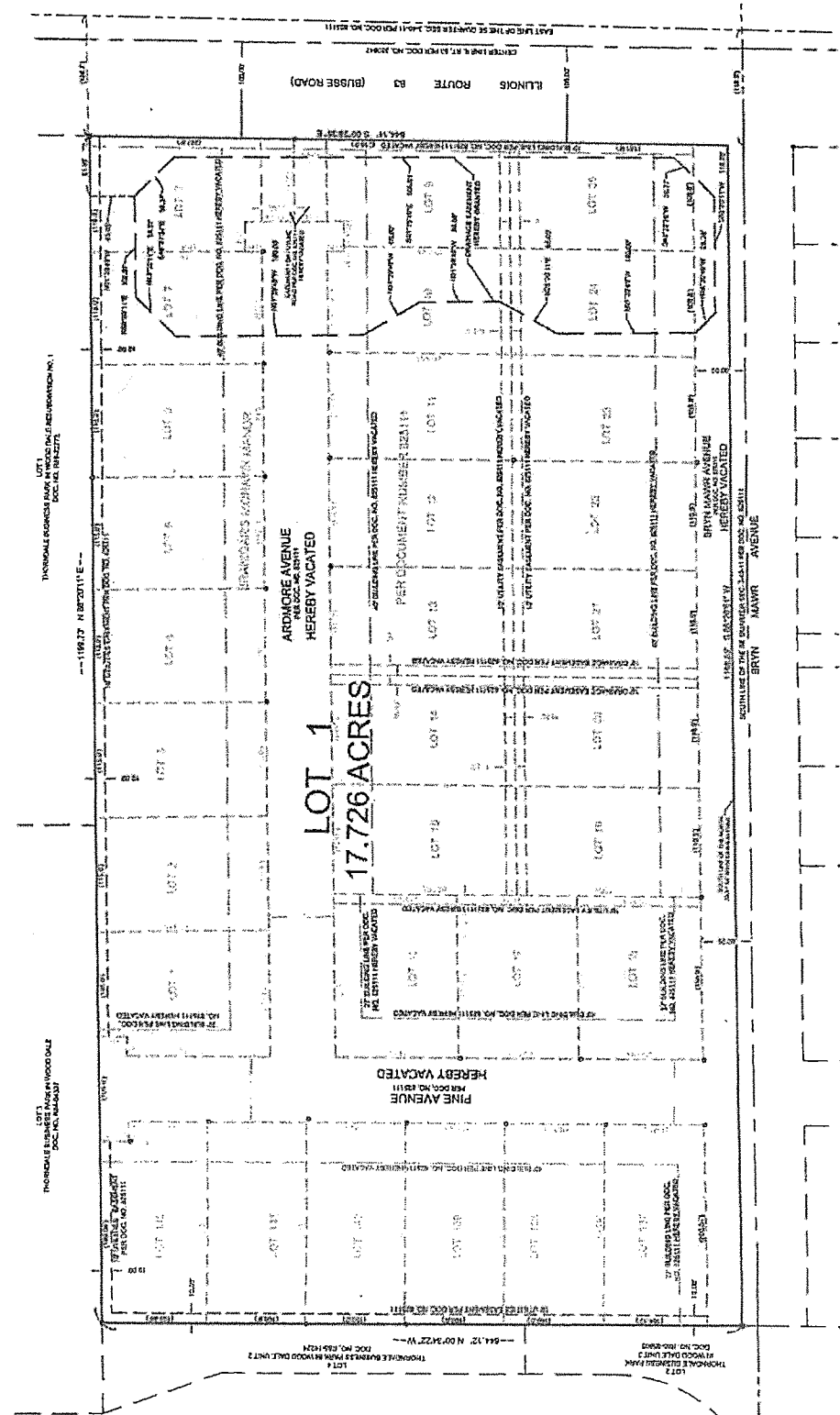


LEGEND OF LINES

- SUBDIVISION BOUNDARY
- ADJACENT BOUNDARY
- UNDEVELOPED LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE

100% REMOVED DIMENSION

REMARKS: ALL DISTANCES SHOWN ARE MEASUREMENTS TO THE CENTER OF THE CURVE UNLESS OTHERWISE NOTED. DISTANCES TO THE POINTS OF BEGINNING AND ENDING OF CURVES ARE SHOWN IN PARENTHESES. DISTANCES TO THE POINTS OF BEGINNING AND ENDING OF CURVES ARE SHOWN IN PARENTHESES. DISTANCES TO THE POINTS OF BEGINNING AND ENDING OF CURVES ARE SHOWN IN PARENTHESES.



FRANK DESIGN DELIVER

PINNACLE ENGINEERING GROUP
(REGISTERED PROFESSIONAL ENGINEER)

**BRYN MAWR AVENUE ADDITION
TO WOOD DALE
WOOD DALE, IL**

**FINAL PLAT OF
SUBDIVISION**

NO.	DATE	REVISIONS	SHEET
1			1
2			2

ENGINEERING IMPROVEMENT PLANS
FOR

INDUSTRIAL REDEVELOPMENT

BRYN MAWR AVENUE
WOOD DALE, ILLINOIS

PLANS PREPARED
FOR



200 W MADISON STREET,
CHICAGO, ILLINOIS 60606
(312) 881-7000

CONTACTS

TRANSWESTERN DEVELOPMENT COMPANY
200 W MADISON STREET, CHICAGO, ILLINOIS 60606
(312) 881-7000

TRANSWESTERN DEVELOPMENT COMPANY
200 W MADISON STREET, CHICAGO, ILLINOIS 60606
(312) 881-7000

TRANSWESTERN DEVELOPMENT COMPANY
200 W MADISON STREET, CHICAGO, ILLINOIS 60606
(312) 881-7000

CITY OF WOOD DALE - COMMUNITY DEVELOPMENT
200 W MADISON STREET, CHICAGO, ILLINOIS 60606
(312) 881-7000

CITY OF WOOD DALE - COMMUNITY DEVELOPMENT
200 W MADISON STREET, CHICAGO, ILLINOIS 60606
(312) 881-7000

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(312) 881-7000

CITY OF WOOD DALE - COMMUNITY DEVELOPMENT
200 W MADISON STREET, CHICAGO, ILLINOIS 60606
(312) 881-7000

UTILITY CONTACTS

AT&T (800) 331-7461
CITY OF WOOD DALE (312) 881-7000
ENRI (800) 374-3939
CHL/ILLINOIS (312) 881-7000

BENCHMARKS

B11 TOP OF WALLFACE, LOCUS ON THE
SOUTHWEST CORNER OF BRYN MAWR
INTERSECTION WITH
ELEVATION = 628.37

ABBREVIATIONS

BA	BASELINE
BC	BENCH MARK
CC	CURB
CD	CATCH BASIN
CF	CONCRETE FINISH
CG	CONCRETE GRADE
CH	CONCRETE HATCH
CI	CONCRETE INTERSECTION
CL	CURB LINE
CM	CONCRETE MOUNTAIN
CP	CONCRETE PAVEMENT
CQ	CONCRETE QUAD
CR	CONCRETE RAMP
CS	CONCRETE SURFACE
CT	CONCRETE TOP
CU	CONCRETE UNDER
CV	CONCRETE VERTICAL CURVE
CW	CONCRETE WALL
CA	CONCRETE ANGLE
CB	CONCRETE BENCH
CC	CONCRETE CURB
CD	CONCRETE DRAIN
CE	CONCRETE EDGE
CF	CONCRETE FINISH
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CR	CONCRETE RAMP
CS	CONCRETE SURFACE
CT	CONCRETE TOP
CU	CONCRETE UNDER
CV	CONCRETE VERTICAL CURVE
CW	CONCRETE WALL

LEGEND

STAIRWAY FINISH	EXISTING	REVISIONS
STAIR RAMP	○	○
CATCH BASIN	○	○
CONCRETE FINISH	○	○
CONCRETE GRADE	○	○
CONCRETE HATCH	○	○
CONCRETE INTERSECTION	○	○
CONCRETE MOUNTAIN	○	○
CONCRETE PAVEMENT	○	○
CONCRETE QUAD	○	○
CONCRETE RAMP	○	○
CONCRETE SURFACE	○	○
CONCRETE TOP	○	○
CONCRETE UNDER	○	○
CONCRETE VERTICAL CURVE	○	○
CONCRETE WALL	○	○
CONCRETE ANGLE	○	○
CONCRETE BENCH	○	○
CONCRETE CURB	○	○
CONCRETE DRAIN	○	○
CONCRETE EDGE	○	○
CONCRETE FINISH	○	○
CONCRETE GRADE	○	○
CONCRETE HATCH	○	○
CONCRETE INTERSECTION	○	○
CONCRETE MOUNTAIN	○	○
CONCRETE PAVEMENT	○	○
CONCRETE QUAD	○	○
CONCRETE RAMP	○	○
CONCRETE SURFACE	○	○
CONCRETE TOP	○	○
CONCRETE UNDER	○	○
CONCRETE VERTICAL CURVE	○	○
CONCRETE WALL	○	○
CONCRETE ANGLE	○	○
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CONCRETE CURB	○	○
CONCRETE DRAIN	○	○
CONCRETE EDGE	○	○
CONCRETE FINISH	○	○
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CONCRETE WALL	○	○
CONCRETE ANGLE	○	○
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CONCRETE FINISH	○	○
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CONCRETE SURFACE	○	○
CONCRETE TOP	○	○
CONCRETE UNDER	○	○
CONCRETE VERTICAL CURVE	○	○
CONCRETE WALL	○	○

INDEX OF SHEETS

C-1	COVER SHEET
C-2	PROJECT SPECIFICATIONS
C-3	EXISTING CONDITIONS
C-4	DEMOLITION PLAN
C-5	SITE DIMENSIONAL & PAVING PLAN
C-6	GRADING PLAN
C-7	UTILITY PLAN
C-8	SITE STABILIZATION PLAN
C-9	DETAILED GRADING AND CROSS SECTIONS
C-10	CONSTRUCTION STANDARDS
C-11	CONSTRUCTION STANDARDS
C-12	CONSTRUCTION STANDARDS
C-13	CONSTRUCTION STANDARDS
C-14	CONSTRUCTION STANDARDS

ATTACHMENTS

L-1	LANDSCAPE SHEET OVERVIEW
L-2	ENLARGED PLANTING PLAN
L-3	ENLARGED PLANTING PLAN
L-4	ENLARGED PLANTING PLAN
L-5	ENLARGED PLANTING PLAN
L-6	ENLARGED PLANTING PLAN
L-7	ENLARGED PLANTING PLAN
L-8	PLANTING NOTES
L-9	PLANTING DETAILS & SCHEDULE

Exhibit E

ISSUED FOR REVIEW



Know what's below. Call the best people. Before you dig.

Professional Engineer License No. 021308
Bryan Johnson
State of Illinois
EXPIRES 12/31/2015

COVER SHEET

SHEET	C-1	C-14
TOTAL SHEETS	14	
DATE	10/27/15	
SCALE	AS SHOWN	

COVER SHEET

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		

BRYN MAWR
INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

PLANT DESIGN/DELIVER

TRANSWESTERN DEVELOPMENT COMPANY
200 W MADISON STREET, CHICAGO, ILLINOIS 60606
(312) 881-7000

PINNACLE ENGINEERING GROUP
Pinnacle Engineering Group, Inc.
1100 N. LaSalle Street, Suite 200
Chicago, IL 60610
(312) 462-0000
www.pinnacle-engr.com

PROJECT SPECIFICATIONS

INDUSTRIAL REDEVELOPMENT

WOOD DALE, ILLINOIS

BRYN MAWR

REVISIONS

Table with 4 columns: NO., DESCRIPTION, DATE, BY

UNDERGROUND UTILITIES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES... 2. ALL UTILITIES SHALL BE LOCATED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR...

PAVING, CURBS & WALKS

1. ALL PAVING SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION... 2. CURBS SHALL BE CONCRETE AND SHALL BE SET TO THE FINISHED GRADE...

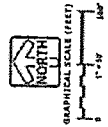
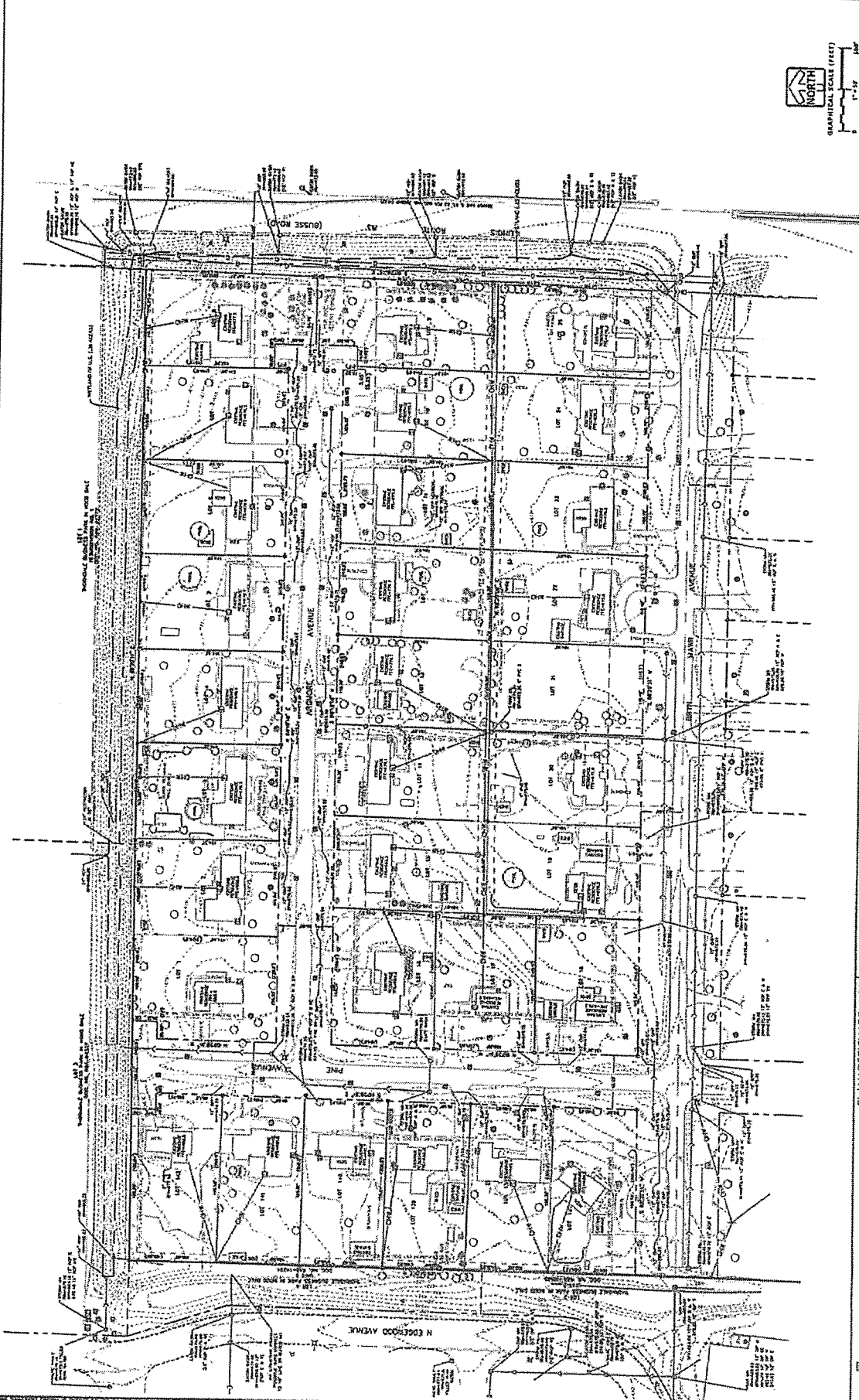
EARTHWORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES... 2. ALL UTILITIES SHALL BE LOCATED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR...

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES... 2. ALL UTILITIES SHALL BE LOCATED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR...

Project specifications details including title, sheet number, and revision table.



SHEET	C-3	C-14
NO. OF SHEETS		
DATE		
BY		
CHECKED		
DATE		

EXISTING CONDITIONS PLAN

REVISIONS	DATE	BY	CHKD
1. CORRECTED			
2. CORRECTED			
3. CORRECTED			
4. CORRECTED			
5. CORRECTED			

BRYN MAWR INDUSTRIAL REDEVELOPMENT WOOD DALE, ILLINOIS

PINNACLE ENGINEERING GROUP
DOMESTIC AND INTERNATIONAL ENGINEERS AND ARCHITECTS

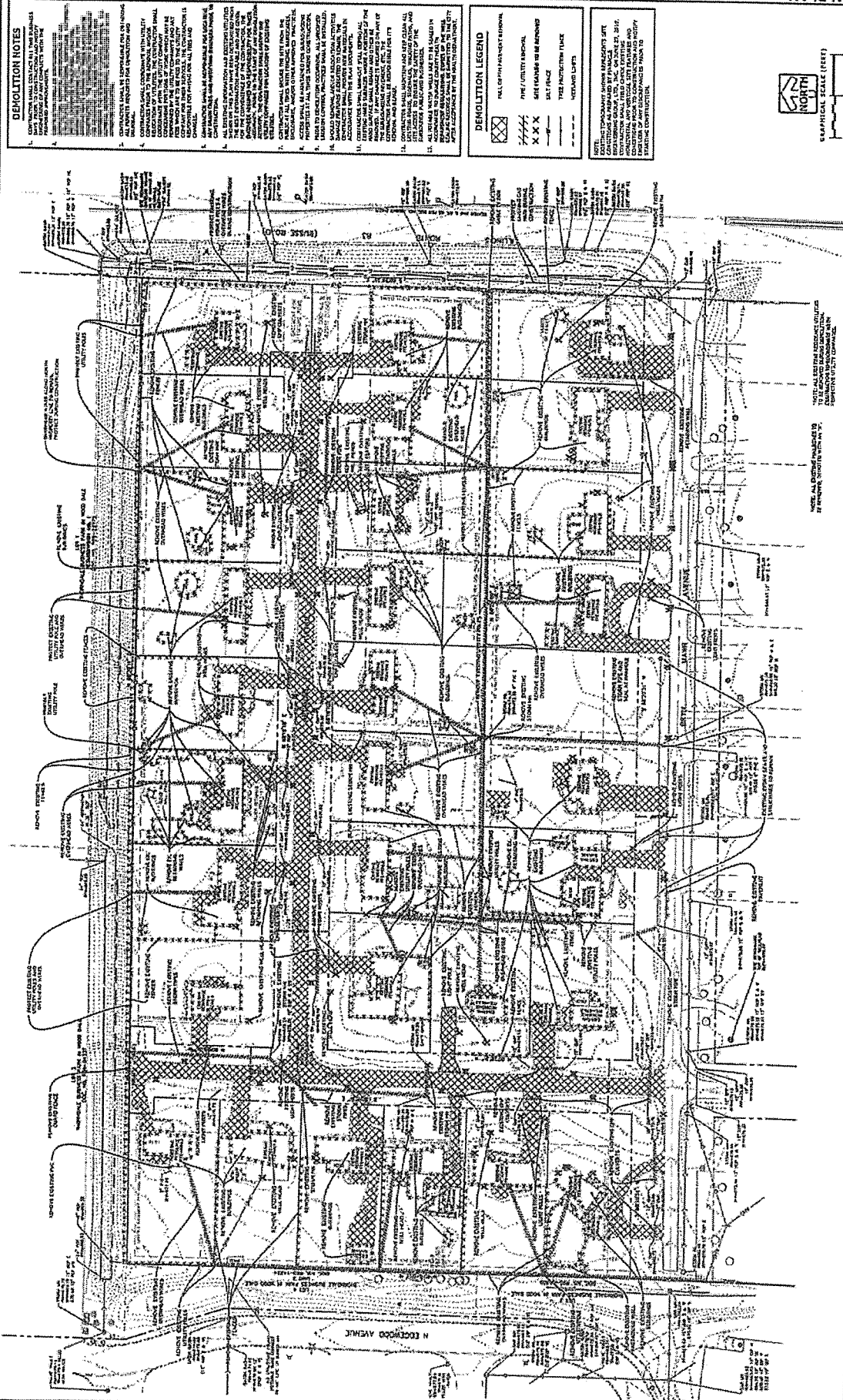
PLAN DESIGN DELIVER

DATE: 11/15/11

PROJECT: BRYN MAWR INDUSTRIAL REDEVELOPMENT

LOCATION: WOOD DALE, ILLINOIS

SCALE: AS SHOWN



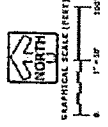
DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
2. ALL UTILITIES SHALL BE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
3. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
4. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
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15. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
16. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
17. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
18. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
19. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.
20. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.

DEMOLITION LEGEND

- 1. WALL OF PERMANENT REMOVAL
- 2. PIPE UTILITY REMOVAL
- 3. SITE REMAINS TO BE REBUILT
- 4. SLOPE FACE
- 5. TREE REMOVAL PLACE
- 6. RETAINING WALLS

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITIES ARE DELETED FROM THE SITE AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL UTILITIES FROM THE SITE.



SHEET
C-4
C-14

DEMOLITION PLAN

REVISIONS

NO.	DATE	DESCRIPTION

BRYN MAWR INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

PINNACLE ENGINEERING GROUP
INDUSTRIAL REDEVELOPMENT GROUP

PLAN DESIGN DELIVER

DATE: 10/15/11

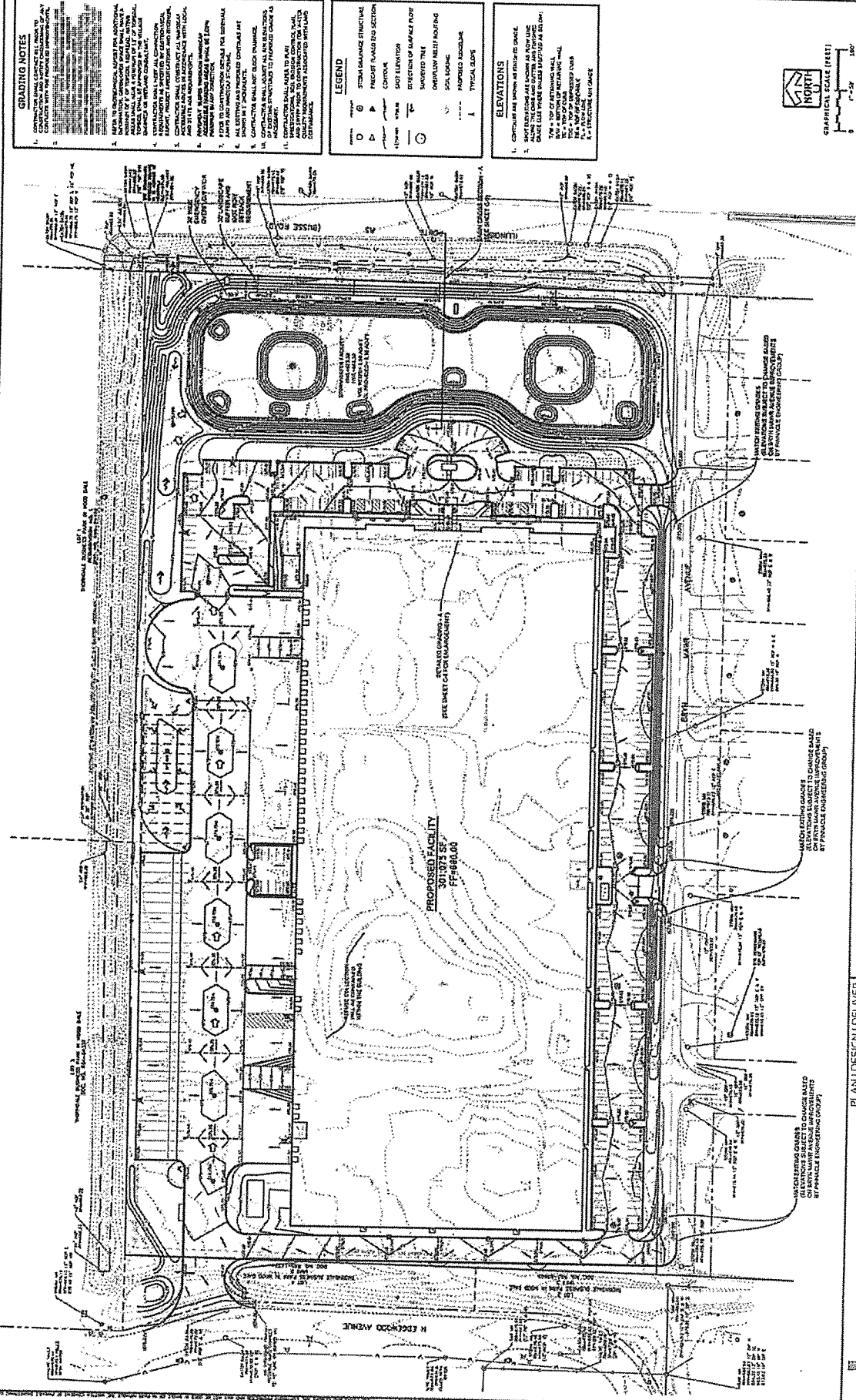
PROJECT NO: 11-001

SCALE: AS SHOWN

DESIGNED BY: [Name]

CHECKED BY: [Name]

APPROVED BY: [Name]



GRADING NOTES

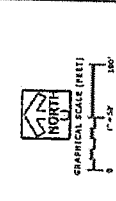
1. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SPOT ELEVATIONS TO ANY EXISTING CONDITIONS AND VERIFY TO THE PROPOSED ELEVATIONS.
2. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SPOT ELEVATIONS TO ANY EXISTING CONDITIONS AND VERIFY TO THE PROPOSED ELEVATIONS.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SPOT ELEVATIONS TO ANY EXISTING CONDITIONS AND VERIFY TO THE PROPOSED ELEVATIONS.
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11. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SPOT ELEVATIONS TO ANY EXISTING CONDITIONS AND VERIFY TO THE PROPOSED ELEVATIONS.
12. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SPOT ELEVATIONS TO ANY EXISTING CONDITIONS AND VERIFY TO THE PROPOSED ELEVATIONS.

LEGEND

STRAIGHT GRAINAGE ESTIMATED
 FREIGHT YARD 200' SECTION
 CONTROL
 SPOT ELEVATION
 DIRECTION OF DRAINAGE FLOW
 SURVEYED TIE
 OVERFLOW RELIEF ROUTING
 SOIL LOGGING
 PROPOSED ELEVATION
 TYPICAL SLOPE

ELEVATIONS

1. CONTROL ELEVATIONS ARE ELEVATIONS OF GRADE.
2. SPOT ELEVATIONS ARE LOCATED AS SHOWN ON THE PLAN. THESE ELEVATIONS ARE LOCATED AS SHOWN ON THE PLAN.
3. PROPOSED ELEVATIONS ARE LOCATED AS SHOWN ON THE PLAN. THESE ELEVATIONS ARE LOCATED AS SHOWN ON THE PLAN.
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12. PROPOSED ELEVATIONS ARE LOCATED AS SHOWN ON THE PLAN. THESE ELEVATIONS ARE LOCATED AS SHOWN ON THE PLAN.



SHEET	C-6
OF	C-14
DATE	10/1/10
SCALE	1" = 50'
PROJECT	BRYN MAWR INDUSTRIAL REDEVELOPMENT
NO. OF SHEETS	14
TOTAL SHEETS	14

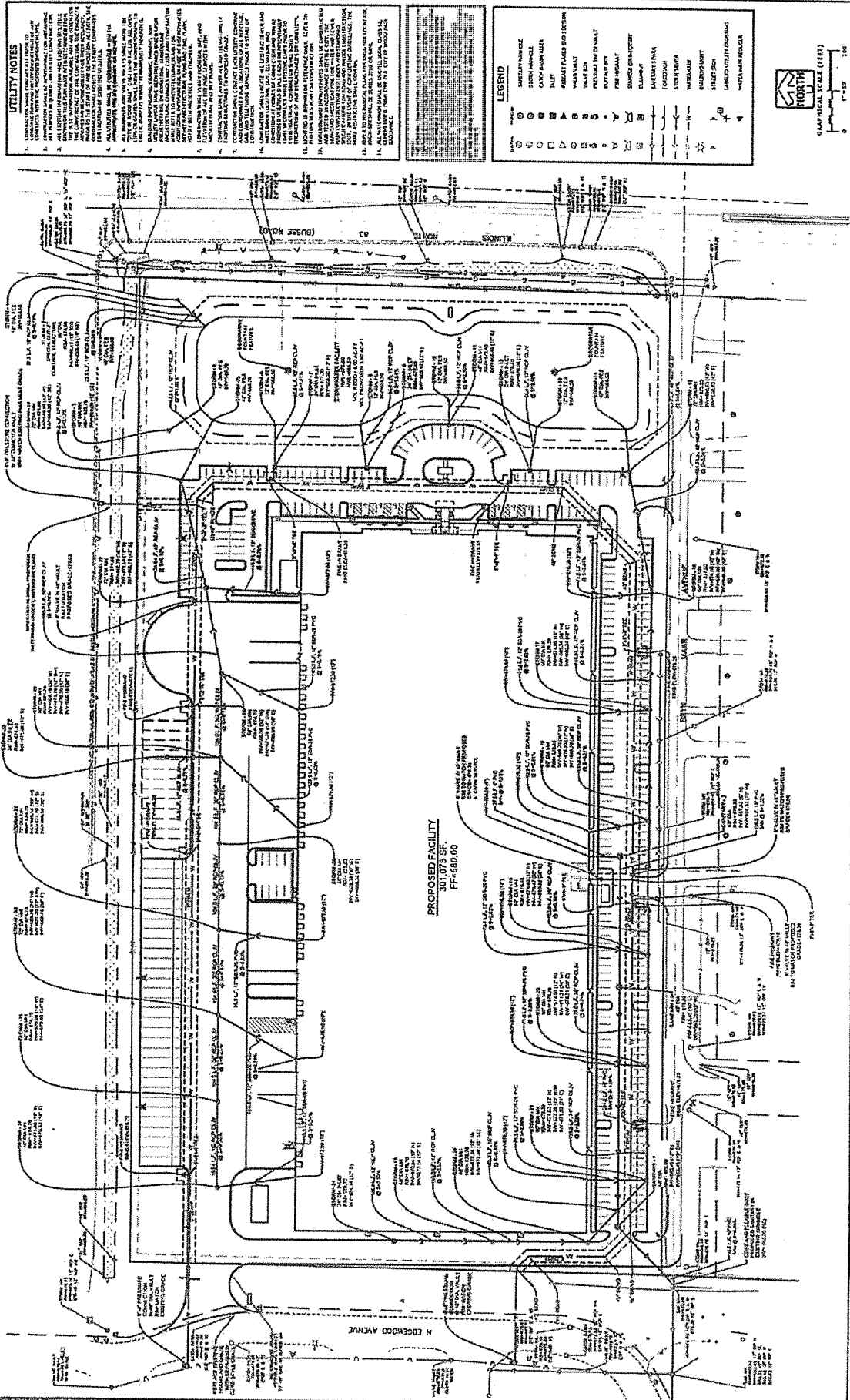
REVISIONS	
NO.	DESCRIPTION

BRYN MAWR INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

PINNACLE ENGINEERING GROUP
 1111 N. WOOD DALE AVENUE
 WOOD DALE, IL 60097
 (708) 441-1111

PLANT DESIGN I DELIVER

DATE: 10/1/10
 DRAWN BY: J. H. HARRIS
 CHECKED BY: J. H. HARRIS
 PROJECT NO.: 10-001



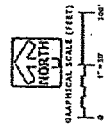
UTILITY NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO'S STANDARD SPECIFICATIONS FOR UTILITIES.
2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>

3. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 4. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 5. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 6. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 7. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 8. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 9. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 10. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 11. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 12. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 13. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>
- 14. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48\"/>

SYMBOL	DESCRIPTION
○	12\"/>

SYMBOL	DESCRIPTION
○	12\"/>



SHEET
C-7
C-14

UTILITY PLAN

NO.	DATE	DESCRIPTION
1		
2		
3		

BRYN MAWR INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

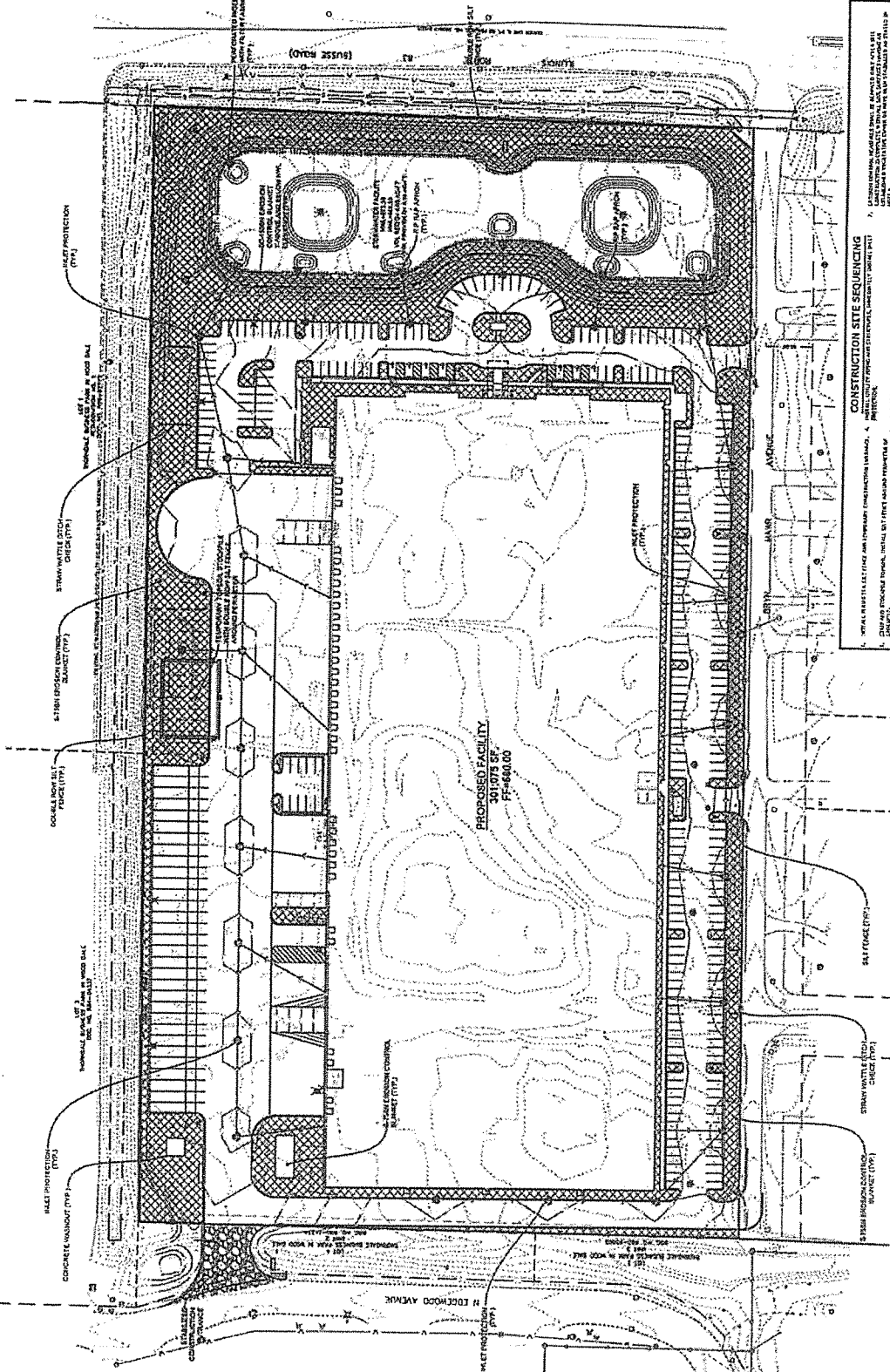
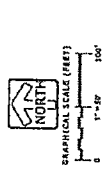
PLANNING DESIGN | DELIVER
Pinnacle Engineering Group
INDUSTRIAL REDEVELOPMENT AND UTILITY SERVICES

SITE STABILIZATION NOTES

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE UNDERLYING EROSION CONTROL MEASURES ARE PERMANENTLY STABILIZED.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE UNDERLYING EROSION CONTROL MEASURES ARE PERMANENTLY STABILIZED.
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EROSION CONTROL LEGEND

[Symbol]	SEED & SOIL
[Symbol]	VEGETATION
[Symbol]	CONCRETE CURB
[Symbol]	CONCRETE CURB WITH CURB
[Symbol]	CONCRETE CURB WITH CURB AND SLOPE
[Symbol]	CONCRETE CURB WITH CURB AND SLOPE AND SLOPE
[Symbol]	CONCRETE CURB WITH CURB AND SLOPE AND SLOPE AND SLOPE
[Symbol]	CONCRETE CURB WITH CURB AND SLOPE AND SLOPE AND SLOPE AND SLOPE
[Symbol]	CONCRETE CURB WITH CURB AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE
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[Symbol]	CONCRETE CURB WITH CURB AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE



CONSTRUCTION SITE SEQUENCING

1. INITIAL SITE STABILIZATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE UNDERLYING EROSION CONTROL MEASURES ARE PERMANENTLY STABILIZED.
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SHEET
C-8
C-14

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD

BRYN MAWR INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

PINNACLE ENGINEERING GROUP
PINNACLE ENGINEERING GROUP
1111 WOOD DALE AVENUE, SUITE 100
WOOD DALE, ILLINOIS 60191
TEL: (708) 261-1111
WWW.PINNACLE-ENG.COM

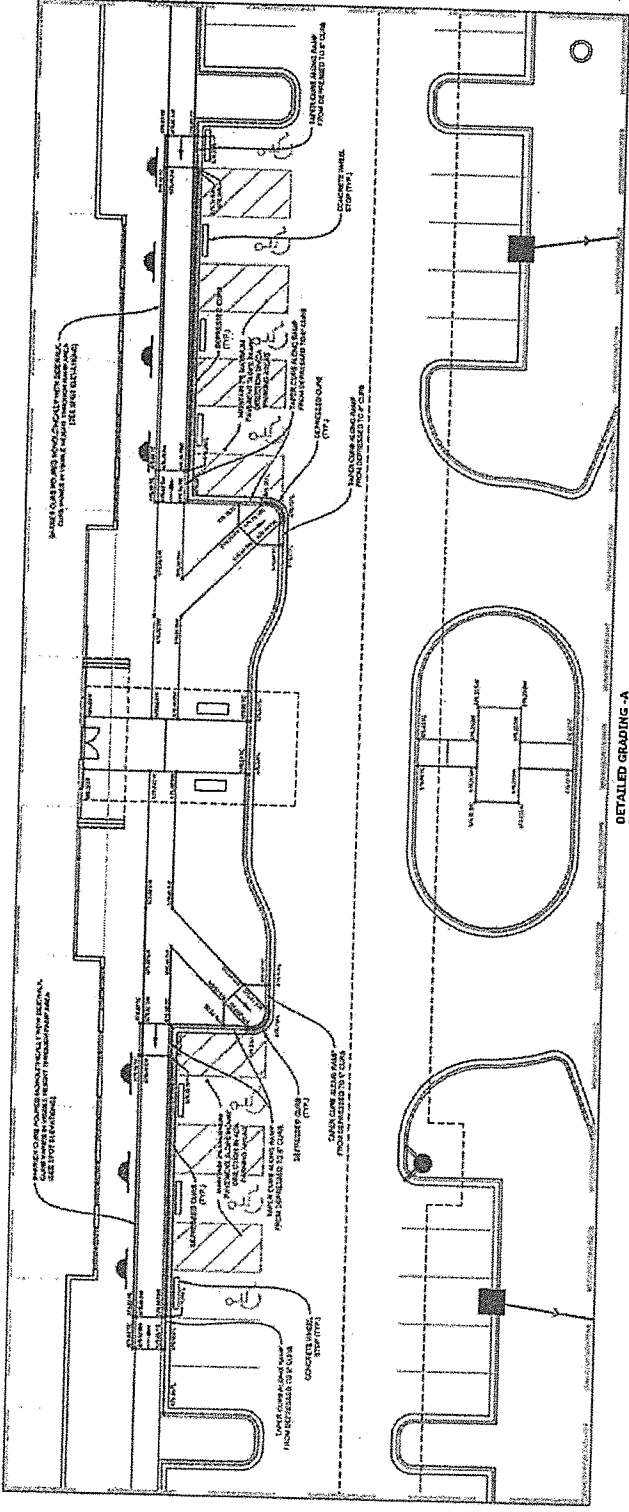
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OF	C-14

DETAILED GRADING AND CROSS SECTIONS

NO.	DATE	REVISIONS
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2		ISSUED FOR PERMIT

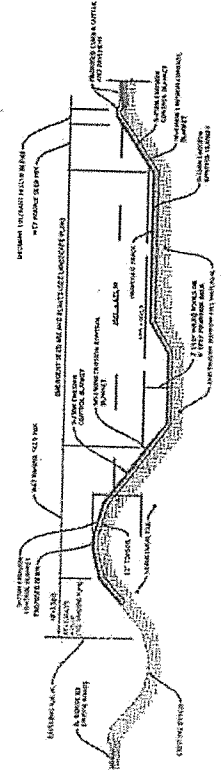
BRYN MAWR INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

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	<p>DATE: 08/14/2013</p>

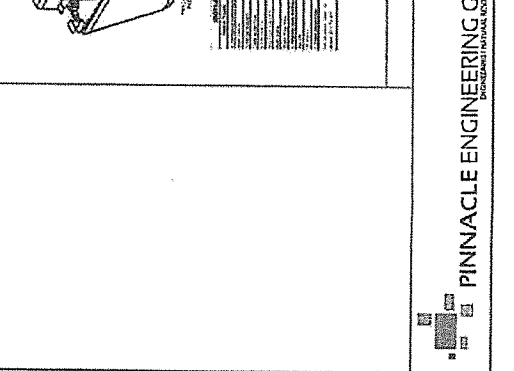
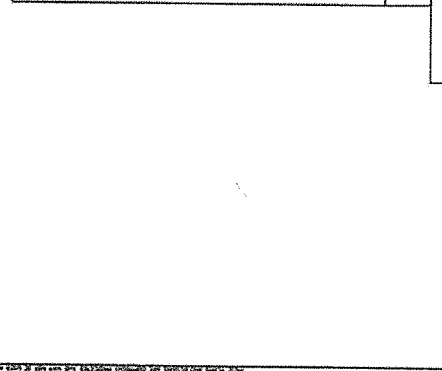
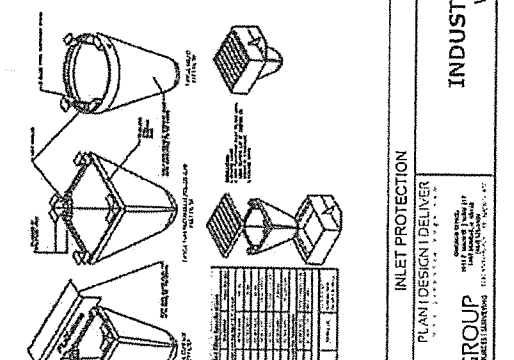
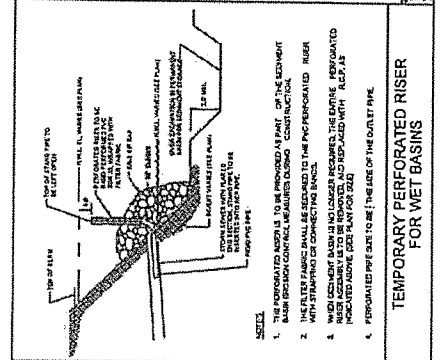
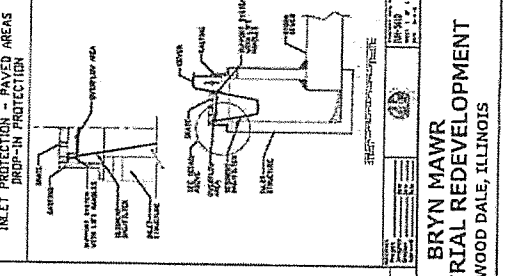
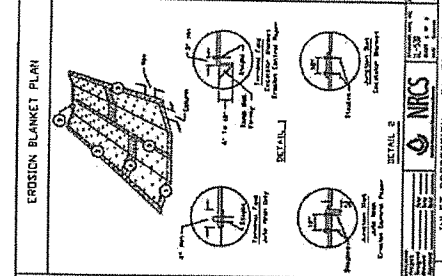
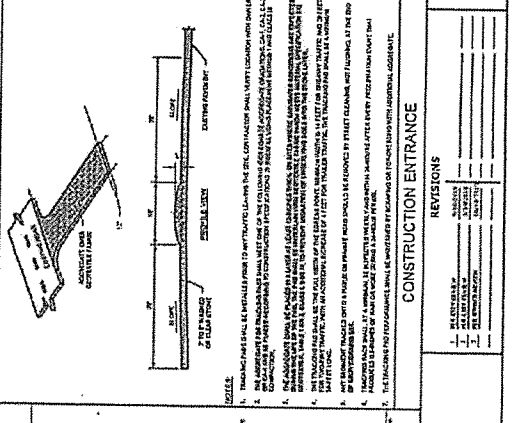
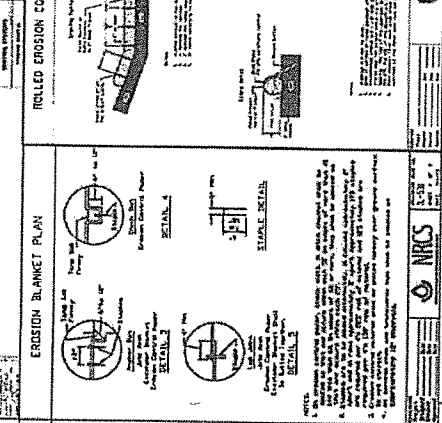
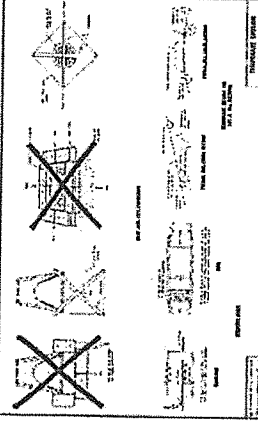
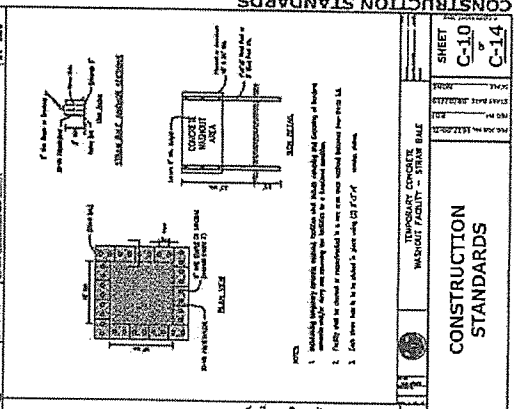
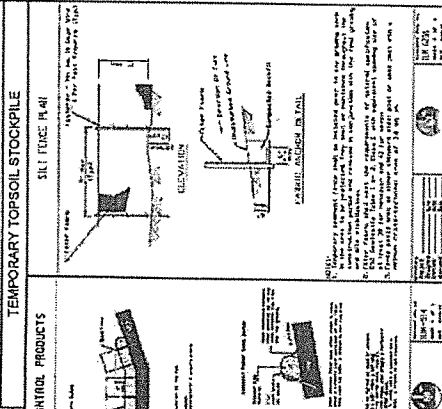
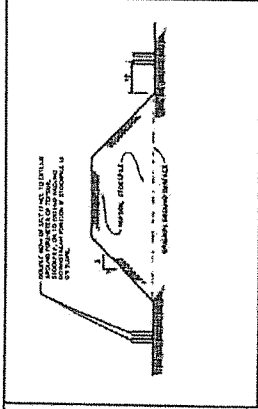


DETAILED GRADING - A
SCALE: 1" = 10'

- ELEVATIONS**
1. CONTIGUOUS ARE SHOWN AS FINISHED GRADE
 2. SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADE UNLESS OTHERWISE NOTED
 3. THE GRADE OF THE CURB AND GUTTER AND FINISHED GRADE SHALL BE 1" TO 2" BELOW THE FINISHED GRADE
 4. THE GRADE OF THE CURB AND GUTTER SHALL BE 1" TO 2" BELOW THE FINISHED GRADE
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BASIN CROSS SECTION - A
NOT TO SCALE



SHEET
C-10
C-14

CONSTRUCTION STANDARDS

CONSTRUCTION ENTRANCE

REVISIONS

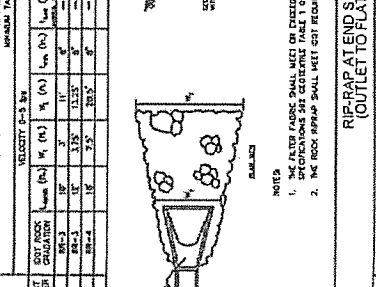
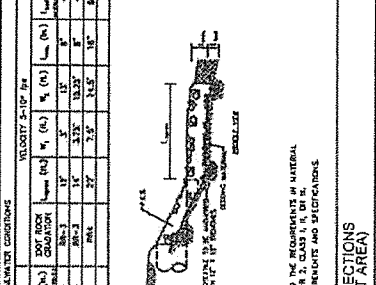
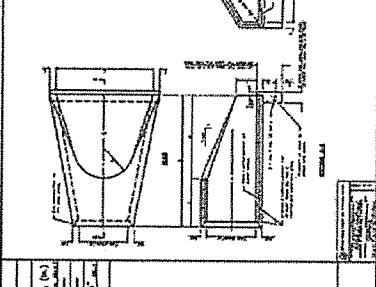
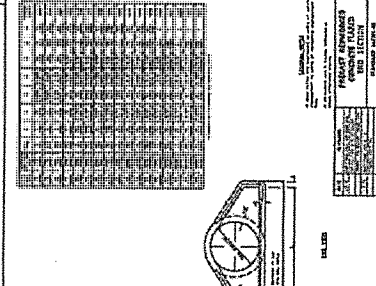
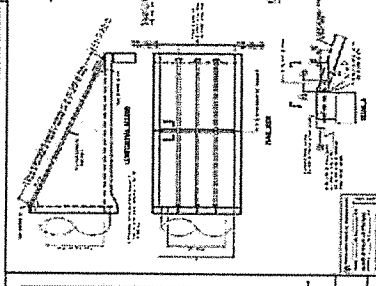
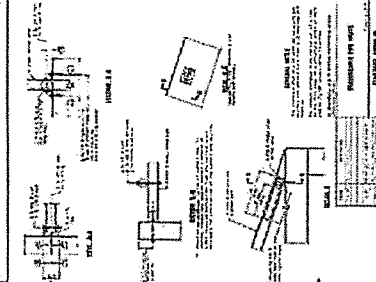
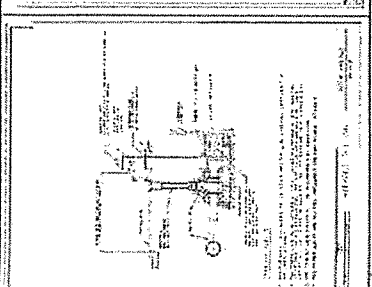
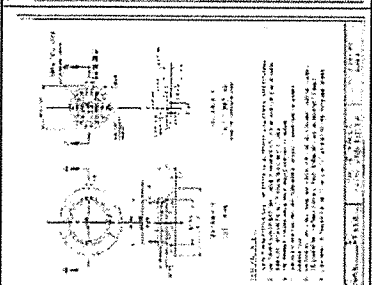
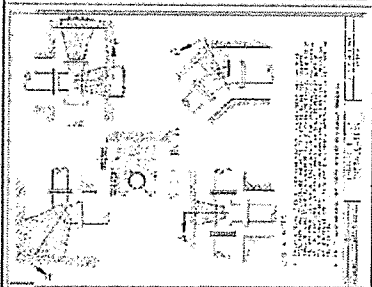
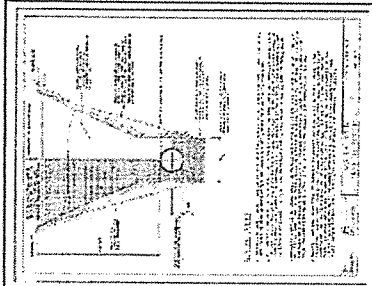
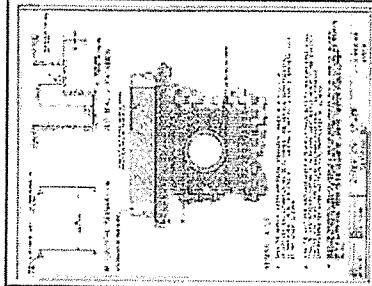
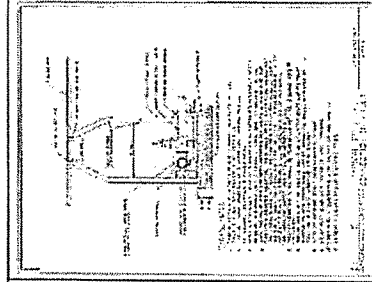
NO.	DATE	DESCRIPTION
1		PRELIMINARY
2		REVISED
3		REVISED

BRYN MAWR
INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

PINNACLE ENGINEERING GROUP
1111 W. 14TH STREET, SUITE 100
MILWAUKEE, WI 53233

INLET PROTECTION

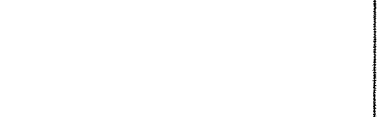
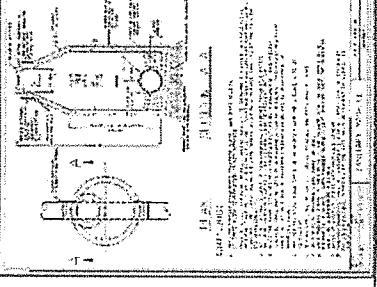
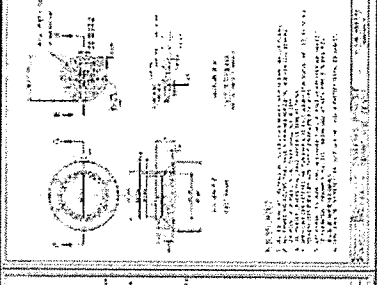
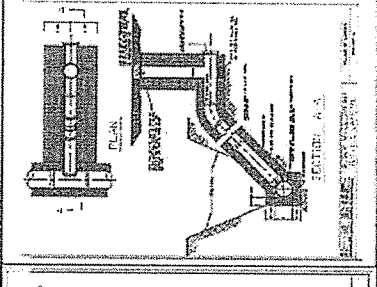
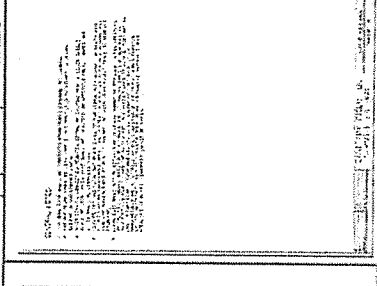
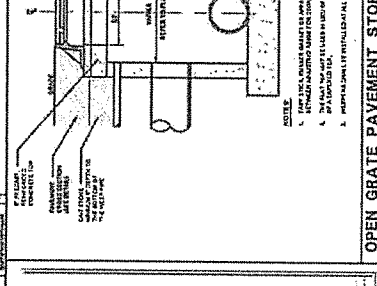
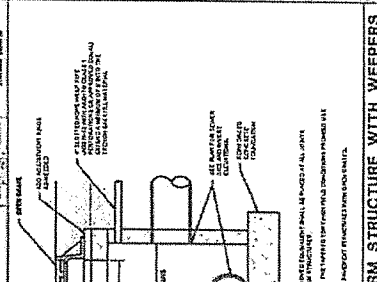
PLAN DESIGN DELIVER



MINIMUM TREATMENT CONDITIONS										
DRAINAGE AREA (Ac)	VELOCITY 0-3 MPH					VELOCITY 3-10' / MIN				
	Flow (cfs)	W (ft)	H (ft)	W (ft)	H (ft)	Flow (cfs)	W (ft)	H (ft)	W (ft)	H (ft)
15'	10	3.75	12.25	6	10	15	12	12.25	12	12
20'	15	5.25	17.75	8	14	20	18	17.75	18	18
25'	20	6.75	23.25	10	18	25	24	23.25	24	24
30'	25	8.25	28.75	12	22	30	30	28.75	30	30



NOTES:
 1. THE FILTER FABRIC SHALL MEET OR EXCEED THE REQUIREMENTS OF MATERIAL.
 2. THE ROCK RIP-RAP SHALL MEET DOT REQUIREMENTS AND SPECIFICATIONS.



NOTES:
 1. THE FILTER FABRIC SHALL MEET OR EXCEED THE REQUIREMENTS OF MATERIAL.
 2. THE ROCK RIP-RAP SHALL MEET DOT REQUIREMENTS AND SPECIFICATIONS.

REVISIONS	
NO.	DESCRIPTION

OPEN GRADE PAVEMENT STORM STRUCTURE WITH WEEPERS

INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

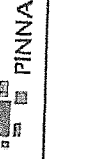
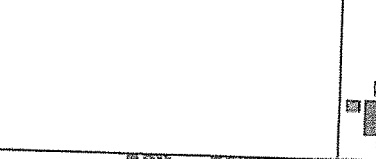
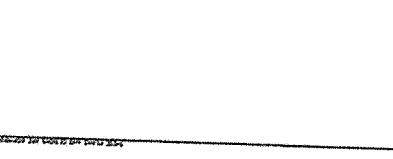
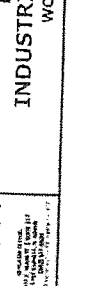
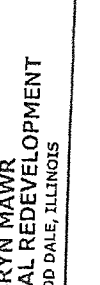
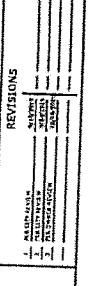
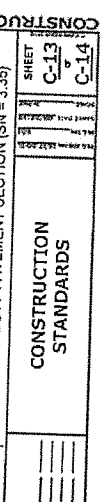
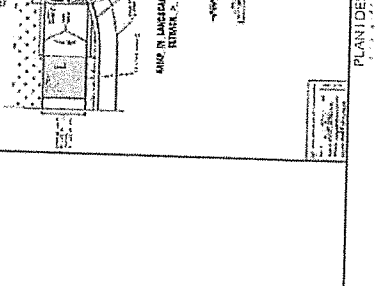
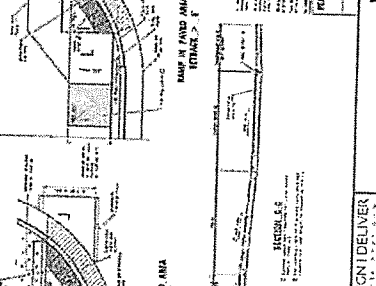
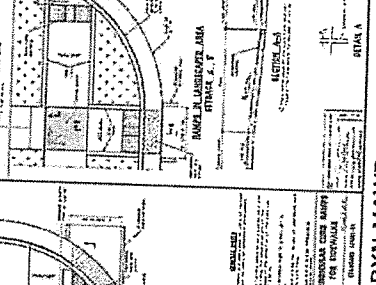
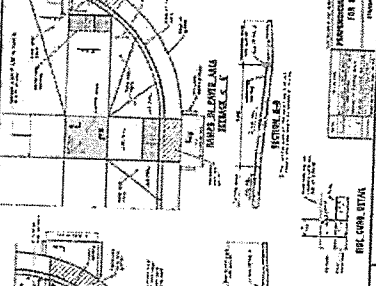
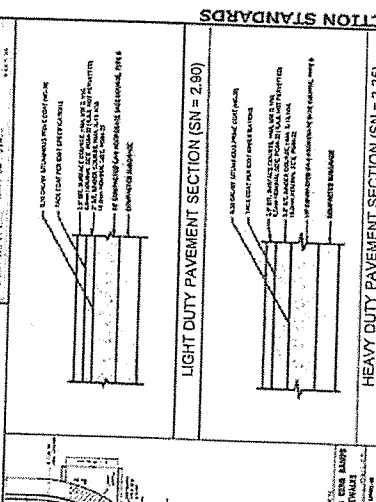
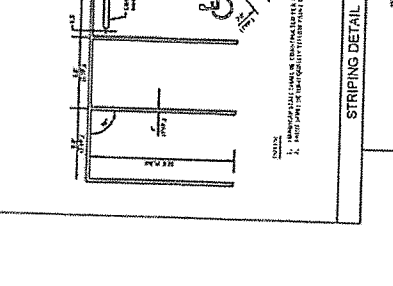
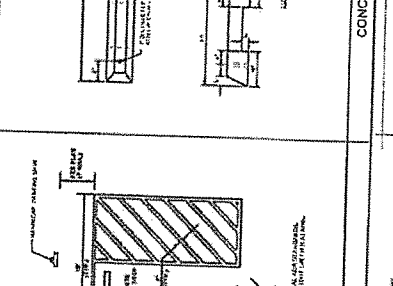
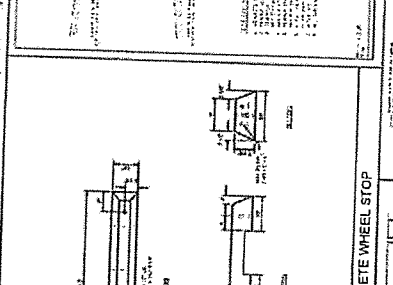
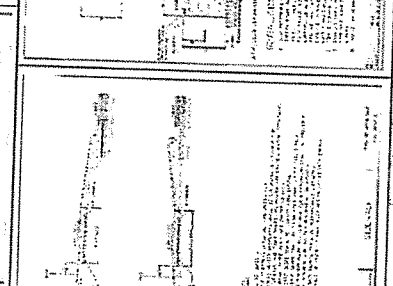
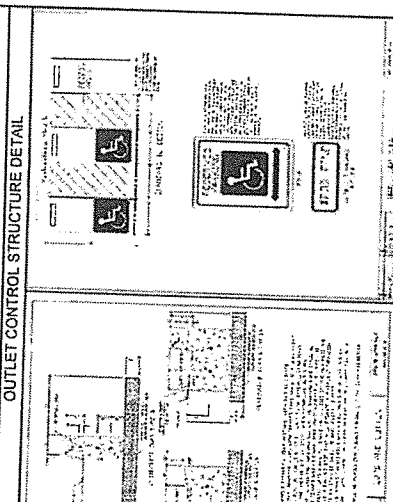
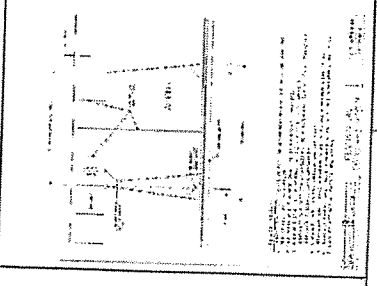
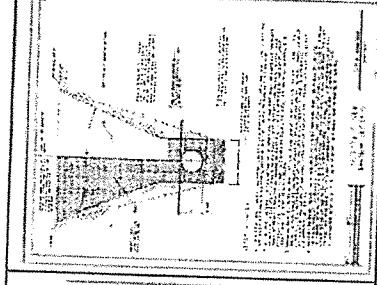
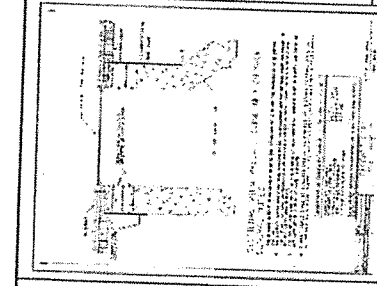
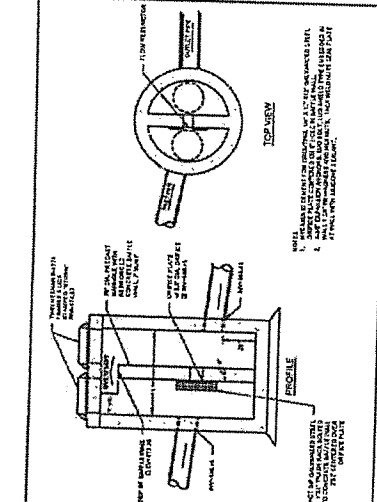
BRYN MAWR

PLANT DESIGN DELIVER

PINNACLE ENGINEERING GROUP

CONSTRUCTION STANDARDS

SHEET C-12 OF C-14



CONSTRUCTION STANDARDS

CONSTRUCTION STANDARDS	SHEET C-13 OF C-14
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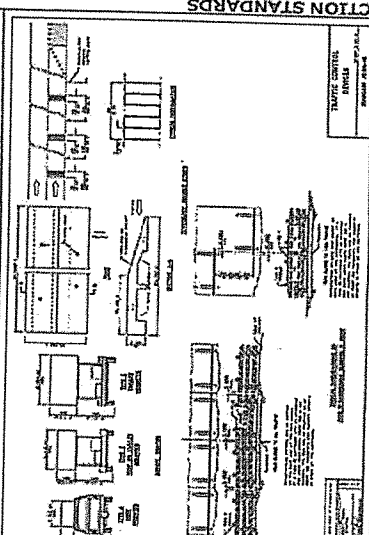
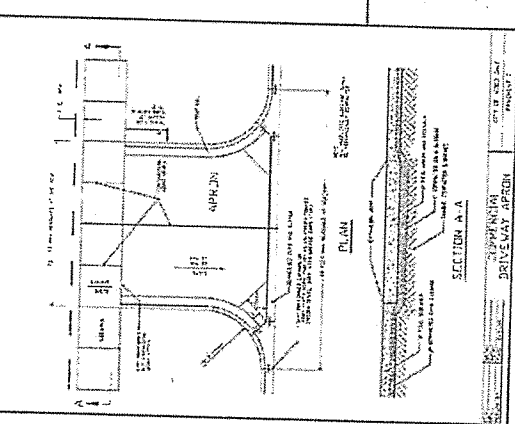
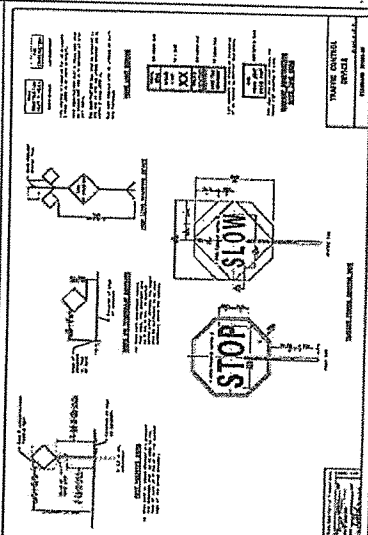
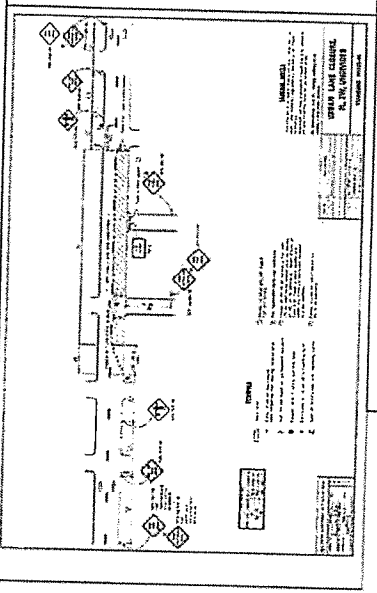
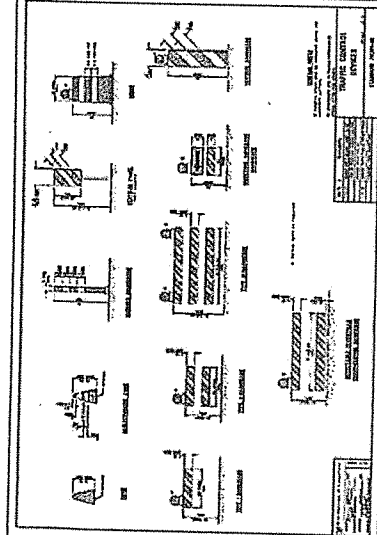
REVISIONS	
NO.	DATE

BRYN MAWR INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

PINNACLE ENGINEERING GROUP
INCORPORATED
1111 W. WASHINGTON ST., SUITE 100
CHICAGO, IL 60604
TEL: (773) 442-1111
WWW.PINNACLE-ENGR.COM

PLANT DESIGN DELIVER

DATE: 08/15/2018
TIME: 10:00 AM
BY: J. SMITH
CHECKED BY: M. JONES



PINNACLE ENGINEERING GROUP
 CONSULTING ENGINEERS AND ARCHITECTS
 1000 W. WASHINGTON ST. SUITE 200
 CHICAGO, IL 60606
 (773) 399-1000

BRYN MAWR
INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	

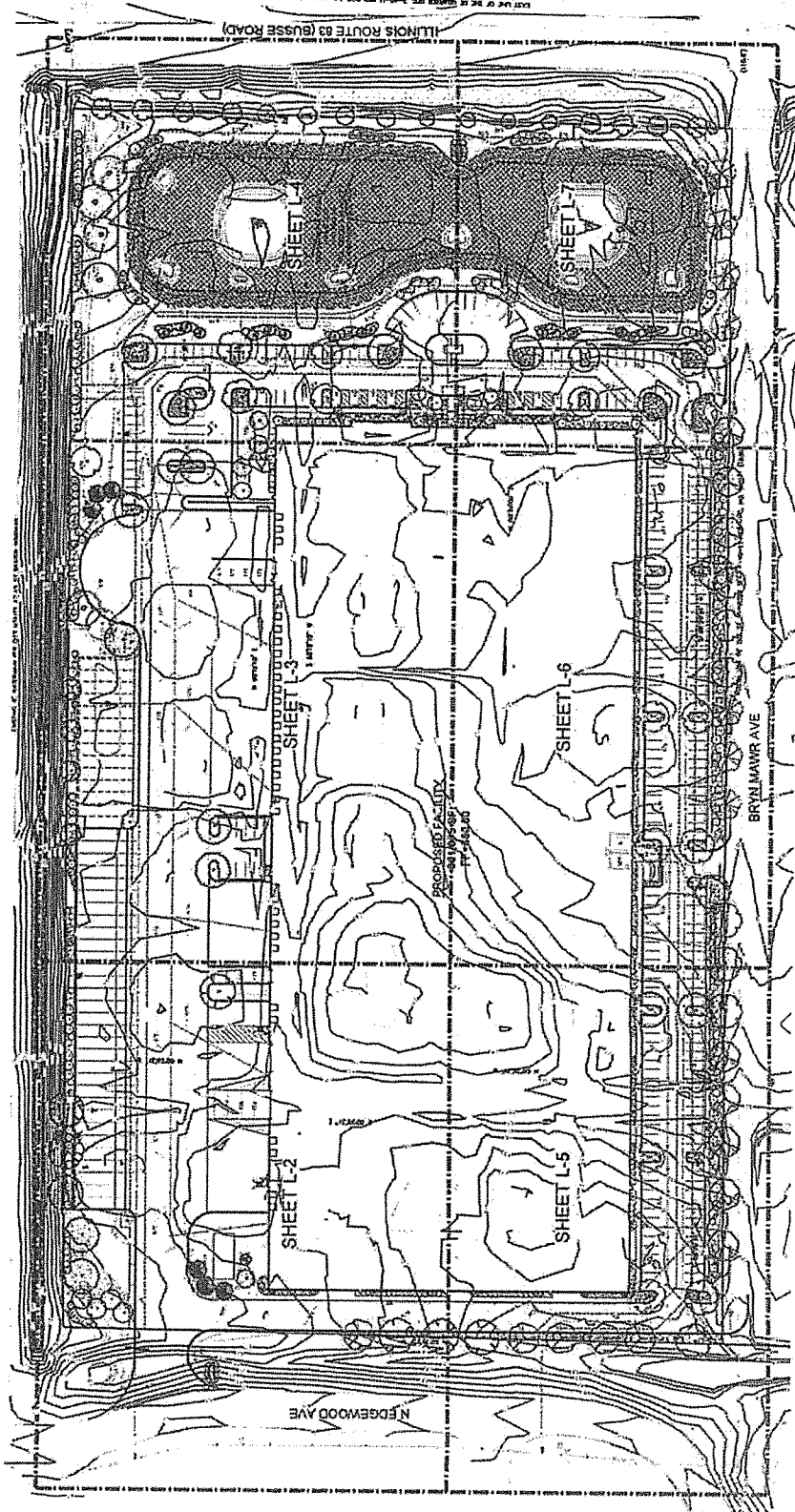
CONSTRUCTION STANDARDS

SHEET
C-14
 OF
C-14

DATE	BY	CHKD BY	APP'D BY
10/20/10	J. J. J.	J. J. J.	J. J. J.

SHEET INDEX

DATE	DESCRIPTION
11/13/11	LANDSCAPE SHEET OVERVIEW
11/13/11	PRELIMINARY LAYOUT PLAN
11/13/11	PRELIMINARY LAYOUT PLAN
11/13/11	PRELIMINARY LAYOUT PLAN
11/13/11	PRELIMINARY LAYOUT PLAN
11/13/11	PRELIMINARY LAYOUT PLAN
11/13/11	PRELIMINARY LAYOUT PLAN



LANDSCAPE SHEET OVERVIEW

REVISIONS

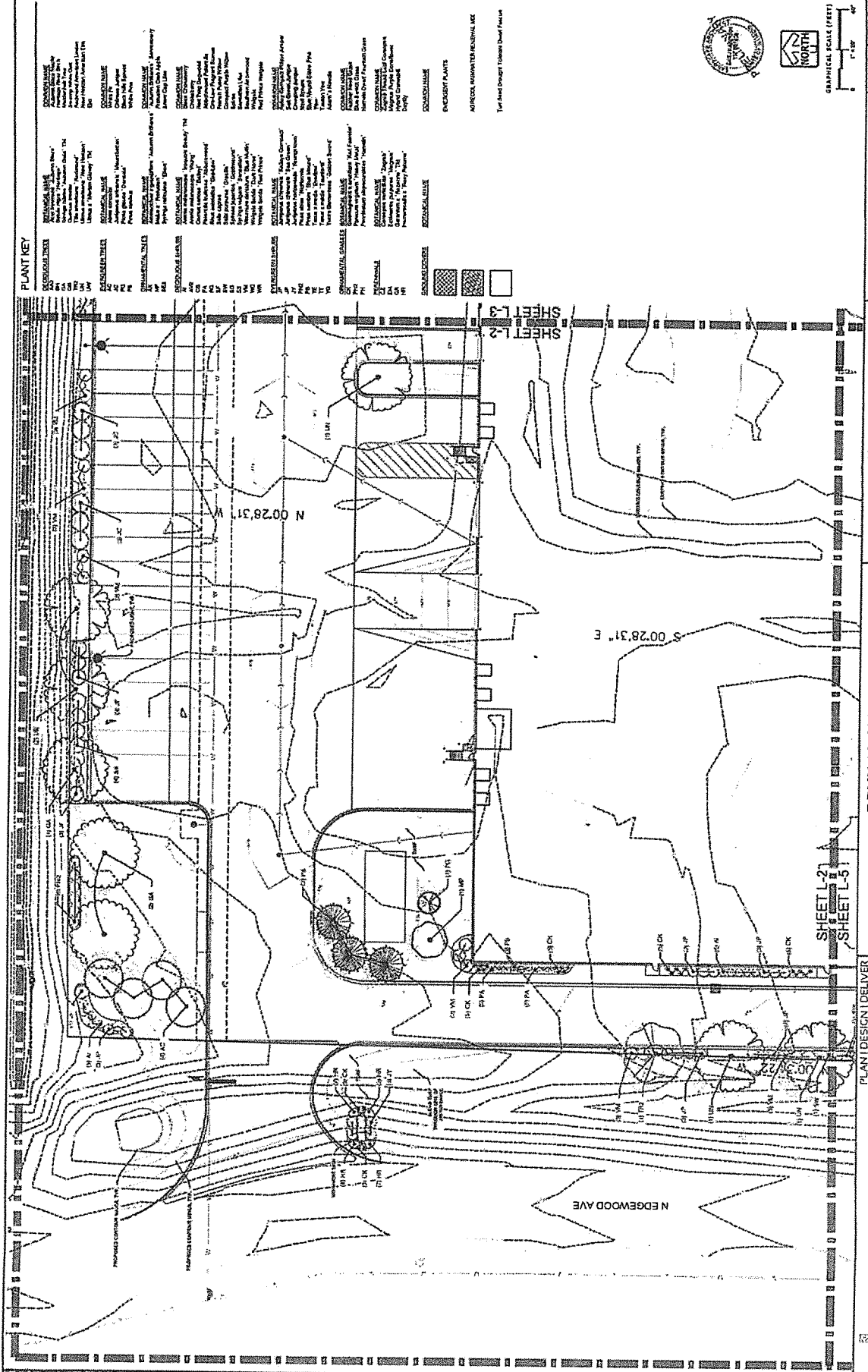
NO.	DATE	DESCRIPTION	BY	CHKD.
1				
2				
3				
4				
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**BRYN MAWR INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS**

PINNACLE ENGINEERING GROUP
INDUSTRIAL, COMMERCIAL AND RESIDENTIAL DESIGN

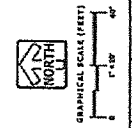
PLANNING DESIGN DELIVER

PROJECT NO. 11-0001
DATE: 11/13/11
SCALE: 1" = 50'



PLANT KEY

- | SYMBOL | DESCRIPTION |
|----------|------------------------------------|
| [Symbol] | SPRING |
| [Symbol] | WATER |
| [Symbol] | SEWER |
| [Symbol] | ELECTRICAL |
| [Symbol] | TELEPHONE |
| [Symbol] | ... (many other symbols and codes) |



SHEET	L-2
OF SHEETS	L-9

ENLARGED PLANTING PLAN

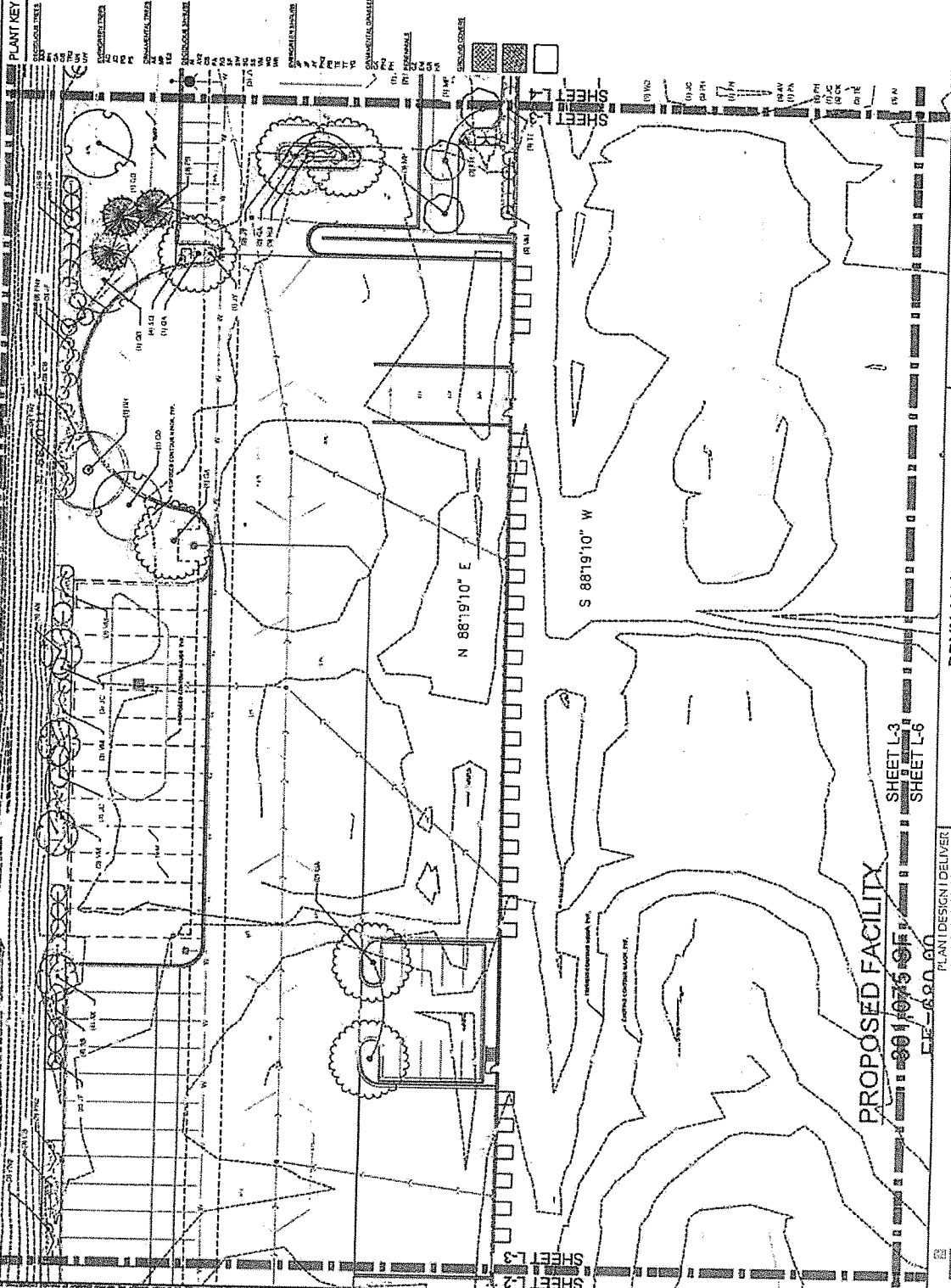
NO.	DATE	DESCRIPTION
1	10/22/11	ISSUED FOR PERMITS
2	10/22/11	FOR OWNER REVIEW
3	10/22/11	FOR OWNER REVIEW
4	10/22/11	FOR OWNER REVIEW

BRYN MAWR INDUSTRIAL REDEVELOPMENT
WOOD DALE, ILLINOIS

PLANT DESIGN DELIVER
 PINNACLE ENGINEERING GROUP
 1110 W. 116TH STREET, SUITE 100
 MARIETTA, GA 30067
 (770) 429-3333
 www.pinnacle-engr.com

PLANT KEY

- SPERMATOPHYTES**
 - Pinus strobus 'Blue'
 - Pinus strobus 'Murray'
 - Pinus strobus 'Rescue'
 - Pinus strobus 'Seymour's Blue'
 - Pinus strobus 'Suevic'
 - Pinus strobus 'Suevic Blue'
 - Pinus strobus 'Suevic Green'
 - Pinus strobus 'Suevic Gold'
 - Pinus strobus 'Suevic Silver'
 - Pinus strobus 'Suevic White'
 - Pinus strobus 'Suevic Yellow'
 - Pinus strobus 'Suevic Orange'
 - Pinus strobus 'Suevic Red'
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 - Pinus strobus 'Suevic Green-Green-Green-Orange'
 - Pinus strobus 'Suevic Green-Green-Green-Red'
 - Pinus strobus 'Suevic Green-Green-Green-Purple'
 - Pinus strobus 'Suevic Green-Green-Green-Pink'
- Gymnosperms**
 - Pinus strobus
 - Pinus strobus 'Blue'
 - Pinus strobus 'Murray'
 - Pinus strobus 'Rescue'
 - Pinus strobus 'Seymour's Blue'
 - Pinus strobus 'Suevic'
 - Pinus strobus 'Suevic Blue'
 - Pinus strobus 'Suevic Green'
 - Pinus strobus 'Suevic Gold'
 - Pinus strobus 'Suevic Silver'
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 - Pinus strobus 'Suevic Green-Green-Orange'
 - Pinus strobus 'Suevic Green-Green-Red'
 - Pinus strobus 'Suevic Green-Green-Purple'
 - Pinus strobus 'Suevic Green-Green-Pink'
- Angiosperms**
 - Quercus macrocarpa
 - Quercus macrocarpa 'Chrysolepis'
 - Quercus macrocarpa 'Lutescens'
 - Quercus macrocarpa 'Murray'
 - Quercus macrocarpa 'Seymour's Blue'
 - Quercus macrocarpa 'Suevic'
 - Quercus macrocarpa 'Suevic Blue'
 - Quercus macrocarpa 'Suevic Green'
 - Quercus macrocarpa 'Suevic Gold'
 - Quercus macrocarpa 'Suevic Silver'
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 - Quercus macrocarpa 'Suevic Green-Green-Yellow'
 - Quercus macrocarpa 'Suevic Green-Green-Orange'
 - Quercus macrocarpa 'Suevic Green-Green-Red'
 - Quercus macrocarpa 'Suevic Green-Green-Purple'
 - Quercus macrocarpa 'Suevic Green-Green-Pink'
- Deciduous**
 - Quercus macrocarpa
 - Quercus macrocarpa 'Chrysolepis'
 - Quercus macrocarpa 'Lutescens'
 - Quercus macrocarpa 'Murray'
 - Quercus macrocarpa 'Seymour's Blue'
 - Quercus macrocarpa 'Suevic'
 - Quercus macrocarpa 'Suevic Blue'
 - Quercus macrocarpa 'Suevic Green'
 - Quercus macrocarpa 'Suevic Gold'
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 - Quercus macrocarpa 'Suevic Green-Green-Orange'
 - Quercus macrocarpa 'Suevic Green-Green-Red'
 - Quercus macrocarpa 'Suevic Green-Green-Purple'
 - Quercus macrocarpa 'Suevic Green-Green-Pink'
- Evergreen**
 - Pinus strobus
 - Pinus strobus 'Blue'
 - Pinus strobus 'Murray'
 - Pinus strobus 'Rescue'
 - Pinus strobus 'Seymour's Blue'
 - Pinus strobus 'Suevic'
 - Pinus strobus 'Suevic Blue'
 - Pinus strobus 'Suevic Green'
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 - Pinus strobus 'Suevic Green-Green-Purple'
 - Pinus strobus 'Suevic Green-Green-Pink'



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

BRYN MAWR
INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

PROPOSED FACILITY
 SHEET L-3
 SHEET L-6
 SHEET L-8
 SHEET L-9

PINNACLE ENGINEERING GROUP
 INCORPORATED
 11111 WOOD DALE AVENUE
 WOOD DALE, ILLINOIS 60097
 TEL: 815.944.1111
 FAX: 815.944.1112
 WWW.PINNACLE-ENGR.COM

PLAN DESIGN DELIVERED
 11/15/2011
 11/15/2011

ENLARGED PLANTING PLAN

SHEET L-3

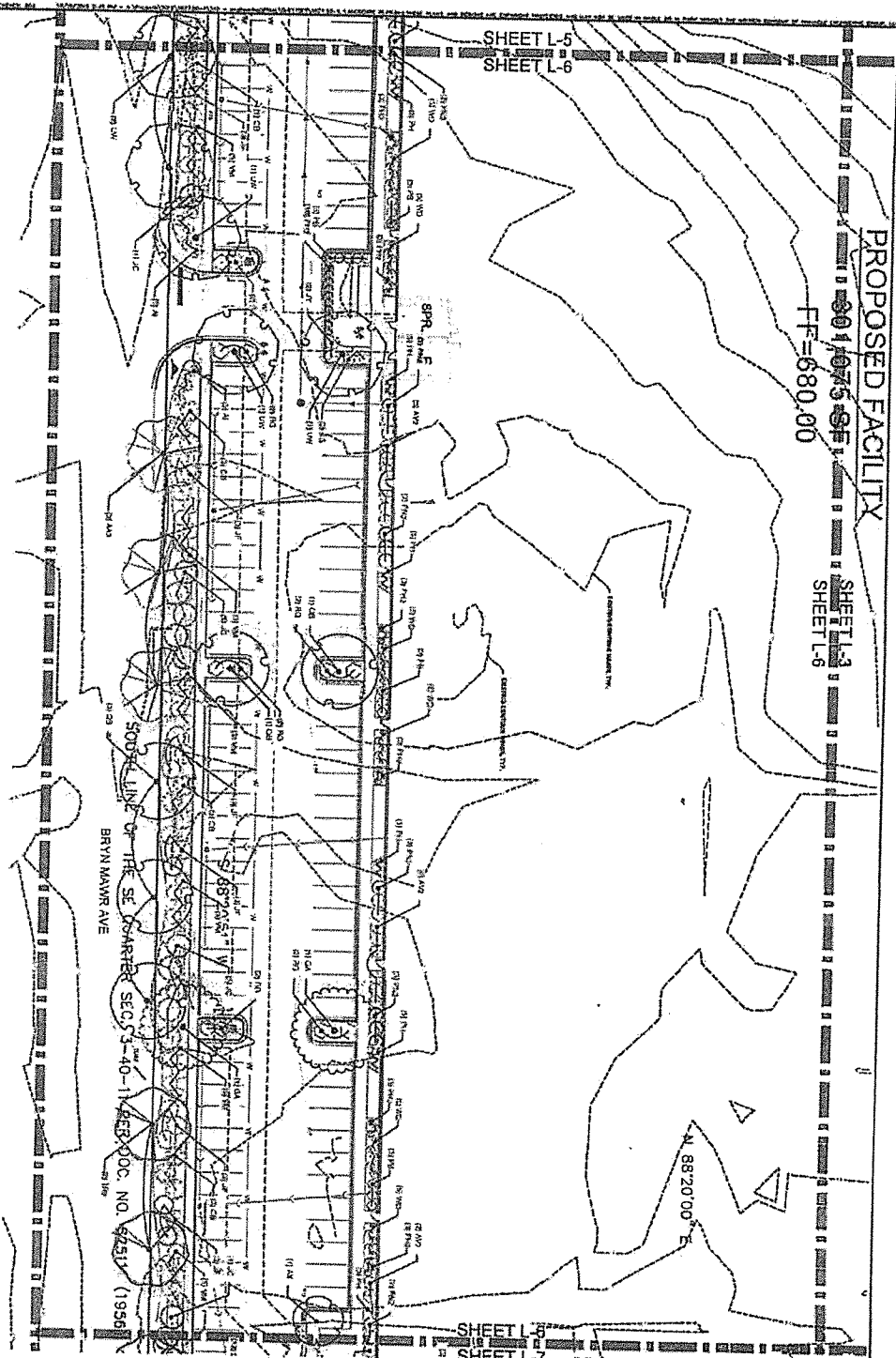
11/15/2011

PROPOSED FACILITY

FF=680.00

SHEET L-3
SHEET L-6

SHEET L-5
SHEET L-6



SHEET L-6
SHEET L-7

PLANT KEY

PLANT SYMBOL	PLANT NAME	PLANT SPECIES
[Symbol]	ORIENTAL BANYAN	Ficus religiosa
[Symbol]	ORIENTAL PLUM	Prunus moultonii
[Symbol]	ORIENTAL PEAR	Eriobotrya japonica
[Symbol]	ORIENTAL PINE	Pinus densata
[Symbol]	ORIENTAL SPRUCE	Picea orientalis
[Symbol]	ORIENTAL YEW	Taxus chinensis
[Symbol]	ORIENTAL PALM	Livistona chinensis
[Symbol]	ORIENTAL CYPRESS	Juniperus chinensis
[Symbol]	ORIENTAL CEDAR	Thuja chinensis
[Symbol]	ORIENTAL JUNIPER	Juniperus chinensis
[Symbol]	ORIENTAL MAGNOLIA	Magnolia chinensis
[Symbol]	ORIENTAL GINKGO	Ginkgo biloba
[Symbol]	ORIENTAL CAMELLIA	Camellia chinensis
[Symbol]	ORIENTAL HYDRANGEA	Hydrangea chinensis
[Symbol]	ORIENTAL AZALEA	Indocalamus chinensis
[Symbol]	ORIENTAL RHODODENDRON	Rhododendron chinensis
[Symbol]	ORIENTAL SPYRAEAE	Spyraea chinensis
[Symbol]	ORIENTAL VIBURNUM	Viburnum chinensis
[Symbol]	ORIENTAL LIGULALARIS	Ligularia chinensis
[Symbol]	ORIENTAL AQUILEGIA	Aquilegia chinensis
[Symbol]	ORIENTAL ANEMONE	Anemone chinensis
[Symbol]	ORIENTAL PHEASANT	Pheasant
[Symbol]	ORIENTAL QUAIL	Quail
[Symbol]	ORIENTAL PHEASANT	Pheasant
[Symbol]	ORIENTAL QUAIL	Quail
[Symbol]	ORIENTAL PHEASANT	Pheasant
[Symbol]	ORIENTAL QUAIL	Quail
[Symbol]	ORIENTAL PHEASANT	Pheasant
[Symbol]	ORIENTAL QUAIL	Quail
[Symbol]	ORIENTAL PHEASANT	Pheasant
[Symbol]	ORIENTAL QUAIL	Quail

Pinnacle Engineering Group
 1000 North State Street
 Suite 1000
 Chicago, Illinois 60610
 (312) 467-1100
 www.pinnacle-engr.com

INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS

NO.	DATE	DESCRIPTION

ENLARGED PLANTING PLAN

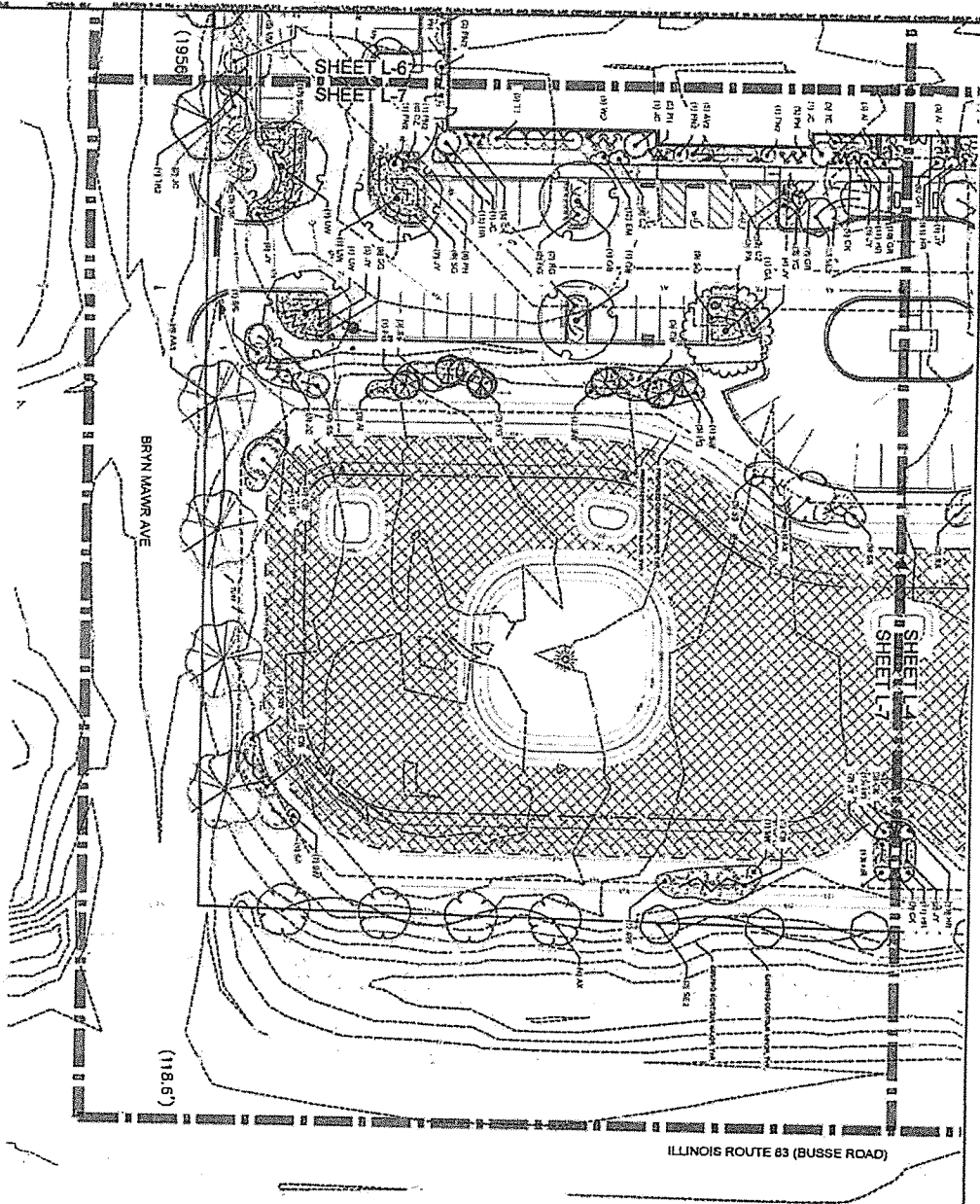
ORIENTAL SCALE (FEET)

1" = 20'

PLANT KEY

REVISIONS

ENLARGED PLANTING PLAN



PINNACLE ENGINEERING GROUP
 CONSULTING ENGINEERS AND ARCHITECTS
 1500 N. LAKE ST. SUITE 200
 WOOD DALE, ILLINOIS 60095
 (708) 480-2000
 WWW.PINNACLE-ENGR.COM

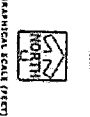
PLANNING DESIGN DELIVER

BRYN MAWR
 INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

REVISIONS	
1	ISSUED FOR PERMIT
2	REVISED PER COMMENTS
3	REVISED PER COMMENTS
4	REVISED PER COMMENTS
5	REVISED PER COMMENTS
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30	REVISED PER COMMENTS

ENLARGED PLANTING PLAN

SCALE: 1/4" = 1'-0"
 SHEET L-9



PLANT KEY

	PLANT 1 Plant 1: ...		PLANT 2 Plant 2: ...
	PLANT 3 Plant 3: ...		PLANT 4 Plant 4: ...
	PLANT 5 Plant 5: ...		PLANT 6 Plant 6: ...
	PLANT 7 Plant 7: ...		PLANT 8 Plant 8: ...
	PLANT 9 Plant 9: ...		PLANT 10 Plant 10: ...
	PLANT 11 Plant 11: ...		PLANT 12 Plant 12: ...
	PLANT 13 Plant 13: ...		PLANT 14 Plant 14: ...
	PLANT 15 Plant 15: ...		PLANT 16 Plant 16: ...
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	PLANT 245 Plant 245: ...		PLANT 246 Plant 246: ...
	PLANT 247 Plant 247: ...		PLANT 248 Plant 248: ...
	PLANT 249 Plant 249: ...		

PLANT SCHEDULE

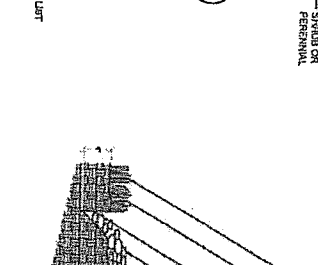
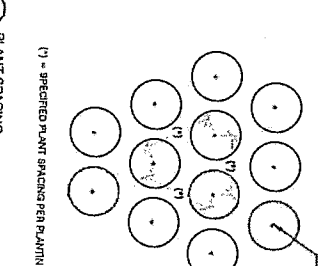
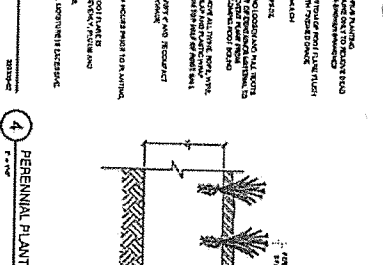
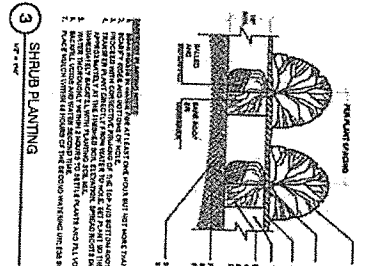
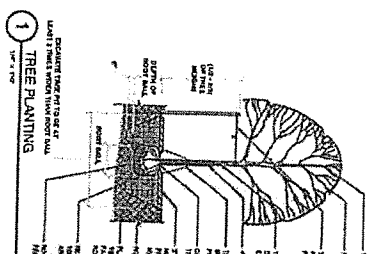
SYMBOL	DESCRIPTION	PLANT	PLANT CODE	PLANT SIZE	PLANT QUANTITY	PLANT NOTES
[Symbol]	Small Tree	Small Tree	ST	12" DBH	10	...
[Symbol]	Medium Tree	Medium Tree	MT	18" DBH	5	...
[Symbol]	Large Tree	Large Tree	LT	24" DBH	3	...
[Symbol]	Shrub	Shrub	SR	6" DBH	20	...
[Symbol]	Perennial	Perennial	PR	12" DBH	15	...
[Symbol]	Evergreen	Evergreen	EG	18" DBH	8	...
[Symbol]	Grass	Grass	GR	12" DBH	100	...
[Symbol]	Flower Bed	Flower Bed	FB	12" DBH	1	...
[Symbol]	Planting Bed	Planting Bed	PB	12" DBH	1	...

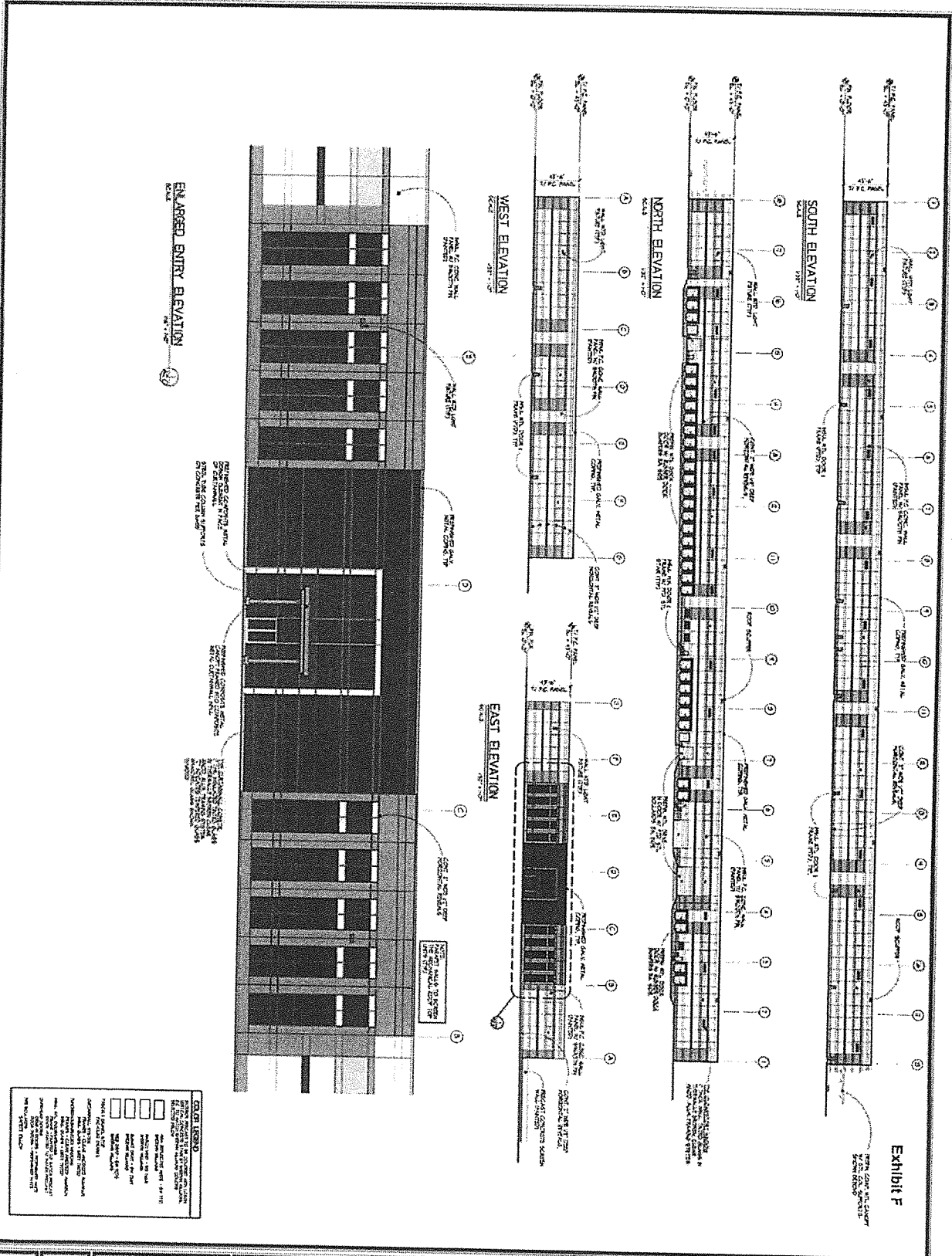
PINNACLE ENGINEERING GROUP
 CONSULTING ENGINEERS
 1111 W. WASHINGTON ST., SUITE 100
 CHICAGO, IL 60606
 TEL: (312) 467-1111
 FAX: (312) 467-1112
 WWW.PINNACLE-ENGR.COM

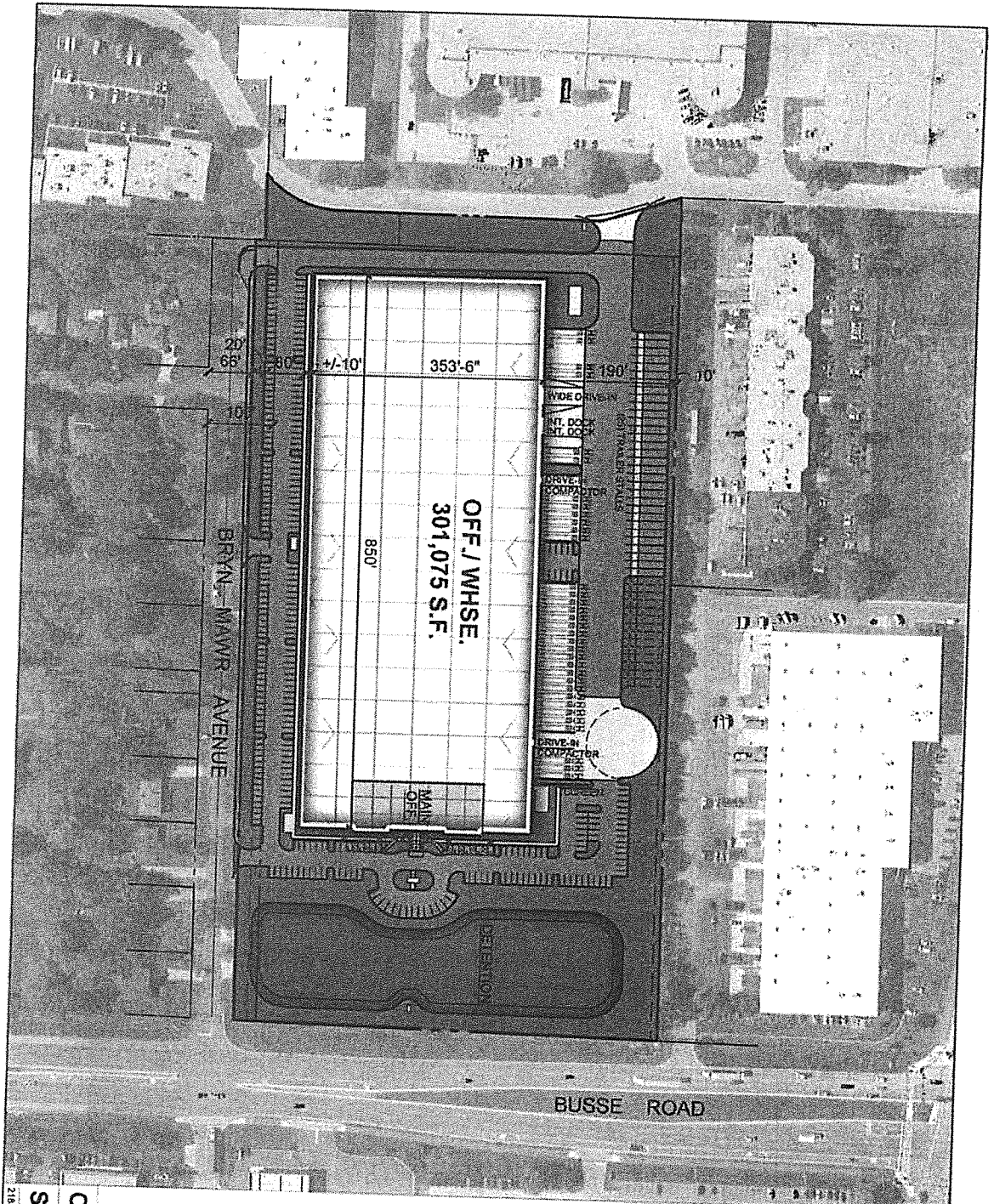
BRYN MAWR INDUSTRIAL REDEVELOPMENT
 WOOD DALE, ILLINOIS

PLANTING SCHEDULE

PLANTING DETAILS & SCHEDULE







CONCEPTUAL NEW FACILITY FOR: **Exhibit G**
NEW OFFICE/WAREHOUSE
WOOD DALE, ILLINOIS

SITE AREA (+/-18.77 AC.)	+/-817,540 S.F.
DETENTION	+/-83,750 S.F.
BUILDING AREA	
1ST FLOOR MAIN OFFICE	15,000 S.F.
WAREHOUSE	286,075 S.F.
TOTAL BUILDING FOOTPRINT	301,075 S.F.
MEZZANINE	15,000 S.F.
TOTAL BUILDING AREA	316,075 S.F.
CAR PARKING PROVIDED	280 CARS
DRIVE IN OVERHEAD DOORS	
12'-0" WIDE DOORS	2 DOORS
28'-0" WIDE DOORS	1 DOOR
TOTAL DRIVE-IN DOORS	3 DOORS
TOTAL EXTERIOR DOCKS	34 DOCKS
OPEN INTERIOR DOCKS (CRANE AREA)	2 DOCKS
TRAILER STALLS	31 STALLS
CLEAR HEIGHT	36'-0"

OPTION #2E14
SITE PLAN
218392 JMW 10-10-2019 0 50' 100' 150' 300'

**EXHIBIT H – Driveway Property
LEGAL DESCRIPTION**

LOT 4 IN THORNDALE BUSINESS PARK IN WOOD DALE UNIT 2 BEING A RESUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 40 NORTH, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

Consisting of PIN: 03-03-402-007